

Conditional Use Permit Application: Idaho Power's Cascade Switching Station

Jeffrey Maffuccio, Facility Siting Coordinator
208-388-2402 or jmaffuccio@idahopower.com

July 23, 2025

Cynda Herrick, Director
Valley County Planning and Zoning
PO BOX 1350
Cascade, Idaho 83611

Conditional Use Permit Application: Cascade Switching Station

Dear Ms. Herrick,

On behalf of Idaho Power Company, we are pleased to request a Conditional Use Permit ("CUP") to construct, maintain, and operate an electrical switching station on an undeveloped parcel of land east of Cascade in Valley County, Idaho. The subject property is approximately 5.5 acres and is located within a +/- 112-acre parcel (Parcel No. RP14N03E250005) located south of Warm Lake Road, approximately ½ mile east of SH-55.

The 5.5-acre switching station will provide improved electrical service and increased capacity to customers across south Valley County and alleviate constraints on existing substations for customers across all of Valley County.

The following supplements are included as part of the Conditional Use Permit application:

1. Project Narrative – Background, Description, Impacts
2. Surveys and Site Plan of the Property and Project
3. Landscape Plan
4. Grading Plan

On behalf of Idaho Power, we appreciate your time and effort to review and consider this application. Please contact me with any questions or clarification, 208-388-2402 or jmaffuccio@idahopower.com.

Regards,



Jeffrey Maffuccio
Facility Siting Coordinator

Valley County Planning and Zoning Department

219 N. Main
PO Box 1350
Cascade, ID 83611
www.co.valley.id.us
cherrick@co.valley.id.us
208-382-7115



Conditional Use Permit Application

TO BE COMPLETED BY THE PLANNING AND ZONING DEPARTMENT

☐ Check # _____ or ☐ Cash or ☒ Card

FILE # C.U.P 25-018

FEE \$ 250

ACCEPTED BY Hannah Smith

DEPOSIT _____

CROSS REFERENCE FILE(S): _____

DATE 7/24/2025

PROPOSED USE: Idaho Power Switching Station

When an application has been submitted, it will be reviewed in order to determine compliance with application requirements.
A hearing date will be scheduled only after an application has been accepted as complete or if applicant requests the hearing in writing.

Applicant's Signature: _____ Date: 07/23/2025

The following must be completed and submitted with the conditional use permit application:

- ☒ A **detailed project description** disclosing the purpose, strategy, and time frame of construction. Include a phasing plan if appropriate. Address fire mitigation, utilities, fencing, access, emissions, dust, noise, and outside storage.
- ☒ A **plot plan**, drawn to scale, showing the boundaries, dimensions, area of lot, existing and proposed utilities, streets, easements, parking, setbacks, and buildings.
- ☒ A **landscaping plan**, drawn to scale, showing elements such as trees, shrubs, ground covers, and vines. Include a plant list indicating the size, quantity, location and name (both botanical and common) of all plant material to be used.
- ☒ A **site grading plan** clearly showing the existing site topography and detailing the best management practices for surface water management, siltation, sedimentation, and blowing of dirt and debris caused by grading, excavation, open cuts, side slopes, and other site preparation and development.

n/a ☐ A **lighting plan**.

- ☒ **Names and addresses of property owners** within 300 feet of the property lines. Information can be obtained through the GIS Portal at www.co.valley.id.us. Only one copy of this list is required.
- ☒ **Ten (10) copies** of the application, project description, plot plan, landscaping plan, grading plan, and impact report are required. three copies provided per conversation with Cynda

Understood ☒ **A Development Agreement may be required**. Possible road mitigation should be discussed with Dan Coonce, Valley County Engineer (208-382-7195)

**We recommend you review the Valley County Code online at www.co.valley.id.us
or at the Planning & Zoning Office at 219 North Main Street, Cascade, Idaho**

Subject to Idaho Statute Title 55 Chapter 22 Underground Facilities Damage Prevention.

CONTACT INFORMATION

APPLICANT Idaho Power Company PHONE 208.388.2402

Owner ☐ Purchaser ☒ Lessee ☐ Renter ☐

MAILING ADDRESS PO Box 70, Boise, Idaho ZIP 83707

EMAIL jmaffuccio@idahopower.com

PROPERTY OWNER Davis Cattle Company, Inc.

MAILING ADDRESS 19 Warm Lake Highway, Cascade, Idaho ZIP 83611

EMAIL _____

AGENT / REPRESENTATIVE Idaho Power Company - Jeff Maffuccio PHONE 208.388.2402

MAILING ADDRESS PO Box 70, Boise, Idaho ZIP 83703

EMAIL jmaffuccio@idahopower.com

CONTACT PERSON (if different from above) _____

MAILING ADDRESS _____ ZIP _____

EMAIL _____ PHONE _____

PROPERTY INFORMATION

ADDRESS OF SUBJECT PROPERTY n/a, parcel to the east of 19 Warm Lake Road

PROPERTY DESCRIPTION (either lot, block & subdivision name or attach a recorded deed with a metes and bounds description.)

Gov't lots 8 & 9; NE 1/4 NE 1/4 Section 25, Township 14N, Range 3E

TAX PARCEL NUMBER(S) RP 14N03E250005

Quarter NE Section 25 Township 14N Range 3E

1. PROPOSED USE: Residential ☐ Civic or Community ☒ Commercial ☐ Industrial ☐

2. SIZE OF PROPERTY +/- 5.53 Acres ☒ or Square Feet ☐

3. EXISTING LAND USES AND STRUCTURES ON THE PROPERTY ARE AS FOLLOWS:

Undeveloped

4. ARE THERE ANY KNOWN HAZARDS ON OR NEAR THE PROPERTY (such as canals, hazardous material spills, and/or soil or water contamination)? If so, describe and give location: _____

No known hazards and/or soil or water contamination

5. ADJACENT PROPERTIES HAVE THE FOLLOWING BUILDING TYPES AND/OR USES:

North Warm Lake Road, Single-family residence, agricultural buildings, rangeland

South Open pasture and rangeland

East Open pasture and rangeland

West Granite Excavation office and contractor's yard, single-family residence

APPLICATION DETAILS

6. MAXIMUM PROPOSED STRUCTURE HEIGHT: Inside substation yard +/- 52'

7. NON-RESIDENTIAL STRUCTURES OR ADDITIONS (If applicable):

Number of Proposed Structures: 1

Number of Existing Structures: n/a

Proposed Gross Square Feet

1st Floor +/-100 SF

2nd Floor

Total

Existing Gross Square Feet

1st Floor

2nd Floor

Total

n/a 8a. TYPE OF RESIDENTIAL USE (If applicable): Single family residence ☐ Multiple residences on one parcel ☐

8b. TYPE OF STRUCTURE: Stick-built ☒ Manufacture Home ☐ Mobile Home ☐ Tiny Home ☐ Other ☐

8c. SQUARE FOOTAGE OF PROPOSED RESIDENTIAL STRUCTURES (If applicable): n/a

SQUARE FOOTAGE OF EXISTING RESIDENTIAL STRUCTURES: n/a

8d. DENSITY OF DWELLING UNITS PER ACRE: n/a

9. SITE DESIGN:

Percentage of site devoted to building coverage: 5%

Percentage of site devoted to landscaping: 5%

Percentage of site devoted to roads or driveways: 30% (gravel drive aisles)

Percentage of site devoted to other uses: 60%, describe: Switching station apparatus

Total: 100%

10. PARKING (If applicable): not applicable

Office Use Only

a. Handicapped spaces proposed:

Handicapped spaces required:

b. Parking spaces proposed:

Parking spaces required:

c. Number of compact spaces proposed:

Number of compact spaces allowed:

d. Restricted parking spaces proposed:

e. Are you proposing off-site parking:

11. SETBACKS:	<u>BUILDING</u>	<u>Office Use Only</u>	<u>PARKING</u>	<u>Office Use Only</u>
to property line	Proposed	Required	Proposed	Required
Front	<u>34'</u>	<u></u>	<u></u>	<u></u>
Rear	<u>42'</u>	<u></u>	<u></u>	<u></u>
West Side	<u>92'</u>	<u></u>	<u></u>	<u></u>
East Side	<u>13'</u>	<u></u>	<u></u>	<u></u>

12. NUMBER OF EXISTING ROADS: None Width:

Existing roads will be: Publicly maintained? ☐ Privately Maintained? ☐ or Combination of both? ☐

Existing road construction: Gravel ☐ Paved ☐ or Combination of both? ☐

13. NUMBER OF PROPOSED ROADS: None Proposed width:

Proposed roads: Publicly maintained? ☐ Privately Maintained? ☐ or Combination of both? ☐

Proposed road construction: Gravel ☐ Paved ☐ or Combination of both? ☐

14. ARE SHARED DRIVEWAYS PROPOSED? If so, please explain why. Yes ☐ No ☒
Idaho Power will have two gates with gravel driveways, to be used for station access only.
15. EXISTING UTILITIES ON THE PROPERTY ARE AS FOLLOWS:
None
16. PROPOSED UTILITIES: None
Proposed utility easement widths _____ Locations _____
- n/a 17. SEWAGE WASTE DISPOSAL METHOD: Septic ☐ Central Sewage Treatment Facility ☐
Name: _____
- n/a 18. POTABLE WATER SOURCE: Public ☐ Water Association ☐ Individual Well: ☐
If individual, has a test well been drilled? _____ Depth _____ Flow _____ Purity Verified? _____
Nearest adjacent well _____ Depth _____ Flow _____
19. DRAINAGE (Proposed method of on-site retention): Detention basin designed as a dry bottom detention basin
Any special drains? _____ (Please attach map)
Soil type(s): Poorly draining, loose soils indicated as Type B.
(Information can be obtained from the Natural Resource Conservation Service: websoilsurvey.nrcs.usda.gov)
Stormwater Prevention Management Plan will need approval from Valley County Engineer.
20. IS ANY PORTION OF THE PROPERTY LOCATED IN A FLOODWAY OR 100-YR FLOODPLAIN?
(Information can be obtained from the Planning & Zoning Office) Yes ☐ No ☒
21. DOES ANY PORTION OF THIS PARCEL HAVE SLOPES IN EXCESS OF 15%? Yes ☐ No ☒
21. ARE THERE WETLANDS LOCATED ON ANY PORTION OF THE PROPERTY? Yes ☐ No ☒
23. IS THERE ANY SITE GRADING OR PREPARATION PROPOSED? Yes ☐ No ☐
If yes, explain:
Idaho Power will grade as applicable for a level switching station yard
- 24a. ARE THERE ANY EXISTING IRRIGATION SYSTEMS? Yes ☐ No ☒
Are you proposing any alterations, improvements, extensions or new construction? Yes ☐ No ☒
If yes, explain: _____
- 24b. COMPLETE ATTACHED PLAN FOR IRRIGATION if you have water rights and are in an irrigation district.
Submit letter from Irrigation District, if applicable. Not applicable
25. COMPLETE ATTACHED WEED CONTROL AGREEMENT
26. COMPLETE ATTACHED IMPACT REPORT



VALLEY COUNTY

WEED CONTROL AGREEMENT

It shall be the duty and responsibility of all landowners to control noxious weeds on their land and property, in accordance with Idaho Statute 22-2407.

The purpose of this agreement is to establish a cooperative relationship between Valley County and the undersigned Cooperator to protect the natural and economic values in the Upper Payette River watershed from damages related to the invasion and expansion of infestations of noxious weeds and invasive plants. This is a cooperative effort to prevent, eradicate, contain and control noxious weeds and invasive plants on public and private lands in this area. Factors related to the spread of weeds are not related to ownership nor controllable at agency boundaries. This agreement formalizes the cooperative strategy for management of these weeds addressed in Valley County's Integrated Weed Management Plan.

In this continuing effort to control Noxious Weeds, Valley County Weed Control will consult with the undersigned Cooperator and outline weed identification techniques, present optional control methods and recommend proper land management practices.

The undersigned Cooperator acknowledges that he/she is aware of any potential or real noxious weed problems on his/her private property and agrees to control said weeds in a timely manner using proper land management principles.

Valley County Weed Department can be contacted at 208-382-7199.

Idaho Power Company
By: represented by Jeff Maffuccio
Applicant

By: Valley County Weed Supervisor

Date: 07/23/2025

IMPACT REPORT (from Valley County Code 9-5-3-D)

You may add information to the blanks below or attach additional sheets.

❖ **An impact report shall be required for all proposed Conditional Uses.**

❖ **Thoroughly answer all questions. Mark N/A if the question is not applicable to your application.**

❖ **The impact report shall address potential environmental, economic, and social impacts and how these impacts are to be minimized as follows:**

1. Traffic volume, character, and patterns including adequacy of existing or proposed street width, surfacing, alignment, gradient, and traffic control features or devices, and maintenance. Contrast existing with the changes the proposal will bring during construction and after completion, build-out, or full occupancy of the proposed development. Include pedestrian, bicycle, auto, and truck traffic.
2. Provision for the mitigation of impacts on housing affordability.
3. Noise and vibration levels that exist and compare to those that will be added during construction, normal activities, and special activities. Include indoor and outdoor, day and night variations.
4. Heat and glare that exist and that might be introduced from all possible sources such as autos in parking areas, outdoor lights, water or glass surfaces, buildings or outdoor activities.
5. Particulate emissions to the air including smoke, dust, chemicals, gasses, or fumes, etc., both existing and what may be added by the proposed uses.
6. Water demand, discharge, supply source, and disposal method for potable uses, domestic uses, and fire protection. Identify existing surface water drainage, wetlands, flood prone areas and potential changes. Identify existing ground water and surface water quality and potential changes due to this proposal.

7. Fire, explosion, and other hazards existing and proposed. Identify how activities on neighboring property may affect the proposed use.
8. Removal of existing vegetation or effects thereon including disturbance of wetlands, general stability of soils, slopes, and embankments and the potential for sedimentation of disturbed soils.
9. Include practices that will be used to stabilize soils and restore or replace vegetation.
10. Soil characteristics and potential problems in regard to slope stability, embankments, building foundation, utility and road construction. Include suitability for supporting proposed landscaping.
11. Site grading or improvements including cuts and fills, drainage courses and impoundments, sound and sight buffers, landscaping, fencing, utilities, and open areas.
12. Visibility from public roads, adjoining property, and buildings. Include what will be done to reduce visibility of all parts of the proposal but especially cuts and fills and buildings. Include the impacts of shadows from new features on neighboring property.
13. Reasons for selecting the particular location including topographic, geographic and similar features, historic, adjoining land ownership or use, access to public lands, recreation, utilities, streets, etc., in order to illustrate compatibility with and opportunities presented by existing land uses or character.

14. Approximation of increased revenue from change in property tax assessment, new jobs available to local residents, and increased local expenditures.
15. Approximation of costs for additional public services, facilities, and other economic impacts.
16. State how the proposed development will impact existing developments providing the same or similar products or services.
17. State what natural resources or materials are available at or near the site that will be used in a process to produce a product and the impacts resulting from the depletion of the resource. Describe the process in detail and describe the impacts of each part.
18. What will be the impacts of a project abandoned at partial completion?
19. Number of residential dwelling units, other buildings and building sites, and square footage or gross non-residential floor space to be available.
20. Stages of development in geographic terms and proposed construction time schedule.
21. Anticipated range of sale, lease or rental prices for dwelling units, building or other site, or non-residential floor space in order to insure compatibility with adjacent land use and development.

Project Narrative

Cascade Switching Station Application Narrative

On behalf of Idaho Power, we are pleased to file this narrative with our Conditional Use Permit (CUP) Application for the proposed Cascade Switching Station south of Warm Lake Road in Valley County, Idaho. This CUP would allow Idaho Power to construct, maintain, and operate an electrical switching station proposed on approximately 5.5-acres of land within the 112-acre subject parcel.

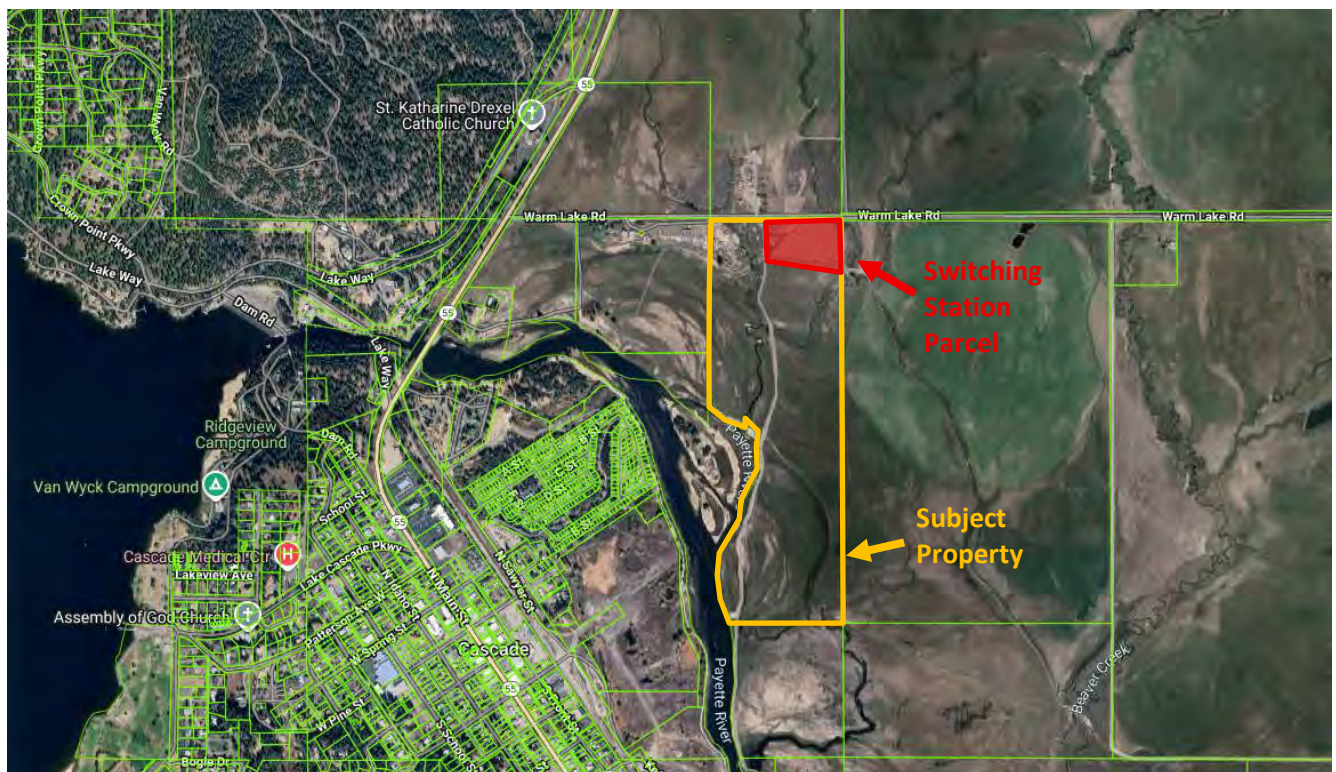


Image 1. Aerial image of the subject property.

Project Background

The Stibnite Gold Project (Project) is being developed by Perpetua Resources and presents an unparalleled opportunity to secure essential mineral resources for energy and national security, advance environmental restoration, and bolster the local and national economy. The Project started the National Environmental Policy Act (NEPA) permitting review process in 2016. Over the intervening eight years, the Project underwent robust agency review, scientific study, and substantial modifications to make it the most comprehensively protective plan it can reasonably be. The US Forest Service issued a positive Record of Decision for the Project in early 2025.

Cascade Switching Station

The Project has a power demand of approximately 65 megawatts (MW) when in operation. The existing power infrastructure in the Valley County area cannot support the required demand. Therefore, Perpetua Resources plans to partner with Idaho Power to upgrade the current system. Perpetua Resources will pay Idaho Power for the required system improvements, including construction costs. Idaho Power will own and operate all facilities constructed as part of the Project.

System improvements include strengthening and upgrading transmission infrastructure to reduce disruptions, which will improve resilience and reliability to residents of Valley County. Idaho Power will do this by widening the right-of-way through forested terrain, replacing wood poles with durable steel poles, increasing voltage from 69 kV to 138 kV, and constructing or upgrading several substations along the 74 mile route.

Idaho Power intends to construct the project over approximately three years. Construction will begin on the Lake Fork to Cascade portion of the transmission line upgrade and will gradually proceed east to Warm Lake and Stibnite.

Idaho Power and Perpetua reviewed potential sites for the new switching station, primarily along the existing transmission line and away from the Payette River National Scenic Byway (Highway-55). The subject property (outlined in yellow on the previous page) is much larger than Idaho Power needs, but provides plenty of room to site, and obstruct, the switching station in a way to minimize viewshed impacts to neighbors and provide buffers from adjacent properties.

The switching station is planned to be located over 2,500 feet away (just under a half-mile away) from Highway 55 and will be enclosed with a perimeter fence, approximately 20 feet south of Warm Lake Road.

Idaho Power considered Valley County's Comprehensive Plan in review of sites for the Cascade Switching Station.

1. The proposed site meets the Chapter 11 (Public Facilities, Utilities and Services) Goal IV objectives:
 - a. Idaho Power is utilizing existing utility corridors by locating near an existing transmission line.
 - b. Idaho Power is developing public utility facilities to meet the public need while providing additional capacity for the Stibnite mine site.
 - c. Idaho Power plans to minimize impacts and plans to locate the switching station in a favorable location to alleviate strain on existing facilities.
2. The proposed site meets the Chapter 6 (Special Areas and Sites) Goal IV objectives:
 - a. Idaho Power is minimizing visibility of an electrical switching station from Highway-55.
3. The proposed site meets the Chapter 7 (Transportation) Goal III objectives:
 - a. Idaho Power is minimizing the visibility of an electrical switching station from Highway-55.

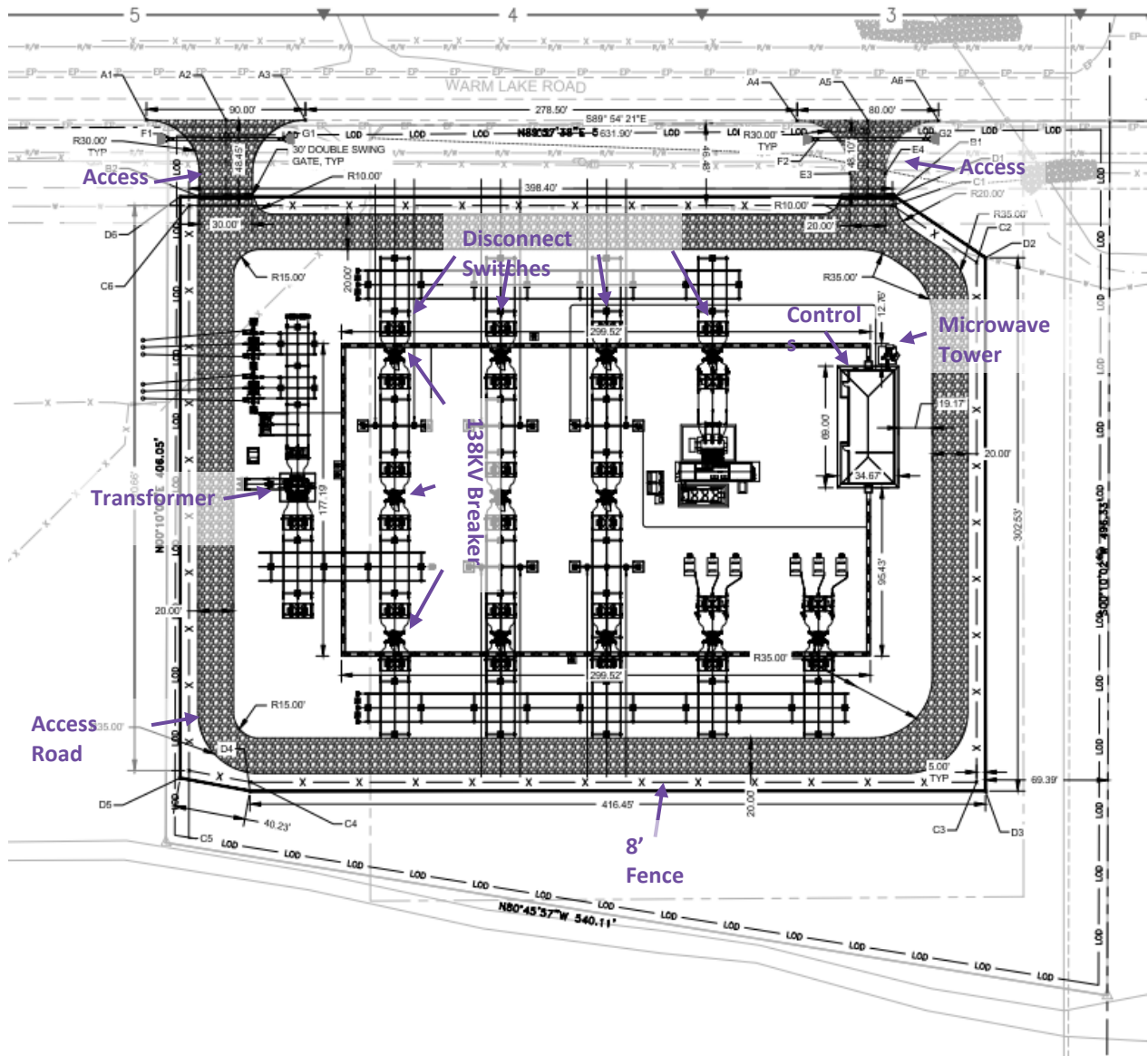
Project Description

The Cascade Switching Station will connect the newly upgraded 138 kilovolt (kV) transmission line from Lake Fork and provide 138kV transmission service to the Stibnite mine site. The Cascade Switching Station will connect with the Cascade Generation Facility while providing additional capacity and stability to the overall Idaho Power system.

Cascade Switching Station

Idaho Power's proposed Cascade Switching Station will be located on a 5.5-acre portion of the 112-acre subject property. This switching station will have the following apparatus:

- Two 138 kV dead-end H-frame structures.
- Eight 138 kV circuit breakers on precast foundations.
- Eighteen 138 kV air break switches.
- Three 69 kV air break switches.
- One 128/69 kV 30 MVA transformer on cast-in-place foundation.
- One double-bay 69 kV H-frame structure on drilled pier foundation.
- Two future 138kV breakers, to open and close circuits to the transformers.
- 65-ft by 27 ft concrete masonry control building.
- Microwave tower.
- 8-ft tall chain-link fence with two 30 ft gates (western gate as a primary access point).



Cascade Switching Station

Idaho Power will not request any additional utilities for this project, Idaho Power maintains its own electrical and communication service. This site will not be outdoor storage; however, all of the apparatus is “outdoor” by nature and not in buildings or sheds with exception of controls (in the control building).

Air, Dust and Noise Emissions

The initial stages of construction will require site preparation, such as grading and leveling, to prepare the site for grounding and then graveling the driveway and the switching station “yard.” Idaho Power will actively monitor and control dust during construction. With the exception of construction vehicles, the project does not use fuels and thus, will not produce air emissions. Any operational noises will not exceed 65 dB (decibels) per the Code of Federal Registry Section 24. An analogy of 65 dB sound level is a normal conversation at a 3-ft distance. The typical noise source is the transformer, rated at 59 dB from that same distance. The sound level of the transformer drastically reduces to 37 dB at about 200 feet from the transformer, which is equivalent to “rural” ambient noise levels. The nearest residence is more than 1,200 feet from the switching station border.

Fire Mitigation

Idaho Power safely operates its switching station and substation facilities. Idaho Power incorporates mitigations into its design to avoid the spread of fire onto adjacent properties. The design of the station includes open gravel areas between apparatus, for safe working and operating clearances, but also to minimize any promulgation of fire and heat beyond the station fence.

Along with these design aspects, Idaho Power takes additional steps to remotely monitor and operate their switching stations. In an emergency, Idaho Power will isolate the issue and dispatch crews from the local operations centers to the switching station. Idaho Power will also coordinate with local emergency responders.

Project Impact Report

Below are responses regarding the project's impacts in accordance with Valley County Code 9-5-3-D.

- 1. Traffic volume, character, and patterns including adequacy of existing or proposed street width, surfacing, alignment, gradient, and traffic control features or devices, and maintenance. Contrast existing with the changes the proposal will bring during construction and after completion, build-out, or full occupancy of the proposed development. Include pedestrian, bicycle, auto, and truck traffic.**

The existing road network (Highway-55 and Warm Lake Road) are adequate for the limited duration of construction. The proposed switching station will require some heavy truck (earth-moving equipment and cranes) and light truck (pickups and flatbeds) traffic. Once construction is complete, Idaho Power will typically visit the substation with light trucks on a monthly basis.

- 2. Provision for the mitigation of impacts on housing affordability.**

Not applicable to the proposed switching station.

- 3. Noise and vibration levels that exist and compare to those that will be added during construction, normal activities, and special activities. Include indoor and outdoor, day and night variations.**

Construction activities will create some additional noise during day-time work hours. Once construction is complete, any noise and vibration from operating the switching station will be minimal.

- 4. Heat and glare that exist and that might be introduced from all possible sources such as autos in parking areas, outdoor lights, water or glass surfaces, buildings, or outdoor activities.**

The applicant is not aware of abnormal heat or glare that may exist at this site and does not expect this project will be an additional, or new, source of heat and glare.

- 5. Particulate emissions to the air including smoke, dust, chemicals, gasses, or fumes, etc., both existing and what may be added by the proposed uses.**

The applicant does not expect the project to be a source of particulate emissions. Idaho Power will actively monitor and control dust during construction. The proposed switching station will not create any undesirable effects such as odors, fumes, or vibrations.

- 6. Water demand, discharge, supply source, and disposal method for potable uses, domestic uses, and fire protection. Identify existing surface water drainage, wetlands, flood prone areas and potential changes. Identify existing ground water and surface water quality and potential changes due to this proposal.**

Idaho Power will not require water for potable, domestic or fire protection.

7. Fire, explosion, and other hazards existing and proposed. Identify how activities on neighboring property may affect the proposed use.

Idaho Power does not expect the project to be a source of fire or explosions. However, operating high-voltage infrastructure does present certain safety hazards. Idaho Power designs, maintains, and operates its facilities to stringent State (Idaho Public Utility Commission), Federal (Federal Energy Regulatory Commission) and Industry-regulated (North American Electric Reliability Corporation) standards, in such a manner to not expose neighboring properties to these hazards.

8. Removal of existing vegetation or effects thereon including disturbance of wetlands, general stability of soils, slopes, and embankments and the potential for sedimentation of disturbed soils.

The proposed switching station site does not include any existing vegetation or natural features that will be disturbed.

9. Include practices that will be used to stabilize soils and restore or replace vegetation.

Idaho Power will incorporate best management practices and solutions to minimize further impacts to any areas of concern.

10. Soil characteristics and potential problems in regard to slope stability, embankments, building foundation, utility, and road construction. Include suitability for supporting proposed landscaping.

This location was found to be suitable for the proposed substation through available desktop analysis completed by Idaho Power and completion of a geotechnical analysis including infiltration testing. Adjacent to the proposed substation, soils have been found suitable to allow for buildings, graveled areas, and driveways. Per the Landscaping Plan, native-type trees and vegetation will be planted around the station perimeter, to obscure views from roads and adjacent properties.

11. Site grading or improvements including cuts and fills, drainage courses and impoundments, sound and sight buffers, landscaping, fencing, utilities, and open areas.

Idaho Power has attached a Site Plan, Grading Plan, and Landscape Plan with this application.

12. Visibility from public roads, adjoining property, and buildings. Include what will be done to reduce visibility of all parts of the proposal but especially cuts and fills and buildings. Include the impacts of shadows from new features on neighboring property.

Idaho Power looked for locations that were adjacent to the existing transmission line and a reasonable distance from Highway-55. The proposed Warm Lake Road location is about a ½-mile east of Highway 55, and will be obscured by existing buildings located between Highway-55 and the subject site. Idaho Power's Landscape Plan includes native-type trees and vegetation that will be planted around the switching station's frontage, to further obscure views from the road.

13. Reasons for selecting the particular location including topographic, geographic, and similar features, historic, adjoining land ownership or use, access to public lands, recreation, utilities, streets, etc., in order to illustrate compatibility with and opportunities presented by existing land uses or character.

Idaho Power and Perpetua collaborated with local landowners along Warm Lake Road to find a suitable location for this station. The Stibnite Gold Project's power demand will exceed the capability of the existing power infrastructure and the selected site will be an appropriate location to strengthen and upgrade the transmission infrastructure.

- The property is adjacent to an existing transmission line, which minimizes project cost overruns by over \$1 million dollars/per mile (for any new transmission line construction).
- The property has large enough area that is relatively flat and stable.
- The property has large enough areas that do not have floodplains, wetlands, or drainage issues.

As indicated in responses to Items 11 and 12, Idaho Power will do its best to minimize viewshed concerns and compatibility from existing agrarian, recreational, and rural-residential land uses.

14. Approximation of increased revenue from change in property tax assessment, new jobs available to local residents, and increased local expenditures.

As a regulated utility, Idaho Power pays taxes to the State of Idaho, which are apportioned out to each County. During construction, Idaho Power will leverage local suppliers, first in Valley County, for available materials such as fencing, building, concrete and gravel, and landscaping.

The Stibnite Gold Project will also bring economic value to Valley County. During construction, Perpetua Resources will invest \$1.3 billion in Idaho. Once operational, the Project is projected to contribute \$232 million annually and will create 500-600 jobs. These efforts will strengthen the Valley County community, support family-wage jobs, and generate millions in state and local tax revenues.

15. Approximation of costs for additional public services, facilities, and other economic impacts.

The applicant does not anticipate any additional costs or impacts to local services and facilities.

16. State how the proposed development will impact existing developments providing the same or similar products or services.

The applicant does not anticipate any impacts to existing developments.

17. State what natural resources or materials are available at or near the site that will be used in a process to produce a product and the impacts resulting from the depletion of the resource. Describe the process in detail and describe the impacts of each part.

This concern is not applicable to the proposed switching station.

18. What will be the impacts of a project abandoned at partial completion?

This concern is not applicable to the proposed switching station.

19. Number of residential dwelling units, other buildings and building sites, and square footage or gross non-residential floor space to be available.

This concern is not applicable to the proposed switching station.

20. Stages of development in geographic terms and proposed construction time schedule.

Idaho Power will develop, or construct, this project on the property as described. Typical switching station construction takes approximately six (6) to eight (8) months, from earthwork to energization.

21. Anticipated range of sale, lease, or rental prices for dwelling units, building or other site, or non-residential floor space in order to insure compatibility with adjacent land use and development.

This concern is not applicable to the proposed switching station.

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CONTROL POINTS				
NAME	NORTHING	EASTING	ELEVATION	DESCRIPITON
CP&F NO. 256135	1040273.33	2552009.89	4737.71	5/8" REBAR
CP&F NO. 256140	1042907.91	2552017.59	4757.89	ALUMINUM CAP
CP&F NO. 256142	1042890.86	2549396.76	4762.28	1/4" COPPER CAP
SURVEY BENCHMARK #4	1041054.16	2547498.28	4749.86	1/2" REBAR
CP&F NO. 403131	1042889.19	2554644.88	4764.60	1/4"ALUMINUM CAP
FOUND MONUMENT 1	1042855.61	2557252.40	4775.61	1/2" REBAR
FOUND MONUMENT 2	1041577.30	2549832.25	4736.70	ALUMINUM CAP
FOUND MONUMENT 3	1041114.69	2550693.53	4736.030'	ALUMINUM CAP
FOUND MONUMENT 4	1037605.03	2549332.38	4753.53	IRON PIPE

THE CASCADE SWITCHING STATION IS BASED ON IDAHO STATE PLANE COORDINATES, U.S. FEET, SCALED TO GRID FROM A POINT OF ORIGIN AT SURVEY BENCHMARK #4 WITH A SCALE FACTOR OF .999715515

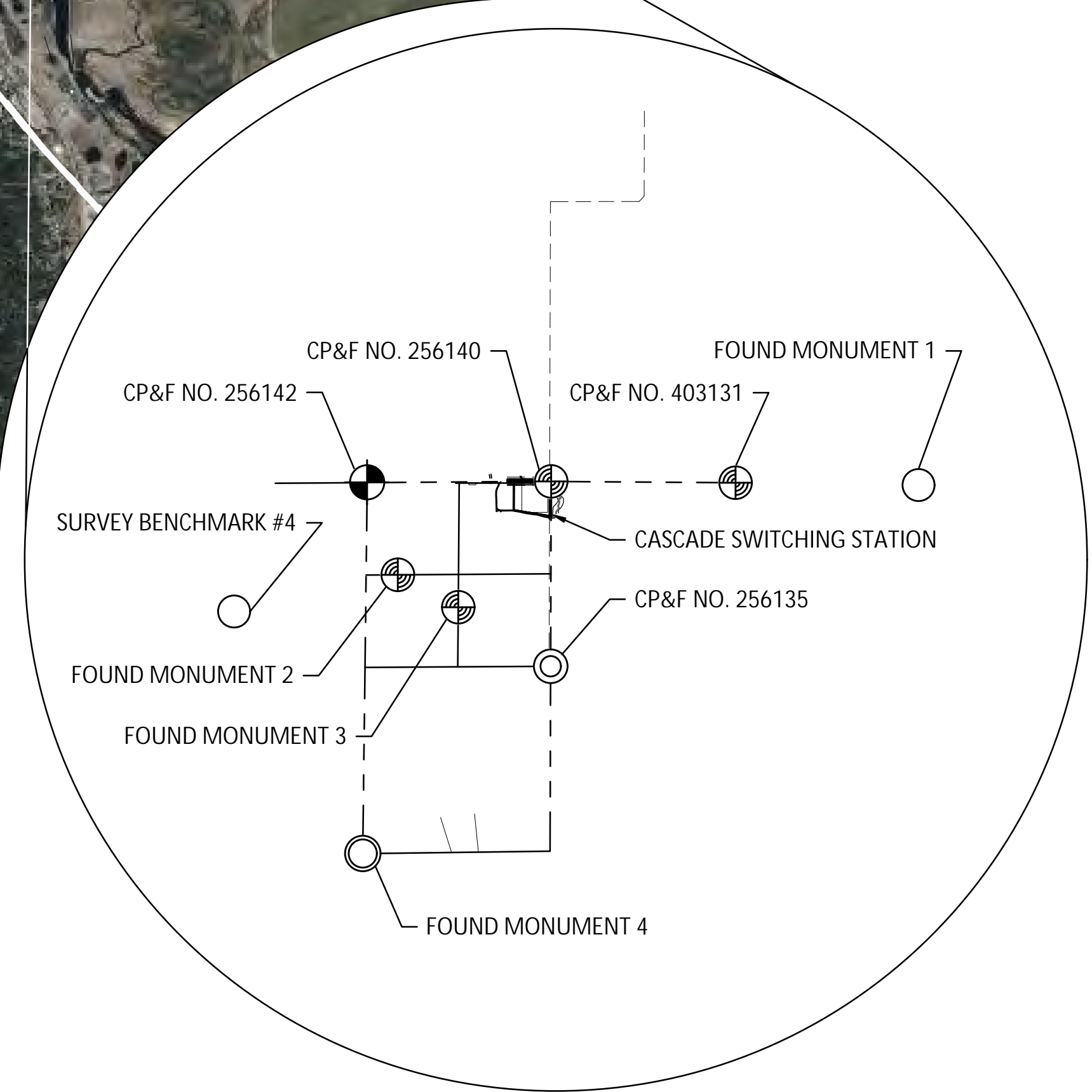


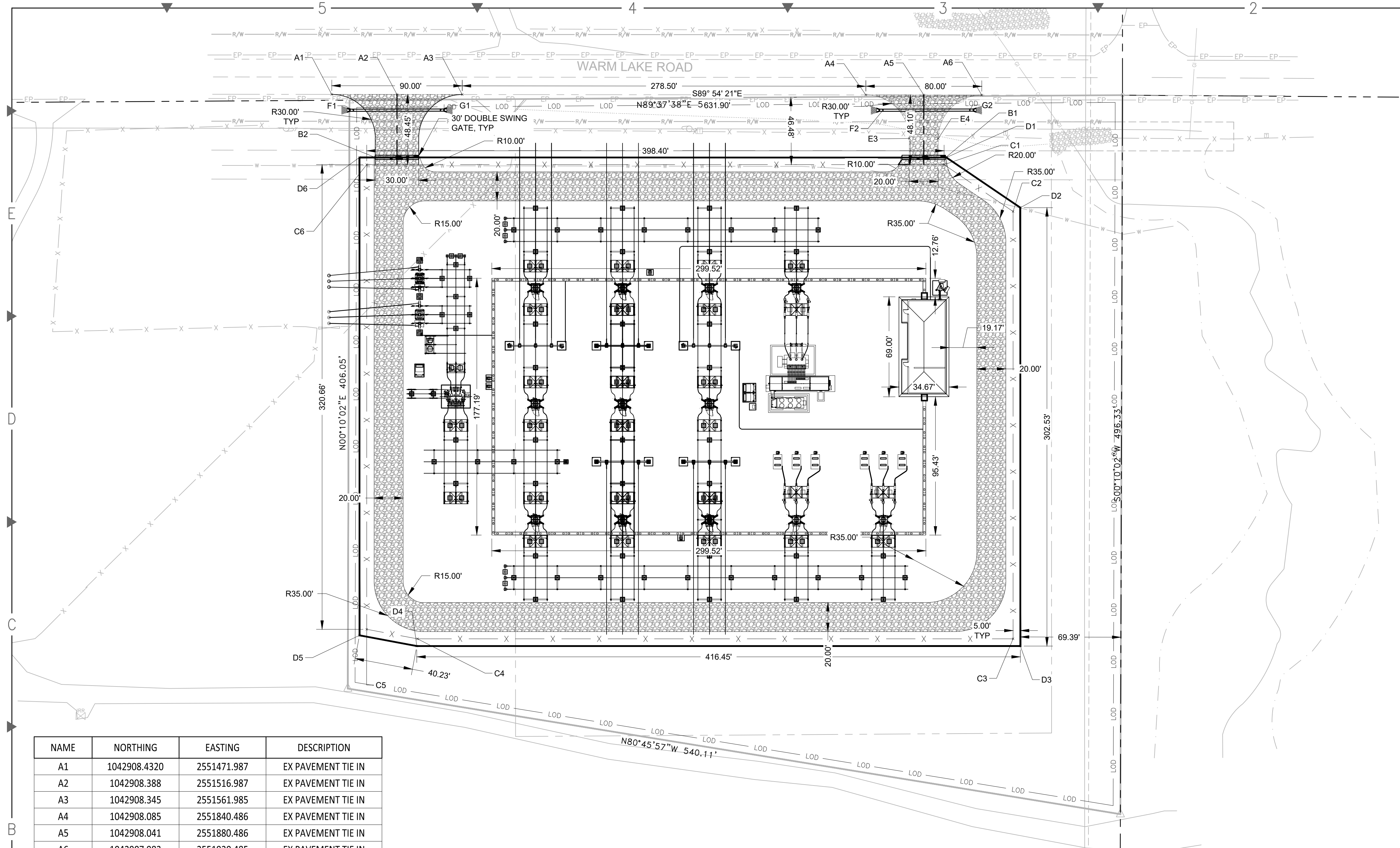
REVISION	
-	05-16-2025 New drawing with station. VAR1120124 #27652263 KIE/IPC

REFERENCE DRAWINGS	
21D-83568-1	EXISTING CONDITIONS PLAN
21D-83569-1	SITE PLAN
21D-83570-1	GRADING PLAN

CASCADE SWITCHING STATION	
GENERAL LOCATION PLAN	
IDAHO POWER COMPANY BOISE, IDAHO	
SCALE: NONE DATE: 05/16/2025	
DS. KIE	APPROVED
DR. KIE	21D- 83668
REV. CH. IPC	SHT. 001 03

Vault No. 21D-83668001





NAME	NORTHING	EASTING	DESCRIPTION
A1	1042908.4320	2551471.987	EX PAVEMENT TIE IN
A2	1042908.388	2551516.987	EX PAVEMENT TIE IN
A3	1042908.345	2551561.985	EX PAVEMENT TIE IN
A4	1042908.085	2551840.486	EX PAVEMENT TIE IN
A5	1042908.041	2551880.486	EX PAVEMENT TIE IN
A6	1042907.983	2551920.485	EX PAVEMENT TIE IN
B1	1042864.942	2551895.695	EDGE OF GATE
B2	1042864.942	2551501.945	EDGE OF GATE
C1	1042859.942	2551894.491	CORNER OF FENCE
C2	1042827.619	2551942.095	CORNER OF FENCE
C3	1042532.733	2551942.095	CORNER OF FENCE
C4	1042532.733	2551531.106	CORNER OF FENCE
C5	1042539.280	2551496.095	CORNER OF FENCE
C6	1042859.942	2551496.095	CORNER OF FENCE
D1	1042864.942	2551896.195	CORNER OF PAD
D2	1042830.267	2551947.095	CORNER OF PAD
D3	1042527.732	2551947.095	CORNER OF PAD
D4	1042527.732	2551530.643	CORNER OF PAD
D5	1042535.129	2551491.095	CORNER OF PAD
D6	1042864.942	2551491.095	CORNER OF PAD
E1	1042878.403	2551501.957	EDGE OF ROAD
E2	1042878.373	2551531.957	EDGE OF ROAD
E3	1042878.056	2551870.458	EDGE OF ROAD
E4	1042878.012	2551890.456	EDGE OF ROAD
F1	1042897.521	2551486.945	CULVERT IN
F2	1042897.510	2551852.276	CULVERT IN
G1	1042897.603	2551546.945	CULVERT OUT
G2	1042897.592	2551912.276	CULVERT OUT

NOTES:

1. ALL CONSTRUCTION, MATERIALS AND APPURTENANCES SHALL COMPLY WITH ALL PROVISIONS OF THE (IBC) INTERNATIONAL BUILDING CODE, 2018 EDITION, THE LATEST EDITION OF THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION AND ALL APPLICABLE AND LOCAL REGULATIONS AND ORDINANCES THAT PERTAIN TO THIS PROJECT.

2. ALL WORK AS SHOWN ON THIS PROJECT SHALL BE DONE IN ACCORDANCE WITH IDAHO POWER COMPANY STATIONS SPECIFICATIONS 95-116.

3. THE CONTRACTOR SHALL HAVE ALL BURIED UTILITIES LOCATED PRIOR TO BEGINNING ANY CONSTRUCTION OF IMPROVEMENTS SHOWN HEREIN.

4. THE CONTRACTOR SHALL VERIFY EXISTING ELEVATIONS AND CONDITIONS AND NOTIFY THE IPC PROJECT ENGINEER OF ANY DISCREPANCIES.

5. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES AND IMPROVEMENTS. ANY DAMAGE TO EXISTING FACILITIES OR IMPROVEMENTS RESULTING FROM THE CONTRACTORS OPERATIONS SHALL BE REPAIRED OR REPLACED AT CONTRACTORS EXPENSE.

6. COMPLIANCE WITH THE ENVIRONMENTAL PROTECTION AGENCY (EPA) REQUIREMENTS FOR THE PROTECTION FROM EROSION BY STORM WATER IS REQUIRED IF THE DISTURBED AREA EQUALS OR EXCEEDS ONE ACRE IN SIZE. THIS SITE CONTAINS A DISTURBED AREA OF 5.52 ACRES.

7. REFER TO GENERAL LOCATION PLAN FOR CONTROL POINT INFORMATION.



**SAFETY IS IN YOUR HANDS.
EVERY DIG. EVERY TIME.**

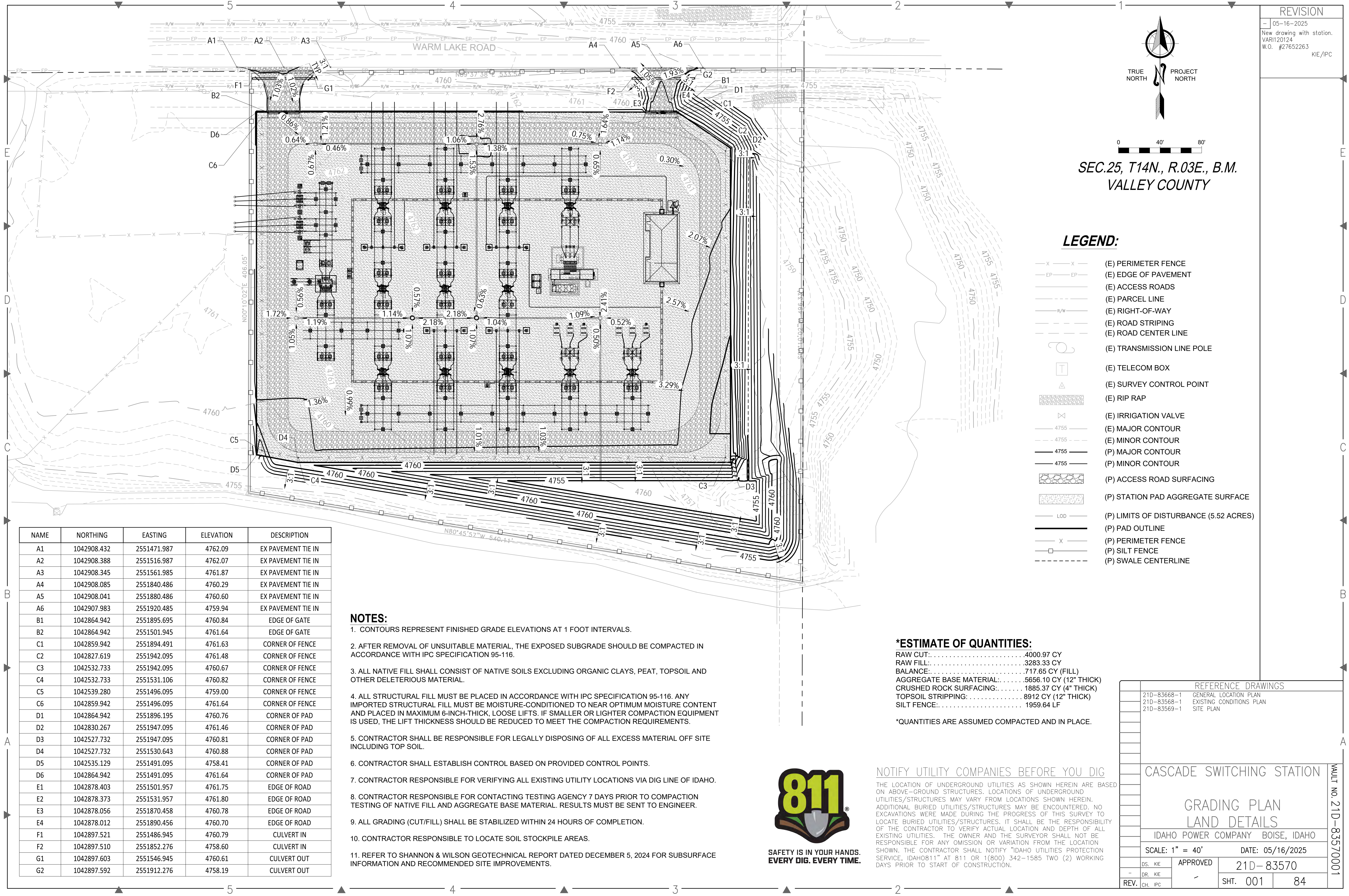
NOTIFY UTILITY COMPANIES BEFORE YOU DIG

THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREIN ARE BASED ON ABOVE-GROUND STRUCTURES. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREIN. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ACTUAL LOCATION AND DEPTH OF ALL EXISTING UTILITIES. THE OWNER AND THE SURVEYOR SHALL NOT BE RESPONSIBLE FOR ANY OMISSION OR VARIATION FROM THE LOCATION SHOWN. THE CONTRACTOR SHALL NOTIFY "IDAHO UTILITIES PROTECTION SERVICE, IDAHO811" AT 811 OR 1(800) 342-1585 TWO (2) WORKING DAYS PRIOR TO START OF CONSTRUCTION.

REV.	21D-83668-1	GENERAL LOCATION PLAN		
	21D-83568-1	EXISTING CONDITIONS PLAN		
	21D-83570-1	GRADING PLAN		
CASCADE SWITCHING STATION				
<div style="text-align: center;"> <h1>SITE PLAN</h1> <h1>LAND DETAILS</h1> </div>				
IDAHO POWER COMPANY BOISE, IDAHO				
SCALE: 1" = 40'		DATE: 05/16/2025		
DS. KIE	APPROVED		21D-83569	
DR. KIE				
CH. IPC	SHT. 001		84	

VAULT NO. 21D-83569001

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REVISION

05-16-2025
New drawing with station.
VARI120124
W.O. #27652263
KIE/IPC



0 40' 80'

SEC.25, T14N., R.03E., B.M.
VALLEY COUNTY

LEGEND:

- (E) PERIMETER FENCE
- (E) EDGE OF PAVEMENT
- (E) ACCESS ROADS
- (E) PARCEL LINE
- (E) RIGHT-OF-WAY
- (E) ROAD STRIPING
- (E) ROAD CENTER LINE
- (E) TRANSMISSION LINE POLE
- (E) TELECOM BOX
- (E) SURVEY CONTROL POINT
- (E) RIP RAP
- (E) IRRIGATION VALVE
- (E) MAJOR CONTOUR
- (E) MINOR CONTOUR
- (P) MAJOR CONTOUR
- (P) MINOR CONTOUR
- (P) ACCESS ROAD SURFACING
- (P) STATION PAD AGGREGATE SURFACE
- (P) LIMITS OF DISTURBANCE (5.52 ACRES)
- (P) PAD OUTLINE
- (P) PERIMETER FENCE
- (P) SILT FENCE
- (P) SWALE CENTERLINE

REFERENCE DRAWINGS

21D-83668-1 GENERAL LOCATION PLAN
21D-83568-1 EXISTING CONDITIONS PLAN
21D-83569-1 SITE PLAN

CASCADE SWITCHING STATION

GRADING PLAN
LAND DETAILS

IDAHO POWER COMPANY BOISE, IDAHO

SCALE: 1" = 40' DATE: 05/16/2025

DS. KIE

APPROVED

21D-83570

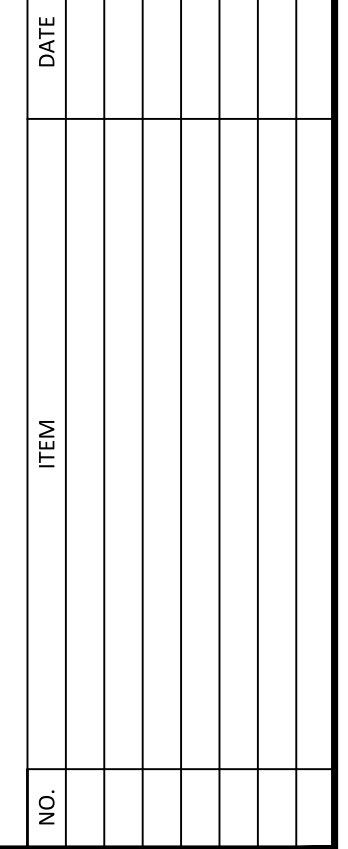
DR. KIE

CH. IPC

SHT. 001

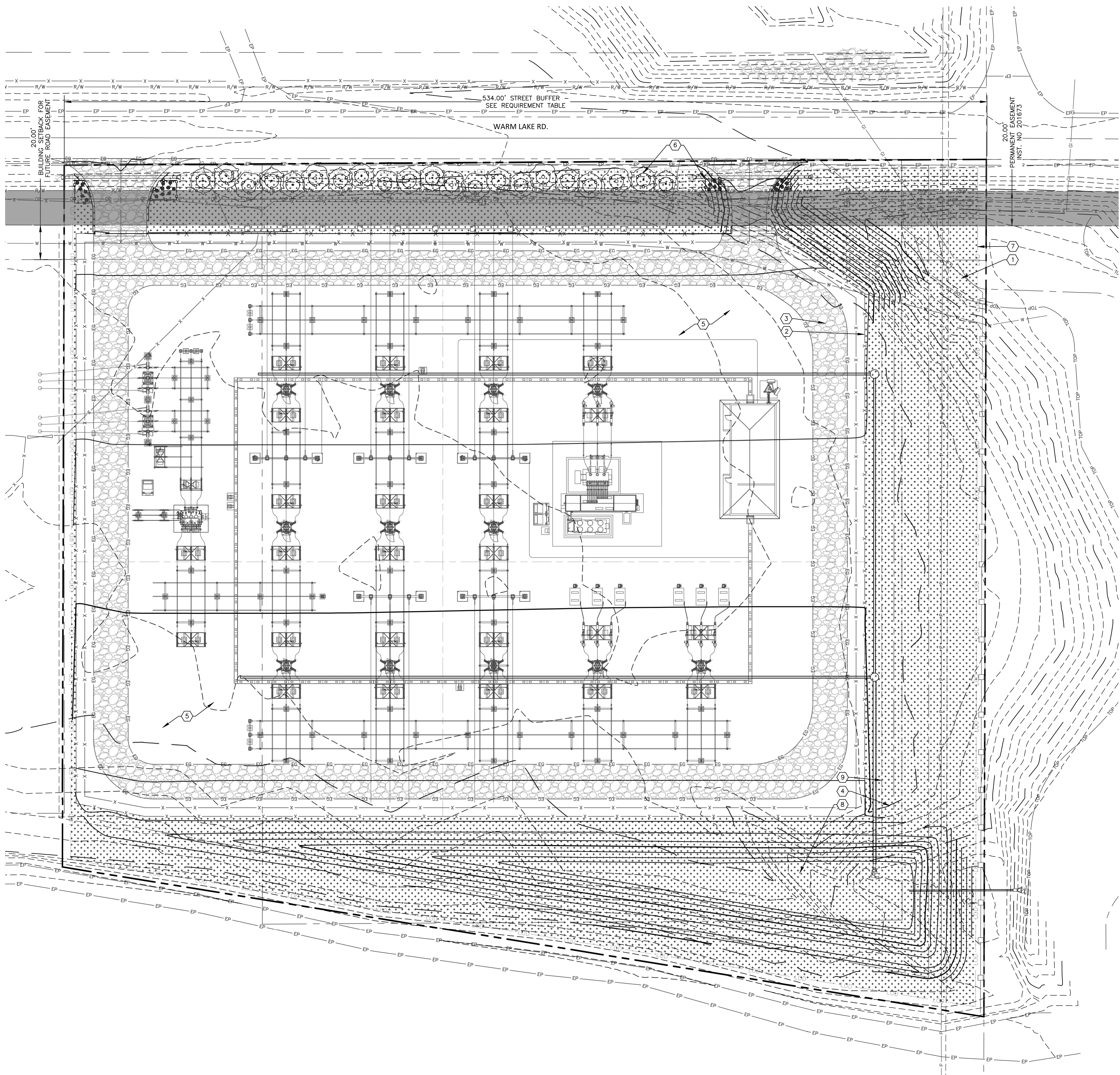
84

VAULT No. 21D-83570001



km
ENGINEERING
5725 NORTH DISCOVERY WAY
BOISE, IDAHO 83713
PHONE (208) 639-6939
kmengllp.com

SIGN BY:	BL
DRAWN BY:	BL
CHECKED BY:	AY
DATE:	7.10.25
PROJECT:	25-110
SHEET NO.	



STREET CALCULATIONS

REQUIRED: 1 TREE PER 25 LINEAR FEET. TREES MAY BE GROUPED OR PLANTED IN GROVES. 50% SHALL BE (24") BOX SIZE OR LARGER, MINIMUM (15 GAL).

STREET NAME	LF	CALCULATIONS	REQ	PRVD
WARM LAKE RD.	534	534 LF/ 25	21	21

TOTAL STREET TREES

TREE SPECIES MIX	REQ	PRVD
	0	2

STANDARD OF LANDSCAPE DESIGN

SERVICE/COMMERCIAL USE: A MINIMUM OF FIFTEEN PERCENT (15%) OF THE NET SITE SHALL BE LANDSCAPED.	REQ SQ. FT.	PRVD SQ. FT.
	36,092	76,004

MITIGATION REQUIREMENTS

THERE ARE NO HEALTHY TREES > 4" CAL. PROPOSED FOR REMOVAL

TOTAL SITE TREES	REQ	PRVD
	21	21

GENERAL LANDSCAPE NOTES

- CONTRACTOR SHALL LOCATE AND IDENTIFY EXISTING UNDERGROUND AND OVERHEAD UTILITIES WITHIN CONTRACT WORK AREAS PRIOR TO CONSTRUCTION. CONTRACTOR DIG LINE, INC. @ 1.800.342.1585, PROVIDE ADEQUATE MEANS OF PROTECTION OF UTILITIES AND SERVICES DESIGNATED TO REMAIN. REPAIR UTILITIES DAMAGED DURING SITE WORK OPERATIONS AT CONTRACTOR'S EXPENSE.
- ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN NURSERYMAN STANDARDS FOR TYPE AND SIZE SHOWN.
- ALL PROPOSED LANDSCAPING TO BE INSTALLED WITHIN THE LIMIT OF DISTURBANCE. THE INSTALLATION OF NEW LANDSCAPE IS NOT PERMITTED OUTSIDE OF THE L.O.D.

GENERAL IRRIGATION NOTES

- ALL PLANT MATERIALS TO BE WATERED BY AN IRRIGATION SYSTEM.
2. COVERAGE: THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE ONE HUNDRED PERCENT (100%) COVERAGE WITH HEAD TO HEAD SPACING OR TRIANGULAR SPACING AS APPROPRIATE.
3. MATCHED PRECIPITATION RATES: SPRINKLER HEADS SHALL HAVE MATCHED PRECIPITATION RATES WITHIN EACH CONTROL VALVE.
4. IRRIGATION DISTRICTS: SPRINKLER HEADS IRRIGATING LAWN OR OTHER HIGH WATER DEMAND AREAS SHALL BE CIRCUITED SO THAT THEY ARE ON THE SEPARATE ZONE OR DISTRICT FROM THOSE IRRIGATING TREES, SHRUBS, OR OTHER REDUCED WATER DEMAND AREAS.
5. OVERSPRAY: SPRINKLER HEADS SHALL BE ADJUSTED TO REDUCE OVERSPRAY ONTO IMPERVIOUS SURFACES SUCH AS STREETS, SIDEWALKS, DRIVEWAYS, AND PARKING AREAS.


KEY NOTES (TYPICAL)


- ALL DISTURBED AREAS OUTSIDE OF FENCE AREA TO RECEIVE NATIVE HYDROSEED. CONTRACTOR TO FIELD VERIFY LIMITS OF DISTURBANCE. HYDROSEED AT A RATE PER MANUFACTURERS RECOMMENDATIONS. ALL EXISTING VIABLE VEGETATION TO REMAIN IN THIS AREA. PRESERVE AND PROTECT. VIABILITY OF VEGETATION SHALL BE DETERMINED POST CONSTRUCTION, FINAL DECISION PER DEVELOPER.
2. 7' HEIGHT CHAINLINK FENCE OR APPROVED EQUAL. SEE L2.0-3.
3. PROPOSED GRAVEL DRIVE. REFER TO CIVIL PLANS FOR SPECIFICATIONS.
4. SEE GRADING PLANS FOR SPECIFICATIONS ON PROPOSED BERMING.
5. SEE CIVIL PLANS FOR GROUND TREATMENT WITHIN FENCED AREA.
6. TREE AND SHRUB TEMPORARY PROTECTION FENCING. ALL FENCING SHOULD BE INSTALLED AT A MINIMUM RADIUS OF 6' FROM THE CLEAR ROOT ZONE. SEE L2.0 FOR CORRESPONDING DETAILS.
7. LIMIT OF DISTURBANCE (L.O.D.). NO PROPOSED LANDSCAPING PERMITTED OUTSIDE OF THESE LIMITS.
8. DETENTION BASIN - REFER TO PLANT SCHEDULE FOR SEEDING TYPE. SEED AT A RATE PER MANUFACTURERS RECOMMENDATIONS. ADDITIONAL SEEDING TO BE ADDED DEPENDANT ON FINAL SLOPE OF BASIN TO AID IN THE PREVENTION OF EROSION.
9. 10-FOOT UNOBSTRUCTED CLEAR ZONE FROM FENCE LINE - VEGETATION TO NOT EXCEED 6-INCHES IN HEIGHT WITHIN THE AREA.

PLANT SCHEDULE

<u>SYMBOL</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>	<u>MATURE HXW</u>	<u>CLASS</u>	<u>QTY</u>
---------------	--------------------------------	-------------	-------------------	--------------	------------

DECIDUOUS TREES

	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' SERVICEBERRY	2" CAL. B&B 25'X20'	CLASS I 14
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	PRUNUS VIRGINIANA 'CANADA RED' CANADA RED CHOKECHERRY	2" CAL. B&B 30'X20'	CLASS I 7
---	--	---------------------	-----------

<u>SYMBOL</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>	<u>MATURE HXW</u>	<u>QTY</u>
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PERENNIALS

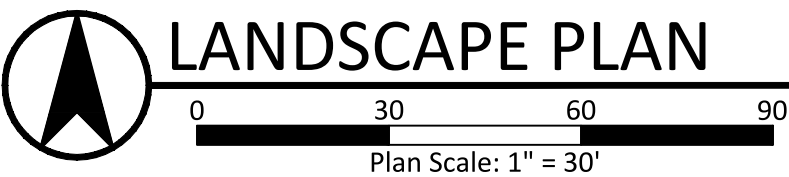
	BALSAMORHIZA SAGITTATA ARROWLEAF BALSAMROOT	1 GAL.	2'X2'	27
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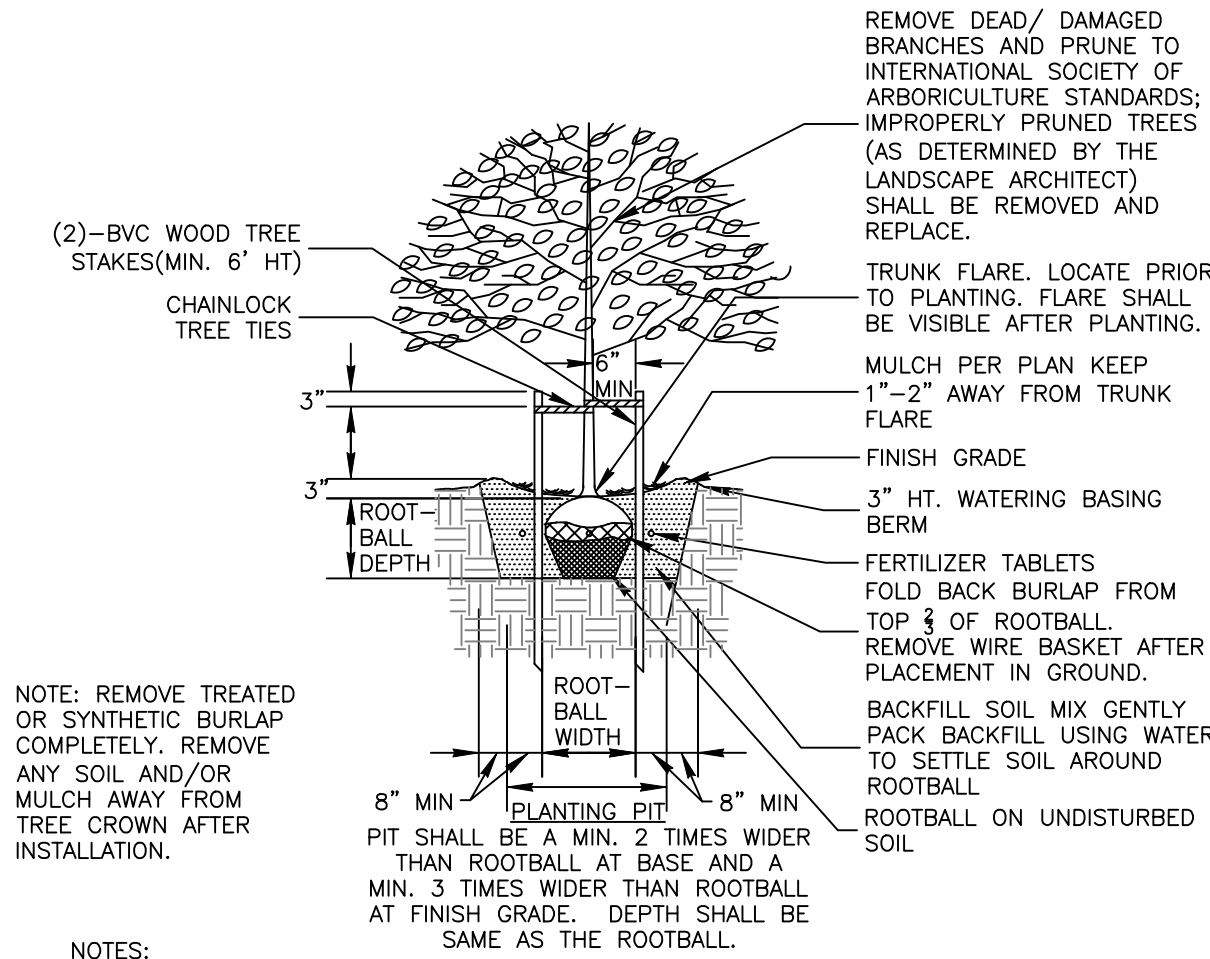
<u>SYMBOL</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT</u>	<u>QTY</u>
---------------	--------------------------------	-------------	------------

SOD/SEED

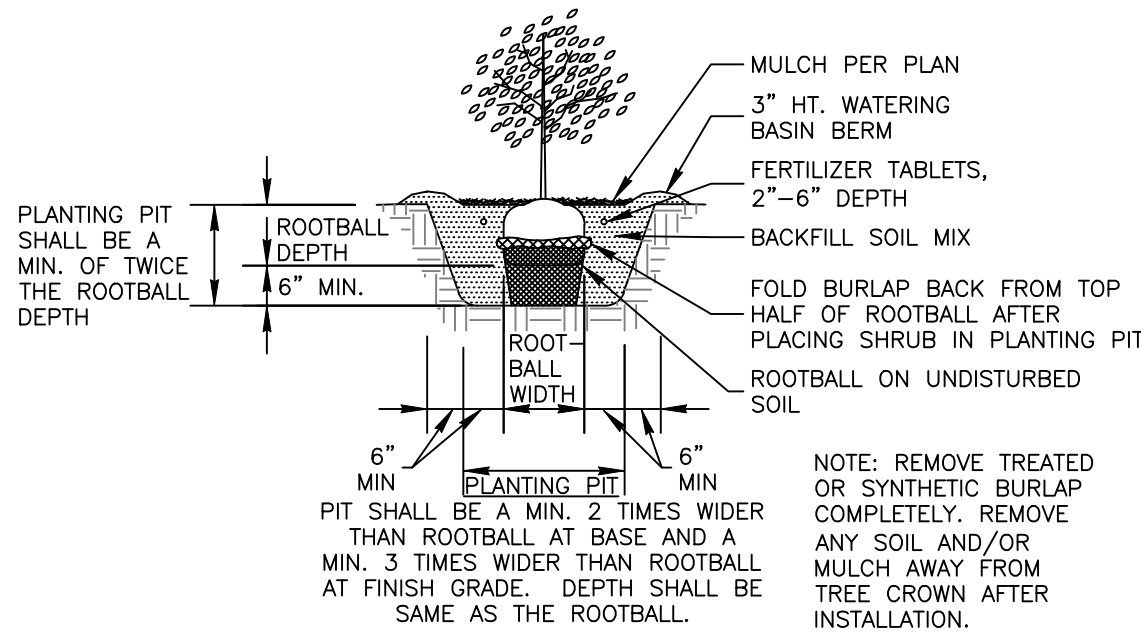
NATIVE SEED MIX		
ID PF CRP/RANGE NATIVE GRASS W/FORBS MIX		
TO OWNER OR OWNER'S REPRESENTATIVE FOR		
APPROVAL PRIOR TO INSTALLATION		
SEED MIX INCLUDES: WHEATGRASS, THICKSPIKE	NONE	76,004 SF
WHEATGRASS, SLENDER WHEATGRASS, SNAKE		
RIVER FESCUE, IDAHO WHEATGRASS, BLUEBUNCH,		
ALFALFA, BLANKETFLOWER, BLUE FLAX AND SMALL		
BURNET		

- NOTE:
1. MINIMUM BOX SIZE OF TREES TO BE 24" - WHICH IS EQUIVALENT
TO 1.5-2.5" CALIPER.





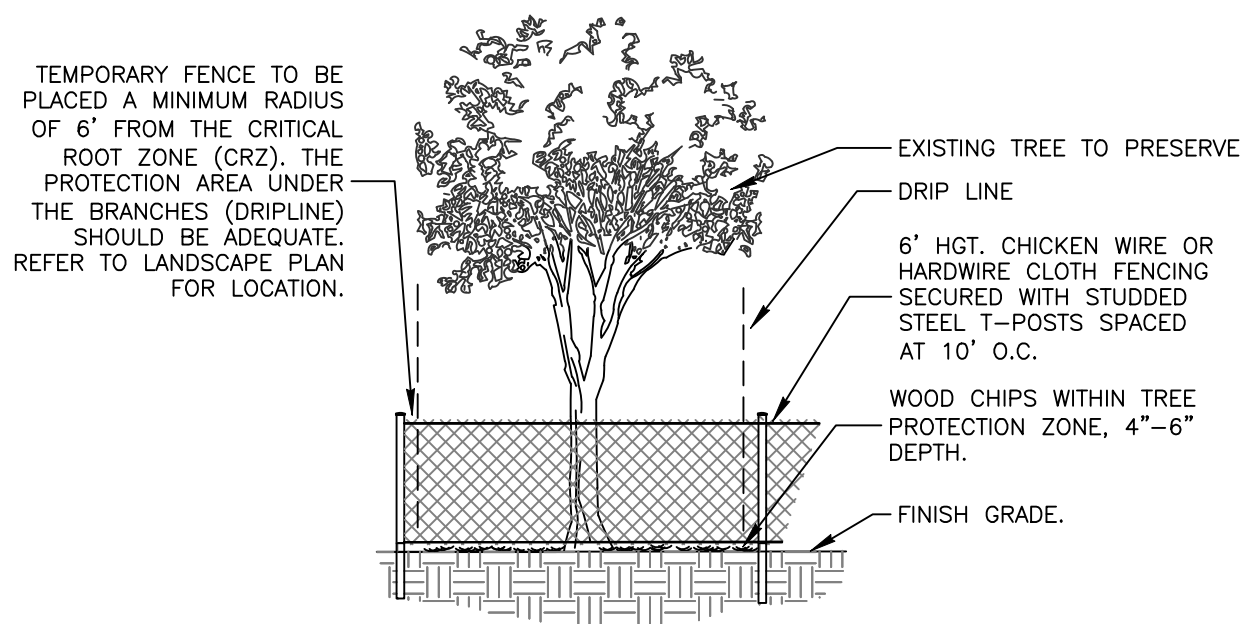
1 DECIDUOUS TREE PLANTING AND STAKING DETAIL
NTS



2 SHRUB PLANTING DETAIL
NTS

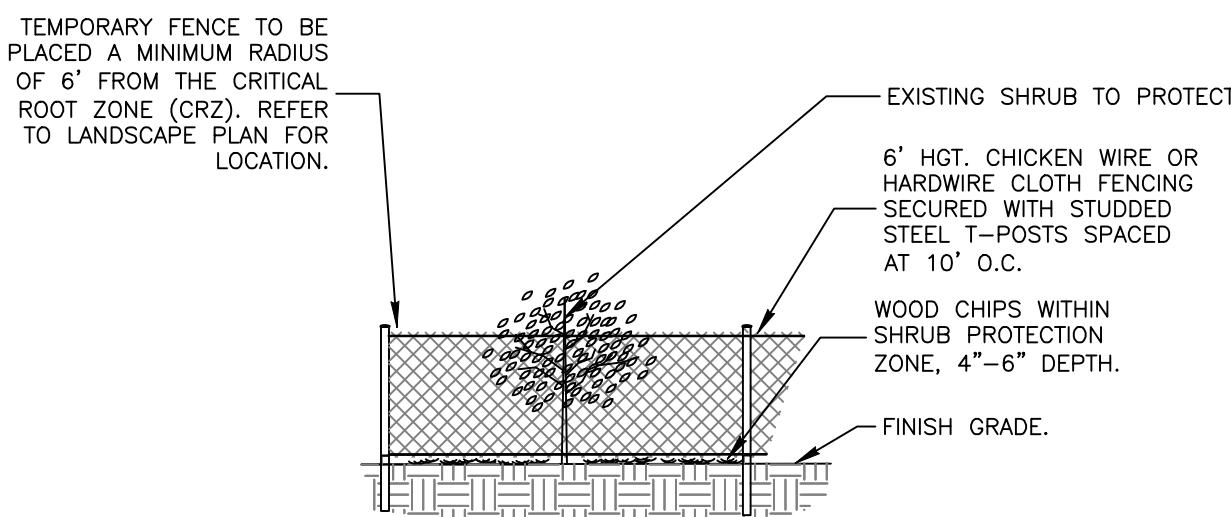


3 7-FOOT HEIGHT CHAINLINK FENCE
NTS



- NOTES:
1. NO VEHICULAR TRAFFIC, STOCKPILING OF MATERIALS, OR STORAGE OF EQUIPMENT OR MACHINERY ALLOWED WITHIN LIMIT OF FENCING. FENCING TO BE REMOVED AT COMPLETION OF THE FOLLOWING BLOOM SEASON OR THE END OF THE FIRST GROWING SEASON TO PREVENT THE TREE FROM BEING CIRCLED BY THE PROTECTION. REMOVAL OF THE FENCING IS AT THE DISCRETION OF THE CONTRACTOR/OWNER.
 2. IT IS RECOMMENDED THE CONTRACTOR/OWNER CHECK FOR DAMAGE AND LOOSEN THE PROTECTION FENCING AS THE VEGETATION GROWS.
 3. FENCING SHALL COMPLETELY ENIRCLE THE PROPOSED VEGETATION. PROVIDE 6-FOOT HEIGHT CONSTRUCTION FENCING, SECURED WITH 8-FOOT HGT. STUDDED T-POSTS. POSTS SHALL BE PLACED MAXIMUM 10' O.C.

4 TREE PROTECTION FENCING DETAIL
NTS



- NOTES:
1. NO VEHICULAR TRAFFIC, STOCKPILING OF MATERIALS, OR STORAGE OF EQUIPMENT OR MACHINERY ALLOWED WITHIN LIMIT OF FENCING. FENCING TO BE REMOVED AT COMPLETION OF THE FOLLOWING BLOOM SEASON OR THE END OF THE FIRST GROWING SEASON. REMOVAL OF THE FENCING IS AT THE DISCRETION OF THE CONTRACTOR/OWNER.
 2. IT IS RECOMMENDED THE CONTRACTOR/OWNER CHECK FOR DAMAGE AND LOOSEN THE PROTECTION FENCING AS THE VEGETATION GROWS.
 3. FENCING SHALL COMPLETELY ENIRCLE THE PROPOSED VEGETATION. PROVIDE 6-FOOT HEIGHT CONSTRUCTION FENCING, SECURED WITH 8-FOOT HGT. STUDDED T-POSTS. POSTS SHALL BE PLACED MAXIMUM 10' O.C.

5 SHRUB PROTECTION FENCING DETAIL
NTS

PLANT PALETTE



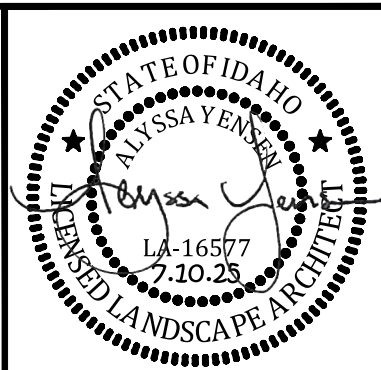
CANADA RED CHOKECHERRY



ARROWLEAF BALSAMROOT



AUTUMN BRILLIANCE SERVICEBERRY



REVISIONS		DATE							
NO.	ITEM								

CASCADE SWITCHING STATION
VALLEY COUNTY

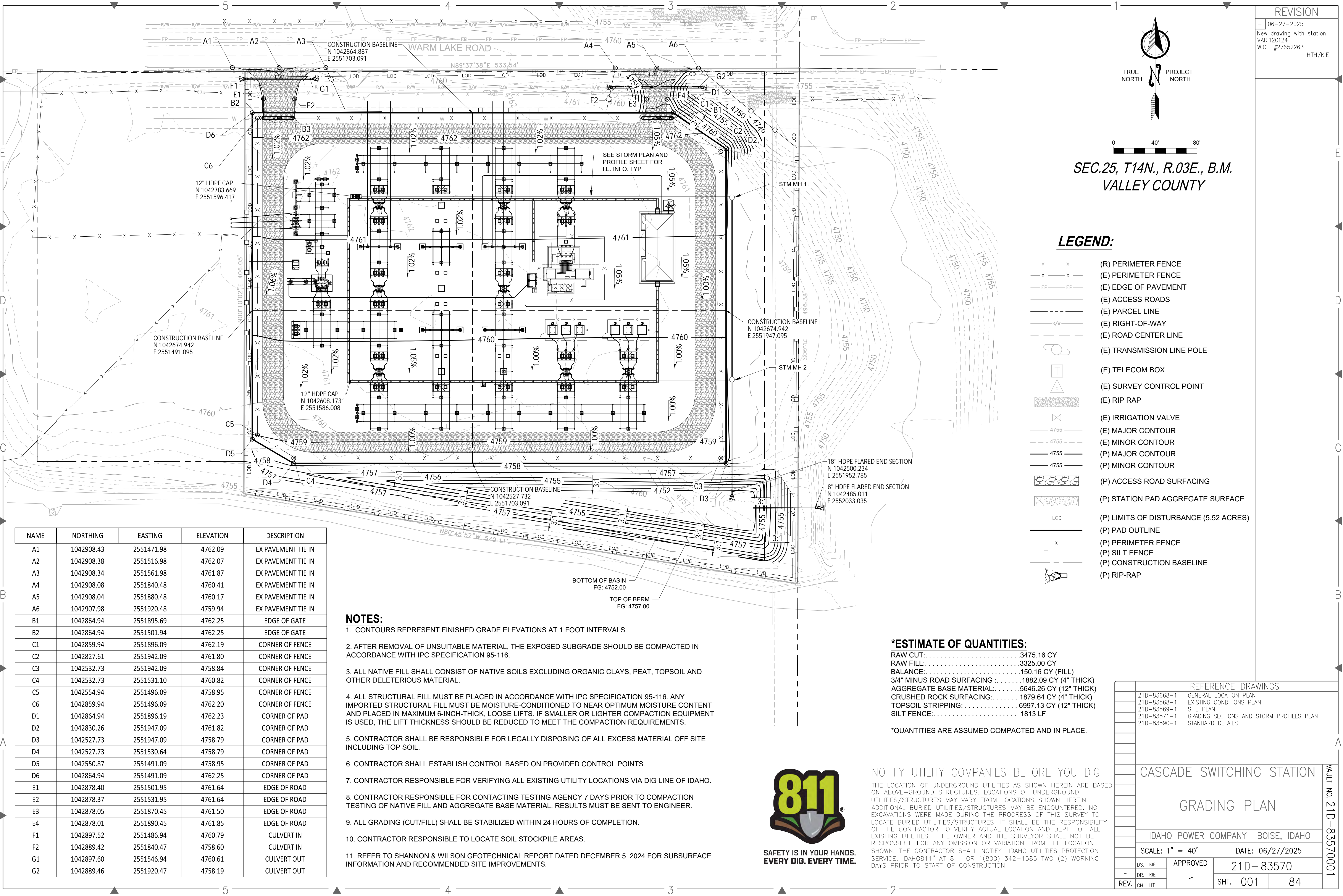
LANDSCAPE DETAILS

km
ENGINEERING
5725 NORTH DISCOVERY WAY
BOISE, IDAHO 83713
PHONE (208) 639-6939
kmengllp.com

DESIGN BY:	BL
DRAWN BY:	BL
CHECKED BY:	AY
DATE:	7.10.25
PROJECT:	25-110

SHEET NO.
L2.0

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NAME	NORTHING	EASTING	ELEVATION	DESCRIPTION
A1	1042908.43	2551471.98	4762.09	EX PAVEMENT TIE IN
A2	1042908.38	2551516.98	4762.07	EX PAVEMENT TIE IN
A3	1042908.34	2551561.98	4761.87	EX PAVEMENT TIE IN
A4	1042908.08	2551840.48	4760.41	EX PAVEMENT TIE IN
A5	1042908.04	2551880.48	4760.17	EX PAVEMENT TIE IN
A6	1042907.98	2551920.48	4759.94	EX PAVEMENT TIE IN
B1	1042864.94	2551895.69	4762.25	EDGE OF GATE
B2	1042864.94	2551501.94	4762.25	EDGE OF GATE
C1	1042859.94	2551896.09	4762.19	CORNER OF FENCE
C2	1042827.61	2551942.09	4761.80	CORNER OF FENCE
C3	1042532.73	2551942.09	4758.84	CORNER OF FENCE
C4	1042532.73	2551531.10	4760.82	CORNER OF FENCE
C5	1042554.94	2551496.09	4758.95	CORNER OF FENCE
C6	1042859.94	2551496.09	4762.20	CORNER OF FENCE
D1	1042864.94	2551896.19	4762.23	CORNER OF PAD
D2	1042830.26	2551947.09	4761.82	CORNER OF PAD
D3	1042527.73	2551947.09	4758.79	CORNER OF PAD
D4	1042527.73	2551530.64	4758.79	CORNER OF PAD
D5	1042550.87	2551491.09	4758.95	CORNER OF PAD
D6	1042864.94	2551491.09	4762.25	CORNER OF PAD
E1	1042878.40	2551501.95	4761.64	EDGE OF ROAD
E2	1042878.37	2551531.95	4761.64	EDGE OF ROAD
E3	1042878.05	2551870.45	4761.50	EDGE OF ROAD
E4	1042878.01	2551890.45	4761.85	EDGE OF ROAD
F1	1042897.52	2551486.94	4760.79	CULVERT IN
F2	1042889.42	2551840.47	4758.60	CULVERT IN
G1	1042897.60	2551546.94	4760.61	CULVERT OUT
G2	1042889.46	2551920.47	4758.19	CULVERT OUT

Primary Owner	Property Address	Mailing Address	Legal 2
CANTRELL DONALD J FAMILY TRUST B-1		PO BOX [REDACTED] BOISE ID 83705	
AT&T MOBILITY LLC	19 WARM LAKE RD	1010 PINE 9E L 01 SAINT LOUIS MO 63101	
NISSULA JUDITH RAE	804 N MAIN ST	804 N MAIN ST CASCADE ID 83611	
DUERDEN DOUG & JULIE TRUST		PO BOX [REDACTED] CASCADE ID 83611	
PARKER FAMILY TRUST		3546 E IMMIGRANT PASS DR BOISE ID 83716	
J R SIMPLOT COMPANY		PO BOX [REDACTED] BOISE ID 83707	
DAVIS JANET CHRISTINE		PO BOX [REDACTED] CASCADE ID 83611	
DF DEVELOPMENT LLC		PO BOX [REDACTED] CISCO TX 76437	
THORPE FAMILY TRUST	258 WARM LAKE RD	23498 BOISE RIVER RD CALDWELL ID 83607	
DAVIS PHIL & YVETTE FAMILY TRUST	125 WARM LAKE RD	19 WARM LAKE RD CASCADE ID 83611	
DAVIS JOHN CHRISTOPHER	800 N MAIN ST	800 N MAIN ST CASCADE ID 83611	
CASCADE RIVER LLC		19 WARM LAKE HIGHWAY CASCADE ID 83611	
MLINAR DAVE	11857 HIGHWAY 55	1957 W DITCH CREEK DR MERIDIAN ID 83646	
PLEHAL FAMILY REVOCABLE LIVING TRUST	10 MARIA KALEA ST	55 W PROSPECTORS DR CASCADE ID 83611	
WRIGHT CHARLES E	11380 LLOYD CT	11380 LLOYD CT CASCADE ID 83611	
STILLWELL DENNIS L	11851 HIGHWAY 55	PO BOX [REDACTED] CASCADE ID 83611	
WILLIAMS JANICE RUTH TRUST	11821 ROBERTS LN	777 TAYLOR ST # 1A FORT WORTH TX 76102	C/O PDS TAX SERVICES
DUNBRASKY FAMILY REVOCABLE TRUST	11 TAHOE PLACE	PO BOX [REDACTED] CASCADE ID 83611	
CUMMINS RYAN	11365 LLOYD CT	11365 LLOYD CT CASCADE ID 83611	
LINGENFELDER JAN	11853 HIGHWAY 55	PO BOX [REDACTED] CASCADE ID 83611	
PAOLINELLI FAMILY TRUST	11857 HIGHWAY 55	5817 N MARUYAMA AVE FRESNO CA 93723	
TAKEUCHI FARMS LLC		5315 N TROON PLACE BOISE ID 83713	
JACKSON BRUCE M	4 JOSHUA DR	7850 S SADDLE BAG WAY NAMPA ID 83687	

KREISLE WILLIAM H UDALL FREDRIC J UHL SCOT BARCELONA TRUST HOE ROBIN KEALA	8 MARIA KALEA ST 11781 ROBERTS LN 6 MARIA KALEA ST 11915 SMALLEY RD 64 JOSHUA DR	769 E BRAEMERE RD BOISE ID 83702 PO BOX █████ CASCADE ID 83611 4456 S COCHEES WAY BOISE ID 83709 919 E GROUSE DR MERIDIAN ID 83646 64 JOSHUA DR CASCADE ID 83611 20 SANTA TERESITA WAY SANTA BARBARA CA 93105 PO BOX █████ MERIDIAN CA 95957	
HAWS MAX C NELSON SHAWN	11913 SMALLEY RD 2 JOSHUA DR		
THOMPSON ASHLEY A SAND DENNIS KALTENECKER GREGORY FRIENDS OF KELLY'S WHITEWATER PARK INC LITTLE ENTERPRISES LTD PARTNERSHIP REHN GREGORY L TRUST OBRIEN DAVID R	620 N MAIN ST SPC 131 6 JOSHUA DR 11925 SMALLEY RD 330 KELLY PKY 105 POPLAR LN 3 SAN IGNACIO WAY	PO BOX █████ CASCADE ID 83611 6201 N PINTAIL WAY GARDEN CITY ID 83714 6640 SAXTON AVE BOISE ID 83714 PO BOX █████ MCCALL ID 83638 PO BOX █████ EMMETT ID 83617 PO BOX █████ SUNRIVER OR 97707 58 JOSHUA DR CASCADE ID 83611	C/O RICK LAMM CPA C/O BRADLEY J LITTLE
ELLIS JEREMY PARTON ROSS		2647 KNOLLWOOD DR CAMERON PARK CA 95682 2236 E COMISKY ST MERIDIAN ID 83646	
SCHOEN DONALD R BLOOMQUIST BRENDA K	11401 THUNDER CITY RD 5 SAN IGNACIO WAY	236 N 21ST ST PAYETTE ID 83661 5 SAN IGNACIO WAY CASCADE ID 83611	
IDAHO POWER COMPANY GILBERT FARON & ALETA FAMILY TRUST CAMPBELL BLAKE WALTER GARY H	299 VISTA POINT BLVD 11363 LLOYD CT	PO BOX █████ BOISE ID 83707 PO BOX █████ CASCADE ID 83611 3780 S CANNON WAY MERIDIAN ID 83642 PO BOX █████ MCCALL ID 83638	LISA HARDIN
RATTLER CONSTRUCTION LLC	4 MARIA KALEA ST	4341 S SILVER SPUR AVE BOISE ID 83709	

BIDERMAN FAMILY TRUST	11845 HIGHWAY 55	10294 W CULTIS BAY ST GARDEN CITY ID 83714
BIDERMAN DAVID J	11845 HIGHWAY 55	10294 W CULTIS BAY ST GARDEN CITY ID 83714
PETERSON ROBERT & MONA TRUST	11378 LLOYD CT	11378 LLOYD CT CASCADE ID 83611
ANDRUS DAVID LLOYD	25 ALANA ST	19451 KNOT LN NAMPA ID 83687
BOROW JAMES & MAXINE LIVING TRUST	27 SAN IGNACIO WAY	230 OAKHILL WAY AUBURN CA 95603
WOLFE CINDY L TRUST	10 TITO TR	7158 S WATERMILL WAY SALT LAKE CITY UT 84121
ODELL WILLIAM LEE	11375 LLOYD CT	11375 LLOYD CT CASCADE ID 83611
MARION FAMILY TRUST OF 2011	16 SARAH WAY	12839 S CARRIAGE HILL WAY NAMPA ID 83686
SAYER LAUREL	14 TITO TR	2670 E GREYSTONE CT EAGLE ID 83616
COLWELL DYLAN		303 GOURLEY ST BOISE ID 83705
HANSEN JERALD E	11815 ROBERTS LN	PO BOX [REDACTED] CASCADE ID 83611
TOMER LARRY T	18 SARAH WAY	911 TABIRA CT SOUTH LAKE TAHOE CA 96150
SMITH GREGORY J	12 SAN IGNACIO WAY	5 THREE POINT RD CASCADE ID 83611
DU PREEZ KLEINJAN	16 SAN IGNACIO WAY	1307 W WICKSHIRE CT EAGLE ID 83616
KELSAY DANIEL		138 AVENIDA PRESIDIO SAN CLEMENTE CA 92672
GENTRY JAMES R	15 SAN IGNACIO WAY	829 NW 2 NE STREET FRUITLAND ID 83619
RUHL KEVIN M	11 MARIA KALEA ST	11 MARIA KALEA ST CASCADE ID 83611
RED FOX RANCH LLC	5 JOSHUA DR	5 JOSHUA DR CASCADE ID 83611
HOWE INGPING C	43 SAN IGNACIO WAY	PO BOX [REDACTED] WRIGHTWOOD CA 92397
DAVIS F PHILLIP	5 EUZKADI POINT	19 WARM LAKE HIGHWAY CASCADE ID 83611
FITZGERALD JOSEPH	35 SAN IGNACIO WAY	35 SAN IGNACIO WAY CASCADE ID 83611
ROMAN CATHOLIC DIOCESE OF BOISE	101 VISTA POINT BLVD	1501 FEDERAL WAY BOISE ID 83705
WISBEY GEORGE	14 TAHOE PLACE	PO BOX [REDACTED] CASCADE ID 83611
NIEZWAAG KRISTA	40 SAN IGNACIO WAY	6516 N KIRKWOOD DR BOISE ID 83709

GILBERT FARON & ALETA TRUST	300 VISTA POINT BLVD	PO BOX [REDACTED] CASCADE ID 83611	
HARTMAN RANDAL G	38 SAN IGNACIO WAY	PO BOX [REDACTED] BOISE ID 83707	
URANGA RUFUS	17 SAN IGNACIO WAY	PO BOX [REDACTED] HOMEDALE ID 83628	
SIMPLOT INDUSTRIES INC		PO BOX [REDACTED] BOISE ID 83707	
DILLON TIMOTHY L		3745 MAES RD WEST BRANCH MI 48661	
PROVANCHER BELINDA L	25 SAN IGNACIO WAY	PO BOX [REDACTED] DONNELLY ID 83615	
ORMONDE EDWARD F	2 MARIA KALEA ST	PO BOX [REDACTED] MCCALL ID 83638	
TRANSPORTATION DEPT OF (C/B)	11729 HIGHWAY 55	PO BOX [REDACTED] BOISE ID 83707	
DAVIS FAMILY REVOCABLE TRUST	9 SAN IGNACIO WAY	PO BOX [REDACTED] CASCADE ID 83611	
CALDWELL KATLIN	23 SAN IGNACIO WAY	125 WARM LAKE HWY CASCADE ID 83611	
WILLIAMS MICHAEL	37 REHN LOOP	2373 E LAGRANGE DR MERIDIAN ID 83642	
BENTCEDAR INTERNATIONAL & IRR			
FAM TRUST	4 GERNIKA LN	409 BROAD ST STE 103 SEWICKLEY PA 15143	C/O JOE NAGEL
CLOW RICHARD D & LEAH LYNN			
FAMILY TRUST	21 ALANA DR	2950 NW 4TH AVE FRUITLAND ID 83619	
DEROOS JAMES MATTHEW		PO BOX [REDACTED] CASCADE ID 83611	
WISBEY GEORGE THOMAS	4 TAHOE PLACE	PO BOX [REDACTED] CASCADE ID 83611	
LYLE ANDREW	10 REHN LOOP	1786 N PRESTWICK WAY EAGLE ID 83616	
HUEY RANDY	4 EUZKADI PT	2218 W THREE LAKES DR MERIDIAN ID 83646	
BELL MARIE	18 TITO TR	5225 ORRVILLE AVE WOODLAND HILLS CA 91367	
CASCADE CITY OF		PO BOX [REDACTED] CASCADE ID 83611	
CARRINGTON ROBERT		9913 W SKYCREST DR BOISE ID 83704	
HIBBARD EMMETT D		702 N SENITA WAY EAGLE ID 83616	
REED CHRISTINA	17 TITO TR	4316 W HOLMES ST BOISE ID 83706	

CARUSO LAURA B
RUBERRY SAMUEL J
JENSEN ROCHELLE

171 LITTLE DONNER DR
10 AUGUSTUS WAY

PO BOX [REDACTED] CASCADE ID 83611
6303 BERMUDA DR BOISE ID 83709
1366 E VERSAILLES CT BOISE ID 83706

Property Owner List - 300' + Radius
for Parcel No RP14N03E250005

CANTRELL DONALD J FAMILY
TRUST B-1
PO BOX [REDACTED]
BOISE ID 83705

AT&T MOBILITY LLC
1010 PINE 9E L 01
SAINT LOUIS MO 63101

NISSULA JUDITH RAE
804 N MAIN ST
CASCADE ID 83611

DUERDEN DOUG & JULIE TRUST
PO BOX [REDACTED]
CASCADE ID 83611

PARKER FAMILY TRUST
3546 E IMMIGRANT PASS DR
BOISE ID 83716

J R SIMPLOT COMPANY
PO BOX [REDACTED]
BOISE ID 83707

DAVIS JANET CHRISTINE
PO BOX [REDACTED]
CASCADE ID 83611

DF DEVELOPMENT LLC
PO BOX [REDACTED]
CISCO TX 76437

THORPE FAMILY TRUST
23498 BOISE RIVER RD
CALDWELL ID 83607

DAVIS PHIL & YVETTE FAMILY
TRUST
19 WARM LAKE RD
CASCADE ID 83611

DAVIS JOHN CHRISTOPHER
800 N MAIN ST
CASCADE ID 83611

CASCADE RIVER LLC
19 WARM LAKE HIGHWAY
CASCADE ID 83611

MLINAR DAVE
1957 W DITCH CREEK DR
MERIDIAN ID 83646

PLEHAL FAMILY REVOCABLE
LIVING TRUST
55 W PROSPECTORS DR
CASCADE ID 83611

WRIGHT CHARLES E
11380 LLOYD CT
CASCADE ID 83611

STILLWELL DENNIS L
PO BOX [REDACTED]
CASCADE ID 83611

WILLIAMS JANICE RUTH TRUST
777 TAYLOR ST # 1A
FORT WORTH TX 76102

DUNBRASKY FAMILY REVOCABLE
TRUST
PO BOX [REDACTED]
CASCADE ID 83611

CUMMINS RYAN
11365 LLOYD CT
CASCADE ID 83611

LINGENFELDER JAN
PO BOX [REDACTED]
CASCADE ID 83611

PAOLINELLI FAMILY TRUST
5817 N MARUYAMA AVE
FRESNO CA 93723

TAKEUCHI FARMS LLC
5315 N TROON PLACE
BOISE ID 83713

JACKSON BRUCE M
7850 S SADDLE BAG WAY
NAMPA ID 83687

KREISLE WILLIAM H
769 E BRAEMERE RD
BOISE ID 83702

UDALL FREDRIC J
PO BOX [REDACTED]
CASCADE ID 83611

UHL SCOT
4456 S COCHEES WAY
BOISE ID 83709

BARCELONA TRUST
919 E GROUSE DR
MERIDIAN ID 83646

HOE ROBIN KEALA
64 JOSHUA DR
CASCADE ID 83611

HAWS MAX C
20 SANTA TERESITA WAY SANTA
BARBARA CA 93105

NELSON SHAWN
PO BOX [REDACTED]
MERIDIAN CA 95957

THOMPSON ASHLEY A
PO BOX [REDACTED]
CASCADE ID 83611

SAND DENNIS
6201 N PINTAIL WAY
GARDEN CITY ID 83714

KALTENECKER GREGORY
6640 SAXTON AVE
BOISE ID 83714

FRIENDS OF KELLY'S
WHITEWATER PARK INC
PO BOX [REDACTED]
MCCALL ID 83638

LITTLE ENTERPRISES LTD
PARTNERSHIP
PO BOX [REDACTED]
EMMETT ID 83617

REHN GREGORY L TRUST
PO BOX [REDACTED]
SUNRIVER OR 97707

OBRIEN DAVID R
58 JOSHUA DR
CASCADE ID 83611

ELLIS JEREMY
2647 KNOLLWOOD DR CAMERON
PARK CA 95682

PARTON ROSS
2236 E COMISKY ST
MERIDIAN ID 83646

SCHOEN DONALD R
236 N 21ST ST
PAYETTE ID 83661

BLOOMQUIST BRENDA K
5 SAN IGNACIO WAY
CASCADE ID 83611

IDAHO POWER COMPANY
PO BOX [REDACTED]
BOISE ID 83707

GILBERT FARON & ALETA FAMILY
TRUST
PO BOX [REDACTED]
CASCADE ID 83611

CAMPBELL BLAKE
3780 S CANNON WAY
MERIDIAN ID 83642

WALTER GARY H
PO BOX [REDACTED]
MCCALL ID 83638

RATTLER CONSTRUCTION LLC
4341 S SILVER SPUR AVE
BOISE ID 83709

BIDERMAN FAMILY TRUST
10294 W CULTIS BAY ST
GARDEN CITY ID 83714

BIDERMAN DAVID J
10294 W CULTIS BAY ST
GARDEN CITY ID 83714

PETERSON ROBERT & MONA
TRUST
11378 LLOYD CT
CASCADE ID 83611

ANDRUS DAVID LLOYD
19451 KNOT LN
NAMPA ID 83687

BOROW JAMES & MAXINE LIVING
TRUST
230 OAKHILL WAY
AUBURN CA 95603

WOLFE CINDY L TRUST
7158 S WATERMILL WAY
SALT LAKE CITY UT 84121

ODELL WILLIAM LEE
11375 LLOYD CT
CASCADE ID 83611

MARION FAMILY TRUST OF 2011
12839 S CARRIAGE HILL WAY
NAMPA ID 83686

SAYER LAUREL
2670 E GREYSTONE CT
EAGLE ID 83616

COLWELL DYLAN
303 GOURLEY ST
BOISE ID 83705

HANSEN JERALD E
PO BOX [REDACTED]
CASCADE ID 83611

TOMER LARRY T
911 TABIRA CT SOUTH LAKE
TAHOE CA 96150

SMITH GREGORY J
5 THREE POINT RD
CASCADE ID 83611

DU PREEZ KLEINJAN
1307 W WICKSHIRE CT
EAGLE ID 83616

KELSAY DANIEL
138 AVENIDA PRESIDIO SAN
CLEMENTE CA 92672

GENTRY JAMES R
829 NW 2 NE STREET
FRUITLAND ID 83619

RUHL KEVIN M
11 MARIA KALEA ST
CASCADE ID 83611

RED FOX RANCH LLC
5 JOSHUA DR
CASCADE ID 83611

HOWE INGPING C
PO BOX [REDACTED]
WRIGHTWOOD CA 92397

DAVIS F PHILLIP
19 WARM LAKE HIGHWAY
CASCADE ID 83611

FITZGERALD JOSEPH
35 SAN IGNACIO WAY CASCADE
ID 83611

ROMAN CATHOLIC DIOCESE OF
BOISE
1501 FEDERAL WAY BOISE ID
83705

WISBEY GEORGE
PO BOX [REDACTED] CASCADE ID 83611

NIEZWAAG KRISTA
6516 N KIRKWOOD DR
BOISE ID 83709

GILBERT FARON & ALETA TRUST
PO BOX [REDACTED]
CASCADE ID 83611

HARTMAN RANDAL G
PO BOX [REDACTED]
BOISE ID 83707

URANGA RUFUS
PO BOX [REDACTED]
HOMEDALE ID 83628

SIMPLOT INDUSTRIES INC
PO BOX [REDACTED]
BOISE ID 83707

DILLON TIMOTHY L
3745 MAES RD
WEST BRANCH MI 48661

PROVANCHER BELINDA L
PO BOX [REDACTED]
DONNELLY ID 83615

ORMONDE EDWARD F
PO BOX [REDACTED]
MCCALL ID 83638

TRANSPORTATION DEPT OF (C/B)
PO BOX [REDACTED]
BOISE ID 83707

DAVIS FAMILY REVOCABLE TRUST
PO BOX [REDACTED]
CASCADE ID 83611

CALDWELL KATLIN
125 WARM LAKE HWY
CASCADE ID 83611

WILLIAMS MICHAEL
2373 E LAGRANGE DR
MERIDIAN ID 83642

BENTCEDAR INTERNATIONAL &
IRR FAM TRUST
409 BROAD ST STE 103
SEWICKLEY PA 15143

CLOW RICHARD D & LEAH LYNN
FAMILY TRUST
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83619

DEROOS JAMES MATTHEW
PO BOX [REDACTED]
CASCADE ID 83611

WISBEY GEORGE THOMAS
PO BOX [REDACTED]
CASCADE ID 83611

LYLE ANDREW
1786 N PRESTWICK WAY
EAGLE ID 83616

HUEY RANDY
2218 W THREE LAKES DR
MERIDIAN ID 83646


BELL MARIE
5225 ORRVILLE AVE WOODLAND
HILLS CA 91367

CASCADE CITY OF
PO BOX [REDACTED]
CASCADE ID 83611

CARRINGTON ROBERT
9913 W SKYCREST DR
BOISE ID 83704

HIBBARD EMMETT D
702 N SENITA WAY
EAGLE ID 83616

REED CHRISTINA
4316 W HOLMES ST
BOISE ID 83706

CARUSO LAURA B
PO BOX 
CASCADE ID 83611

RUBERRY SAMUEL J
6303 BERMUDA DR
BOISE ID 83709

JENSEN ROCHELLE
1366 E VERSAILLES CT
BOISE ID 83706