# 7.0.P. LEVEL 2 23' - 2 1/8" T.O. LEVEL 2 T.O. <u>LEVEL 1</u> T.O. LEVEL 1



## **EXTERIOR ELEVATION GENERAL NOTES**

- A. DRAWINGS & SPECIFICATIONS ARE COMPLIMENTARY COMPONENTS OF THE CONTRACT DOCUMENTS, REVIEW ALL DRAWINGS AND SPECIFICATIONS FOR THE COMPLETE SCOPE OF WORK. NOTIFY ARCHITECT IMMEDIATELY FOR CLARIFICATION IF INCONSISTENCIES, CONTRADICTIONS OR OMISSIONS ARE DISCOVERED.
- B. DO NOT SCALE DRAWINGS, IF DIMENSIONAL INFORMATION IS REQUIRED & NOT FOUND, NOTIFY ARCHITECT IMMEDIATELY FOR CLARIFICATION.
- C. ALL DIMENSIONS ARE TO COLUMN CENTERLINES OR TO FACE OF FRAMING, U.N.O. CLEAR DIMENSIONS INDICATE DIMENSION BETWEEN FINISHES.
- D. ALL EXPOSED FOUNDATIONS AND FOOTINGS ARE TO BE PAINTED TO MATCH ADJACENT WALL FINISH OR COLOR AS SELECTED BY OWNER. PROVIDE NECESSARY SURFACE FILLER AS RECOMMENDED BY MANUFACTURER FOR PARTICULAR APPLICATION.
- E. PROVIDE 24 GUAGE PRE-FINISHED METAL FLASHING, DRIP EDGE, AND TRIM TO MATCH ROOFING COLOR, AS SELECTED
- F. PROVIDE CONTINUOUS PRE-FINISHED 22 GUAGE METAL GUTTER TP MATCH FLASHING OR TRIM AT ALL ROOF EAVES. PROVIDE CHAIN LEADER TO 12"x12"x12" CONCRETE BALLAST WITH EMBED EYELET OF SAME TYPE AS CHAIN LEADER.

## **EXTERIOR ELEVATION MATERIAL NOTES**

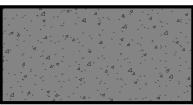


HORIZONTAL SIDING SHERWIN WILLIAMS STAIN -SW3513 SPICE CHEST



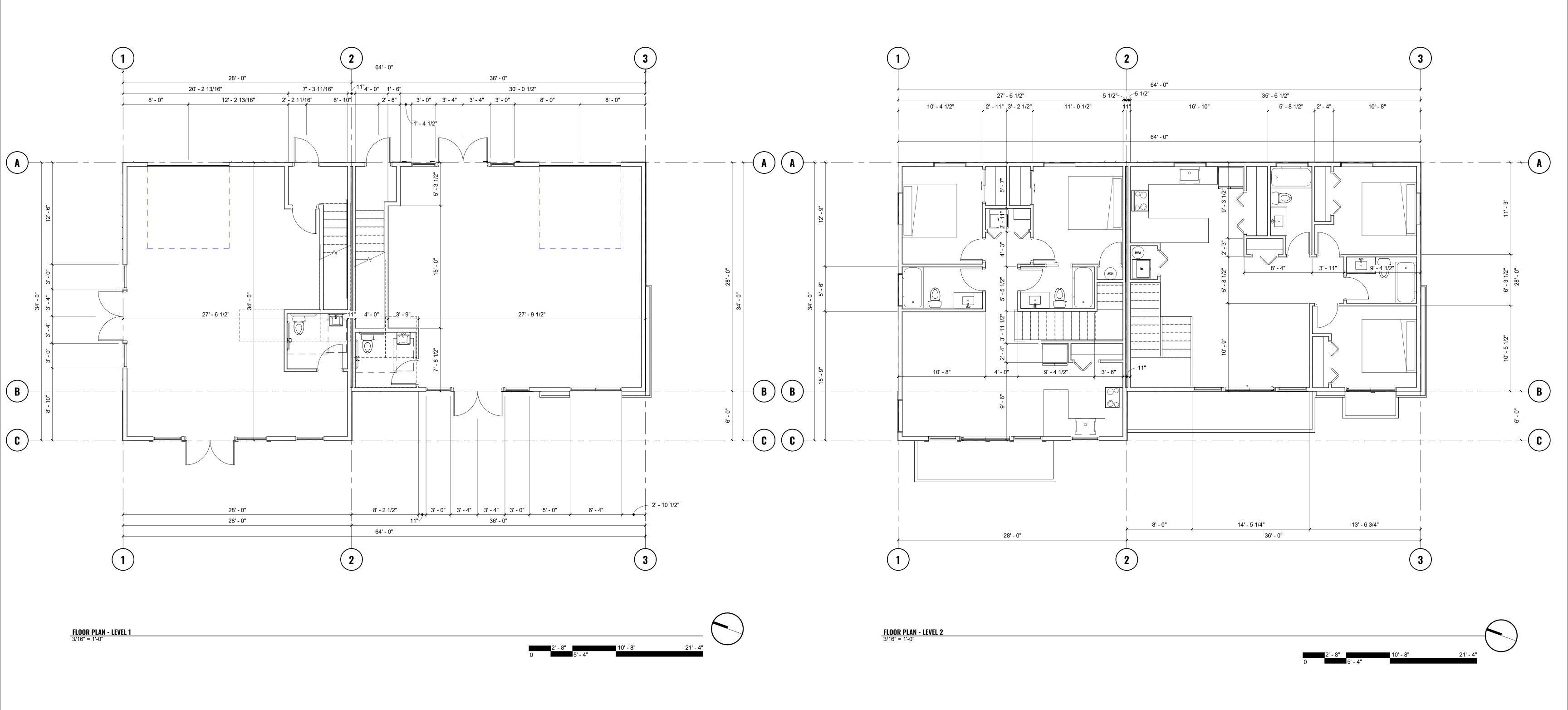
METAL STANDING SEAM SHERWIN WILLIAMS -SW6990 CAVIAR

\*METAL DOORS, AWNINGS, RAILINGS & TRIM IN SAME COLOR DIFFERENT SHEEN



CONCRETE PANEL / CONCRETE

## LAKE FORK VILLAGE - MIXED USE BUILDING





## LAKE FORK VILLAGE - MIXED USE BUILDING

LAKE FORK, IDAHO
FLOOR PLAN
09/23/25
ca - 2451

## **GENERAL NOTES:**

- 1. ALL WORK SHALL CONFORM TO THE PROJECT NOTES, DETAILS, SPECIFICATIONS, AND THE VALLEY COUNTY STANDARDS. WHERE NOT SPECIFIED, ALL WORK SHALL CONFORM TO THE 2020, OR MOST CURRENT, EDITION OF THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPWC) AND THE MOST CURRENT EDITION OF THE IDAHO TRANSPORTATION DEPARTMENT (ITD) SUPPLEMENTAL SPECIFICATIONS TO THE ISPWC. IN THE EVENT THAT ANY OF THESE STANDARDS CONFLICT, THE MORE STRINGENT SHALL BE THE CONTROLLING
- 2. ONLY PLAN SETS STAMPED "APPROVED FOR CONSTRUCTION" SHALL BE USED BY THE PROJECT CONTRACTOR(S). USE OF ANY PLANS ON THE JOB WITHOUT THE "APPROVED FOR CONSTRUCTION" STAMP SHALL BE GROUNDS FOR THE ISSUANCE OF A STOP WORK ORDER
- 3. THE CONTRACTOR SHALL KEEP ONSITE AT ALL TIMES A COPY OF THE APPROVED CONSTRUCTION PLANS, THESE PLANS SHALL BE USED TO RECORD THE ACTUAL LOCATIONS OF THE CONSTRUCTED PIPELINE(S) AND ANY OTHER UTILITIES ENCOUNTERED. THE CONTRACTOR SHALL PROVIDE THESE RECORDED LOCATIONS TO THE PROJECT ENGINEER FOR USE IN THE PRODUCTION OF RECORD DRAWINGS PRIOR TO FINAL APPROVAL/ACCEPTANCE OF THE PROJECT.
- 4. EXISTING SITE INFORMATION INCLUDING THE LOCATION OF EXISTING SITE CONDITIONS AND SURFACE TOPOGRAPHY AS SHOWN ON THESE PLANS HAS BEEN PROVIDED BY DUNN LAND SURVEYS, INC. THE EXISTING SITE INFORMATION IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR'S CONSTRUCTION SURVEY PRIOR TO THE START OF ANY PROJECT CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL CONSTRUCTION STAKING.
- 5. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. THE PROJECT ENGINEER ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THE DELINEATION OF SUCH UNDERGROUND UTILITIES, OR THE EXISTENCE OF OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY EXACT LOCATIONS OF EXISTING UTILITIES PRIOR TO THE START OF ANY PROJECT CONSTRUCTION. ANY LOCATION WHICH MAY POSE A CONFLICT WITH THE PROPOSED CONSTRUCTION MUST BE REPORTED TO THE PROJECT ENGINEER PRIOR TO THE START OF ANY PROJECT CONSTRUCTION.
- 6. THE CONTRACTOR SHALL CALL DIG LINE (800-342-1585) TO LOCATE ALL EXISTING UTILITIES AT LEAST THREE (3) DAYS PRIOR TO THE START OF CONSTRUCTION.
- 7. THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO THE START OF PROJECT CONSTRUCTION.
- 8. THE CONTRACTOR SHALL OBTAIN A PERMIT TO EXCAVATE IN PUBLIC RIGHT OF WAY, FROM THE VALLEY COUNTY PRIOR TO THE START OF PROJECT CONSTRUCTION.
- 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL ASSOCIATED WITH THE PROJECT AND SHALL DEVELOP/SUBMIT A PLAN TO THE PROJECT ENGINEER FOR
- APPROVAL PRIOR TO THE START OR PROJECT CONSTRUCTION. PLAN TO BE IN ACCORDANCE WITH MUTCD, VALLEY COUNTY AND PROVIDED AT NO ADDITIONAL COST TO THE OWNER. 10. THE CONTRACTOR SHALL MAINTAIN TRAFFIC ACCESS AT THE END OF EACH DAY AND PROVIDE DETOURS OR ONE-WAY TRAFFIC DURING CONSTRUCTION, WHEN CONSTRUCTION
- 11. CONTRACTOR SHALL SECURE A SHORT TERM ACTIVITY EXEMPTION FROM THE IDAHO DEPARTMENT OF ENVIRONMENTAL QUALITY (IDEQ) PRIOR TO THE START OF PROJECT CONSTRUCTION, IF TRENCH DEWATERING IS REQUIRED, CONTRACTOR SHALL SUBMIT A DEWATERING PLAN TO THE PROJECT ENGINEER PRIOR TO COMMENCEMENT OF DEWATERING
- 12. DURING SERVICE CONNECTIONS, GROUNDWATER LEVELS SHALL BE MAINTAINED ONE (1') FOOT OR MORE BELOW PIPE INVERTS PER ISPWC. ONCE DEWATERING OPERATIONS CEASE, CONTRACTOR SHALL CLEAN AND RESTORE TO THEIR ORIGINAL STATE ANY DITCHES OR STORMDRAIN FACILITIES THAT ARE SILTED DUE TO THEIR DEWATERING EFFORTS.
- 13. THE CONTRACTOR SHALL PROTECT ALL EXISTING MONUMENTS, SURVEY MARKERS, STREET SIGNS, UTILITIES, IRRIGATION LINES, PAVEMENT, TREES, FENCES, AND ANY OTHER IMPORTANT OBJECTS ON/OR ADJACENT TO THE JOB SITE FROM DAMAGE AND REPAIR OR REPLACE DAMAGED FACILITIES AS REQUIRED BY THE OWNER AND THE PROJECT ENGINEER.
- 14. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE STARTING WORK AND SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES.
- 15. ANY CHANGES TO THE DESIGN AS SHOWN IN THESE CONSTRUCTION DRAWINGS MUST BE REVIEWED AND APPROVED BY THE PROJECT ENGINEER BEFORE CHANGES ARE MADE. THIS INCLUDES CHANGES REQUESTED BY THE OWNER AND SUBCONTRACTORS.
- 16. CONTRACTOR SHALL PROVIDE THE PROJECT ENGINEER WITH ONE COPY OF REDLINED AS-BUILT DRAWINGS PRIOR TO PROJECT ACCEPTANCE IF DEEMED NECESSARY.
- 17. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL WORK CONSTRUCTED BY THEIR WORK CREWS UNTIL THE WORK IS ACCEPTED BY THE OWNER FOR CONTINUOUS
- 18. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE SAFETY LAWS OF ANY JURISDICTIONAL BODY INCLUDING, BUT NOT LIMITED TO, SAFE WORKING PRACTICES WITHIN AND AROUND THE CONSTRUCTION AREA. IN ADDITION, JURISDICTIONAL AGENCIES, THE OWNER, AND THE PROJECT ENGINEER SHALL NOT BE RESPONSIBLE FOR ENFORCING SAFETY REGULATIONS.
- 19. THE CONTRACTOR IS TO OBTAIN ALL APPLICABLE PERMITS.
- 20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ANY EXCESS ONSITE MATERIALS AS NECESSARY TO COMPLETE THE PROJECT.
- 21. IF ANY ITEMS OF SUSPECTED HISTORICAL OR ARCHAEOLOGICAL VALUE ARE DISCOVERED DURING CONSTRUCTION, THE CONTRACTOR WILL BE REQUIRED TO STOP WORK AND CONTACT THE OWNER, PROJECT ENGINEER, AS WELL AS THE STATE HISTORICAL PRESERVATION OFFICE.
- 22. IF DURING CONSTRUCTION OF THE PROJECT, AN UNDERGROUND STORAGE TANK, BURIED DRUM, OTHER CONTAINER, CONTAMINATED SOIL, OR DEBRIS NOT SCHEDULED FOR REMOVAL UNDER THE CONTRACT IS DISCOVERED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND THE PROJECT ENGINEER. NO ATTEMPT SHALL BE MADE TO

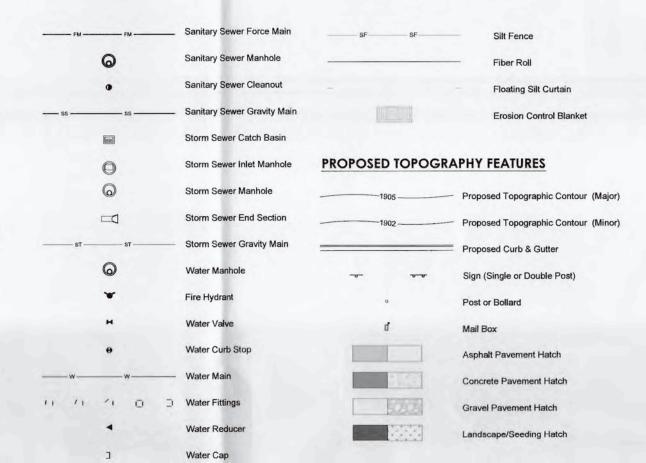
## **ROADWAY NOTES**

- 1. ALL ROADWAY CONSTRUCTION & WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL MEET THE MINIMUM REQUIREMENTS OF THE VALLEY COUNTY AND THE 2020 I.S.P.W.C.
- 2. WHEN DISCREPANCIES OCCUR BETWEEN PLANS AND SPECIFICATIONS AND INFORMATION IN THE FIELD, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND VALLEY COUNTY. UNTIMELY NOTIFICATIONS SHALL NEGATE ANY CONTRACTORS' CLAIM FOR ADDITIONAL COMPENSATION.
- 3. ALL TOPS OF VALVE BOXES AND SEWER MANHOLES SHALL BE SET FLUSH WITH THE SLOPE OF THE FINISHED GRADE OF THE STREET. THE ROADWAY CONTRACTOR SHALL INSTALL AND ADJUST ALL SPACER, GRADE RINGS, MANHOLE RINGS AND LIDS, AND CONCRETE COLLARS. CONCRETE COLLARS SHALL MEET I.S.P.W.C. STANDARD DWG NOS. SD 406 AND SD 508. THE CONTRACTOR SHALL NOTIFY VALLEY COUNTY 24-HOURS PRIOR TO POURING CONCRETE COLLARS.
- 4. ALL WORK SHALL BE INSPECTED IN ACCORDANCE WITH THE 2020 I.S.P.W.C. AND VALLEY COUNTY STANDARD CONSTRUCTION SPECIFICATIONS.
- 5. TRENCH REPAIRS IN PUBLIC ROADS AND PAVED ALLEYS SHALL MEET THE I.S.P.W.C. AND VALLEY COUNTY SUPPLEMENTAL SPECIFICATIONS.
- 6. WHEN CONNECTING TO EXISTING ASPHALT, THE CONTRACTOR SHALL SAW CUT 2.0 FT. MINIMUM FROM THE EXISTING EDGE OF PAVEMENT OR AS REQUIRED BY VALLEY COUNTY TO PROVIDE A DECENT EDGE TO BIND NEW ASPHALT TO.

## GRADING, DRAINAGE, AND EROSION CONTROL NOTES:

- 1. ANY DISTURBED SOILS SHALL BE RECOMPACTED OR REMOVED AND REPLACED WITH CONTROLLED, COMPACTED FILL. LOOSE LIFT THICKNESS SHALL NOT EXCEED SIX (6) INCHES, FILL SHALL BE COMPACTED TO AT LEAST 98% OF ASTM D698 (STANDARD PROCTOR) WITHIN -3% TO +3% OF OPTIMUM MOISTURE CONTENT. COMPACTION IN TRENCHES SHALL BE OBTAINED USING A VIBRATORY SHEEPS FOOT
- 2. SUBGRADE PREPARATION SHALL BE PERFORMED BENEATH ALL PROPOSED PAVEMENTS. THE SOIL SHALL RE SCARIFIED TO A DEPTH OF 12" BELOW SUBGRADE AND RECOMPACTED TO AT LEAST 98% OF ASTM D698 (STANDARD PROCTOR) WITHIN -3% TO +3% OF OPTIMUM MOISTURE CONTENT
- 3. ALL TOPSOIL IN CONSTRUCTION AREAS SHALL BE STRIPPED AND SEPARATED FROM OTHER INORGANIC SOIL MATERIALS. THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT THE MIXING OF TOPSOIL WITH OTHER MATERIALS. THE TOPSOIL SHALL BE RESPREAD TO A DEPTH OF AT LEAST SIX (6) INCHES. REFER TO NOTE 7 FOR SEEDING REQUIREMENTS.
- 4. EXCESS MATERIAL (TOPSOIL/CLAY/GRAVEL, ETC.) SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF SITE.
- 5. CONTRACTOR SHALL PLACE EROSION CONTROLS AS NECESSARY DURING CONSTRUCTION. FINAL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED WITHIN 30 DAYS OF COMPLETING UNDERGROUND UTILITY
- 6. CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN SITE AND SHALL CORRECT ANY EROSION ISSUES
- 7. SEEDING TYPE, LOCATION, AND APPLICATION RATES SHALL BE PER THE ISPWC. CONTRACTOR SHALL ONLY SEED BETWEEN MAY 1 AND JUNE 15 OR SEPTEMBER 1 TO OCTOBER 15.
- 8. CONTRACTOR SHALL WARRANTY SEEDING UNTIL VEGETATION IS ESTABLISHED AT A RATE OF NOT LESS

## PROPOSED UTILITIES PROPOSED EROSION CONTROL



## NOTE:

THIS IS A GENERAL LIST OF SYMBOLS, LINES AND ABBREVIATIONS. NOT ALL ARE USED ON THIS PROJECT AND SOME MAY NOT BE SHOWN.



VICINITY MAP

SCALE: 1" = 500'

## **GENERAL ABBREVIATIONS**

	<u>A</u>		
A/C	-Air Conditioning		N
ARV	-Air Release Valve	NC	-Normally Closed
ASME	-American Society Of Mechanical Engineers	NG	-Natural Gas
ASTM	-American Society Of Testing Materials	NO	-Normally Open
AVAR	-Air Vacuum And Air Release	NPS	-Nominal Pipe Size
		NPT	-National Pipe Thread
	<u>B</u>	NTS	-Not To Scale
BF	-Blind Flange		
BFP	-Backflow Preventer		0
BLDG	-Building	OC	-On Center
BFV	-Butterfly Valve	OD	-Outside Diameter
		OF	-Overflow
	C		
CB	-Catch Basin		P
CF	-Cubic Foot	P	Pump
CFS	-Cubic Feet Per Second	PG	-Pressure Gauge
CI	-Cast Iron	PI	-Point Of Intersection
CJ	-Construction Joint	PRV	-Pressure Reducing Valve
-	-Control Joint	PSI	-Pounds Per Square Inch
CL	-Centerline	PVC	-Polyvinyl Chloride
CLR	-Clear	1 40	-i Gryvinyi Cinonae
CMP			0
	-Corrugated Metal Pipe	OTV	Q
CMU	-Concrete Masonry Unit	QTY	-Quantity
CO	-Cleanout		
CONC	-Concrete	641 0.	R
CPLG	-Coupling	R	-Rebar
CU	-Cubic	RCP	<ul> <li>Reinforced Concrete Pip</li> </ul>
CV	-Check Valve	RED	-Reducer
CY	-Cubic Yard	RJ	-Restrained Joint
	D		S
DTL	-Detail	S	-Slope
DI	-Ductile Iron	SF	-Silt Fence
DIA	-Diameter	SHT	-Sheet
DIM	-Dimension	SIM	-Similar
DIP			
	-Ductile Iron Pipe	SPECS	-Specifications
DR	-Drain	SS	-Sanitary Sewer
DWG	-Drawing	SSMH	-Sanitary Sewer Manhole
		ST	-Storm Sewer
	E	STA	-Station
EX	-Existing	STD	-Standard
ECC	-Eccentric	STL	-Steel
EL	-Elevation	STMH	-Storm Sewer Manhole
EP	-Edge Of Pavement		
EJ	-Expansion Joint		T
	F	TBC	-Top Back Curb
FCO	-Floor Clean Out	TEMP	-Temporary
	-Floor Drain	T&G	-Tongue And Groove
FD	-Finish Floor	TK	-Tank
FD	1 111311 1 1001	TOC	
FF	-Finish Grade		-Top Of Concrete -Top Of Grout
FF FG	-Finish Grade		
FF FG FH	-Fire Hydrant	TOG	
FF FG FH FL	-Fire Hydrant -Flanged	TOW	-Top Of Wall
FF FG FH FL FT	-Fire Hydrant -Flanged -Feet		
FF FG FH FL	-Fire Hydrant -Flanged	TOW	-Top Of Wall -Typical
FF FG FH FL FT	-Fire Hydrant -Flanged -Feet -Force Main	TOW TYP	-Top Of Wall -Typical <u>U</u>
FF FG FH FL FT FM	-Fire Hydrant -Flanged -Feet -Force Main	TOW TYP	-Top Of Wall -Typical U -U Post
FF FG FH FL FT	-Fire Hydrant -Flanged -Feet -Force Main	TOW TYP	-Top Of Wall -Typical <u>U</u>
FF FG FH FL FT FM	-Fire Hydrant -Flanged -Feet -Force Main	TOW TYP	-Top Of Wall -Typical U -U Post
FF FG FH FL FT FM	-Fire Hydrant -Flanged -Feet -Force Main  G -Gallon	TOW TYP	-Top Of Wall -Typical U -U Post
FF FG FH FL FT FM	-Fire Hydrant -Flanged -Feet -Force Main  G -Gallon -Glass	TOW TYP	-Top Of Wall -Typical <u>U</u> -U Post -Ultra Violet
FF FG FH FL FT FM GAL GL GPM	-Fire Hydrant -Flanged -Feet -Force Main  G -Gallon -Glass -Gallons Per Minute	TOW TYP U UV	-Top Of Wall -Typical <u>U</u> -U Post -Ultra Violet
FF FG FH FL FT FM GAL GL GPM GV	-Fire Hydrant -Flanged -Feet -Force Main  G -Gallon -Glass -Gallons Per Minute -Gate Valve -Gypsum	TOW TYP U UV VERT	-Top Of Wall -Typical  U -U Post -Ultra Violet  V -Vertical
FF FG FH FL FT FM GAL GL GPM GV	-Fire Hydrant -Flanged -Feet -Force Main  G -Gallon -Glass -Gallons Per Minute -Gate Valve	TOW TYP U UV VERT	-Top Of Wall -Typical  U -U Post -Ultra Violet  V -Vertical
FF FG FH FL FT FM GAL GL GPM GV	-Fire Hydrant -Flanged -Feet -Force Main  G -Gallon -Glass -Gallons Per Minute -Gate Valve -Gypsum	TOW TYP U UV VERT	-Top Of Wall -Typical  U -U Post -Ultra Violet  V -Vertical -Vitrified Clay Pipe
FF FG FH FL FT FM GAL GL GPM GV GYP	-Fire Hydrant -Flanged -Feet -Force Main  G -Gallon -Glass -Gallons Per Minute -Gate Valve -Gypsum	TOW TYP U UV VERT VCP	-Top Of Wall -Typical  U -U Post -Ultra Violet  V -Vertical -Vitrified Clay Pipe
FF FG FH FL FT FM GAL GL GPM GV GYP	-Fire Hydrant -Flanged -Feet -Force Main  G -Gallon -Glass -Gallons Per Minute -Gate Valve -Gypsum  H -Hose Bibb -Horsepower	TOW TYP U UV VERT VCP	-Top Of Wall -Typical  U -U Post -Ultra Violet  V -Vertical -Vitrified Clay Pipe  W -Water
FF FG FH FL FT FM GAL GPM GV GYP H/B HP HVAC	-Fire Hydrant -Flanged -Feet -Force Main  G -Gallon -Glass -Gallons Per Minute -Gate Valve -Gypsum  H -Hose Bibb -Horsepower -Heating And Air Conditioning	UUV VERT VCP W W/ W/O	-Top Of Wall -Typical  U -U Post -Ultra Violet  V -Vertical -Vitrified Clay Pipe  W -Water -With -Without
FF FG FH FL FT FM GAL GPM GV GYP H/B HP	-Fire Hydrant -Flanged -Feet -Force Main  G -Gallon -Glass -Gallons Per Minute -Gate Valve -Gypsum  H -Hose Bibb -Horsepower	TOW TYP  U UV  VERT VCP  W W/ W/ W/O WS	-Top Of Wall -Typical  U -U Post -Ultra Violet  V -Vertical -Vitrified Clay Pipe  W -Water -With -Without -Water Surface
FF FG FH FL FT FM GAL GPM GV GYP H/B HP HVAC	-Fire Hydrant -Flanged -Feet -Force Main  G -Gallon -Glass -Gallons Per Minute -Gate Valve -Gypsum  H -Hose Bibb -Horsepower -Heating And Air Conditioning	UUV VERT VCP W W/ W/O	-Top Of Wall -Typical  U -U Post -Ultra Violet  V -Vertical -Vitrified Clay Pipe  W -Water -With -Without
FF FG FH FL FT FM GAL GPM GV GYP H/B HP HVAC	-Fire Hydrant -Flanged -Feet -Force Main  G -Gallon -Glass -Gallons Per Minute -Gate Valve -Gypsum  H -Hose Bibb -Horsepower -Heating And Air Conditioning -High Water Level	TOW TYP  U UV  VERT VCP  W W/ W/ W/O WS	-Top Of Wall -Typical  U -U Post -Ultra Violet  V -Vertical -Vitrified Clay Pipe  W -Water -With -Without -Water Surface -Welded Steel Pipe
FF FG FH FL FT FM GAL GL GPM GV GYP H/B HVAC HWL	-Fire Hydrant -Flanged -Feet -Force Main  G -Gallon -Glass -Gallons Per Minute -Gate Valve -Gypsum  H -Hose Bibb -Horsepower -Heating And Air Conditioning -High Water Level  I -Inside Diameter	TOW TYP  U UV  VERT VCP  W W/ W/O WS WSP	-Top Of Wall -Typical  U -U Post -Ultra Violet  V -Vertical -Vitrified Clay Pipe  W -Water -With -Without -Water Surface -Welded Steel Pipe
FF FG FH FL FT FM GAL GL GPM GV GYP H/B HP HVAC HWL	-Fire Hydrant -Flanged -Feet -Force Main  G -Gallon -Glass -Gallons Per Minute -Gate Valve -Gypsum  H -Hose Bibb -Horsepower -Heating And Air Conditioning -High Water Level  I -Inside Diameter -Iron Monument	TOW TYP  U UV  VERT VCP  W W/ W/ W/O WS	-Top Of Wall -Typical  U -U Post -Ultra Violet  V -Vertical -Vitrified Clay Pipe  W -Water -With -Without -Water Surface -Welded Steel Pipe
FF FG FH FL FT FM GAL GL GPM GV GYP H/B HPVAC HWL ID IM IN	-Fire Hydrant -Flanged -Feet -Force Main  G -Gallon -Glass -Gallons Per Minute -Gate Valve -Gypsum  H -Hose Bibb -Horsepower -Heating And Air Conditioning -High Water Level  ! -Inside Diameter -Iron Monument -Inch	TOW TYP  U UV  VERT VCP  W W/ W/O WS WSP	-Top Of Wall -Typical  U -U Post -Ultra Violet  V -Vertical -Vitrified Clay Pipe  W -Water -With -Without -Water Surface -Welded Steel Pipe
FF FG FH FL FT FM GAL GL GPM GV GYP HVAC HWL DIM IN IN	-Fire Hydrant -Flanged -Feet -Force Main  G -Gallon -Glass -Gallons Per Minute -Gate Valve -Gypsum  H -Hose Bibb -Horsepower -Heating And Air Conditioning -High Water Level  I -Inside Diameter -Iron Monument -Inch -Invert Elevation	TOW TYP  U UV  VERT VCP  W W/ W/O WS WSP	-Top Of Wall -Typical  U -U Post -Ultra Violet  V -Vertical -Vitrified Clay Pipe  W -Water -With -Without -Water Surface -Welded Steel Pipe  X Chisel 'X'  Y
FF FG FH FL FT FM GAL GL GPM GV GYP H/B HPVAC HWL ID IM IN	-Fire Hydrant -Flanged -Feet -Force Main  G -Gallon -Glass -Gallons Per Minute -Gate Valve -Gypsum  H -Hose Bibb -Horsepower -Heating And Air Conditioning -High Water Level  ! -Inside Diameter -Iron Monument -Inch	TOW TYP  U UV  VERT VCP  W W/ W/O WS WSP  X  YD	-Top Of Wall -Typical  U -U Post -Ultra Violet  V -Vertical -Vitrified Clay Pipe  W -Water -With -Without -Water Surface -Welded Steel Pipe  X Chisel 'X'  Y -Yard
FF FG FH FL FT FM GAL GL GPM GV GYP HVAC HWL DIM IN IN	-Fire Hydrant -Flanged -Feet -Force Main  G -Gallon -Glass -Gallons Per Minute -Gate Valve -Gypsum  H -Hose Bibb -Horsepower -Heating And Air Conditioning -High Water Level  ! -Inside Diameter -Iron Monument -Inch -Invert Elevation -Iron Pin	TOW TYP  U UV  VERT VCP  W W/ W/O WS WSP	-Top Of Wall -Typical  U -U Post -Ultra Violet  V -Vertical -Vitrified Clay Pipe  W -Water -With -Without -Water Surface -Welded Steel Pipe  X Chisel 'X'  Y
FF FG FH FL FT FM GAL GL GPM GV GYP H/B HVAC HWL ID IM IN	-Fire Hydrant -Flanged -Feet -Force Main  G -Gallon -Glass -Gallons Per Minute -Gate Valve -Gypsum  H -Hose Bibb -Horsepower -Heating And Air Conditioning -High Water Level  ! -Inside Diameter -Iron Monument -Inch -Invert Elevation -Iron Pin	TOW TYP  U UV  VERT VCP  W W/ W/O WS WSP  X  YD	-Top Of Wall -Typical  U -U Post -Ultra Violet  V -Vertical -Vitrified Clay Pipe  W -Water -With -Without -Water Surface -Welded Steel Pipe  X Chisel 'X'  Y -Yard -Year
FF FG FH FL FT FM GAL GL GPM GV GYP HVAC HWL DIM IN IN	-Fire Hydrant -Flanged -Feet -Force Main  G -Gallon -Glass -Gallons Per Minute -Gate Valve -Gypsum  H -Hose Bibb -Horsepower -Heating And Air Conditioning -High Water Level  ! -Inside Diameter -Iron Monument -Inch -Invert Elevation -Iron Pin	TOW TYP  U UV  VERT VCP  W W/ W/O WS WSP  X  YD YR	-Top Of Wall -Typical  U -U Post -Ultra Violet  V -Vertical -Vitrified Clay Pipe  W -Water -With -Without -Water Surface -Welded Steel Pipe  X Chisel 'X'  Y -Yard -Year
FF FG FH FL FT FM GAL GL GPM GV GYP H/B HVAC HWL ID IM IN	-Fire Hydrant -Flanged -Feet -Force Main  G -Gallon -Glass -Gallons Per Minute -Gate Valve -Gypsum  H -Hose Bibb -Horsepower -Heating And Air Conditioning -High Water Level  I -Inside Diameter -Iron Monument -Inch -Invert Elevation -Iron Pin  J -Joint	TOW TYP  U UV  VERT VCP  W W/ W/O WS WSP  X  YD	-Top Of Wall -Typical  U -U Post -Ultra Violet  V -Vertical -Vitrified Clay Pipe  W -Water -With -Without -Water Surface -Welded Steel Pipe  X Chisel 'X'  Y -Yard -Year
FF FG FF FT FM GAL GPM GV P H/B PAC HWL D M Z N P T	-Fire Hydrant -Flanged -Feet -Force Main  G -Gallon -Glass -Gallons Per Minute -Gate Valve -Gypsum  H -Hose Bibb -Horsepower -Heating And Air Conditioning -High Water Level  I -Inside Diameter -Iron Monument -Inch -Invert Elevation -Iron Pin  J -Joint M	TOW TYP  U UV  VERT VCP  W W/ W/O WS WSP  X  YD YR	-Top Of Wall -Typical  U -U Post -Ultra Violet  V -Vertical -Vitrified Clay Pipe  W -Water -With -Without -Water Surface -Welded Steel Pipe  X Chisel 'X'  Y -Yard -Year
FF FG FF FM GAL GPM GV P H/B PAC HWL DIM NIN NIN NIN NIN NIN NIN NIN NIN NIN N	-Fire Hydrant -Flanged -Feet -Force Main  G -Gallon -Glass -Gallons Per Minute -Gate Valve -Gypsum  H -Hose Bibb -Horsepower -Heating And Air Conditioning -High Water Level  I -Inside Diameter -Iron Monument -Inch -Invert Elevation -Iron Pin  J -Joint  M -Meter	TOW TYP  U UV  VERT VCP  W W/ W/O WS WSP  X  YD YR	-Top Of Wall -Typical  U -U Post -Ultra Violet  V -Vertical -Vitrified Clay Pipe  W -Water -With -Without -Water Surface -Welded Steel Pipe  X Chisel 'X'  Y -Yard -Year
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NOTES & LEGEND C1.0

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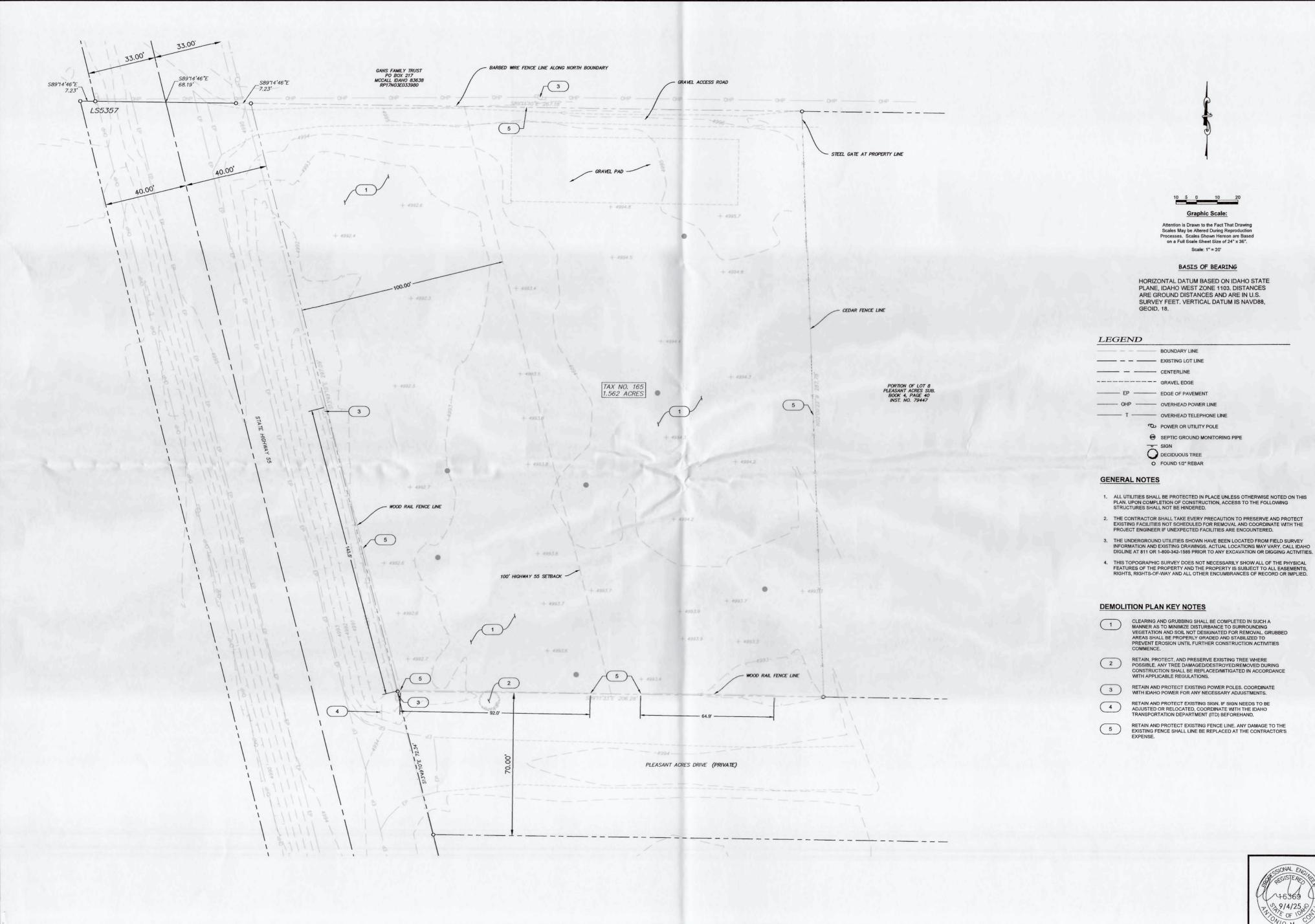
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- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. ACTUAL LOCATIONS MAY VARY, CALL IDAHO DIGLINE AT 811 OR 1-800-342-1585 PRIOR TO ANY EXCAVATION OR DIGGING ACTIVITIES.
- THIS TOPOGRAPHIC SURVEY DOES NOT NECESSARILY SHOW ALL OF THE PHYSICAL FEATURES OF THE PROPERTY AND THE PROPERTY IS SUBJECT TO ALL EASEMENTS, RIGHTS, RIGHTS-OF-WAY AND ALL OTHER ENCUMBRANCES OF RECORD OR IMPLIED.

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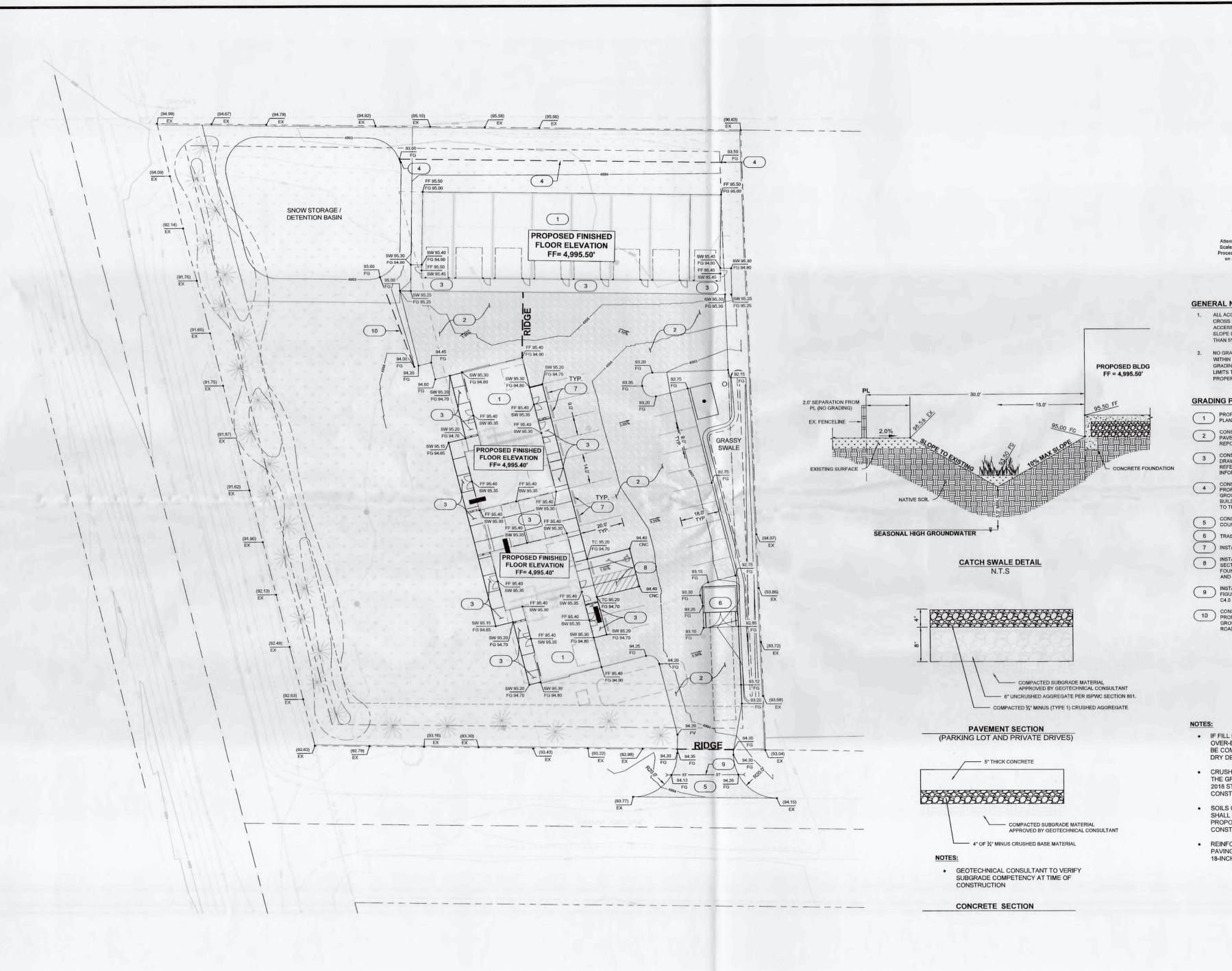
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PROJECT NO. R25098

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DRAWING NAME **DEMOLITION PLAN** C2.0





## Graphic Scale:

Attention is Drawn to the Fact That Drawing Scales May be Altered During Reproduction Processes. Scales Shown Hereon are Based on a Full Scale Sheet Size of 24" x 36". Scale: 1" = 20'

## GENERAL NOTES

- ALL ACCESSIBLE PARKING STALLS SHALL MAINTAIN A
  CROSS SLOPE LESS THAN 2% IN ANY DIRECTION. ALL ACCESSIBLE PATHS OF TRAVEL SHALL MAINTAIN A CROSS SLOPE LESS THAN 2% AND A LONGITUDINAL SLOPE LESS
- NO GRADING IS PERMITTED ACROSS PROPERTY LINES OR WITHIN TWO (2) FEET OF PROPERTY LINES. ALL SITE GRADING IS TO BE CONTAINED WITHIN THE DESIGNATED LIMITS TO AVOID ENCROACHMENT ON ADJACENT PROPERTIES.

## **GRADING PLAN KEY NOTES**

- 1 PROPOSED BUILDING LAYOUT, REFER TO ARCHITECTURAL PLANS FOR MORE DETAILS.
- CONSTRUCT COMPACTED GRAVEL DRIVE PER TYPICAL PAVEMENT SECTION BELOW. REFER TO GEOTECHNICAL REPORT FOR MORE INFORMATION.
- 3 CONSTRUCT CONCRETE SIDEWALK PER ISPWC STANDARD DRAWING SD-709. TYPICAL CONCRETE SECTION BELOW. REFER TO GEOTECHNICAL REPORT FOR MORE INFORMATION.
- CONSTRUCT A SHALLOW, LOW-LYING SWALE WITHIN THE PROPOSED LANDSCAPE. CONTRACTOR SHALL GRADE THE GROUND SURFACE TO SLOPE AWAY FROM THE PROPOSED BUILDING @ MIN. 10% SLOPE FOR 15 FEET, AND THEN GRADE TO THE EXISTING SURFACE TOWARD THE PROPERTY LINE.
- CONSTRUCT RURAL DRIVEWAY APPROACH PER VALLEY COUNTY FIGURE 200 FOR DRIVEWAYS.
- 6 TRASH ENCLOSURE PER ARCHITECTURAL PLANS.
- 7 INSTALL CONCRETE WHEEL STOP.
- 8 INSTALL ADA CONCRETE PARKING. USE TYPICAL CONCRETE SECTION BELOW, SLOPE MIN. 1.0% TO DRAIN AWAY FROM FOUNDATION, PROVIDE CONTROL JOINTS AT MAX. 10' O.C. AND MOVEMENT JOINTS AT FOUNDATION PERIMETER.
- 9 INSTALL 15" DRIVEWAY CULVERT PER VALLEY COUNTY FIGURE 200 (PRIVATE/PUBLIC STANDARDS). REFER TO SHEET C4.0 FOR MORE INFORMATION.
- CONSTRUCT A SHALLOW, LOW-LYING SWALE WITHIN THE PROPOSED LANDSCAPE, CONTRACTOR SHALL GRADE THE GROUND SURFACE TO SLOPE AWAY FROM THE GRAVEL ROADWAY @ MIN. 10% SLOPE FOR 2 FEET.
- IF FILL MATERIALS REMAIN AFTER OVER-EXCAVATION, THE EXPOSED SUBGRADE MUST BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698.
- CRUSHED AGGREGATE BASE COUSE SHALL MEET THE GRADING AND QUALITY REQUIREMENTS OF ITD 2018 STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, SECTION 703.04.
- SOILS CONTAINING ROOTS OR ORGANIC MATERIALS SHALL BE COMPLETELY REMOVED FROM THE PROPOSED PAVED AREAS PRIOR TO SUBGRADE
- REINFORCING REQUIREMENTS FOR CONCRETE PAVING SECTIONS SHALL INCLUDE #4 BARS @ 18-INCHES O/C.E.W.



R25098 **GRADING PLAN** C3.0

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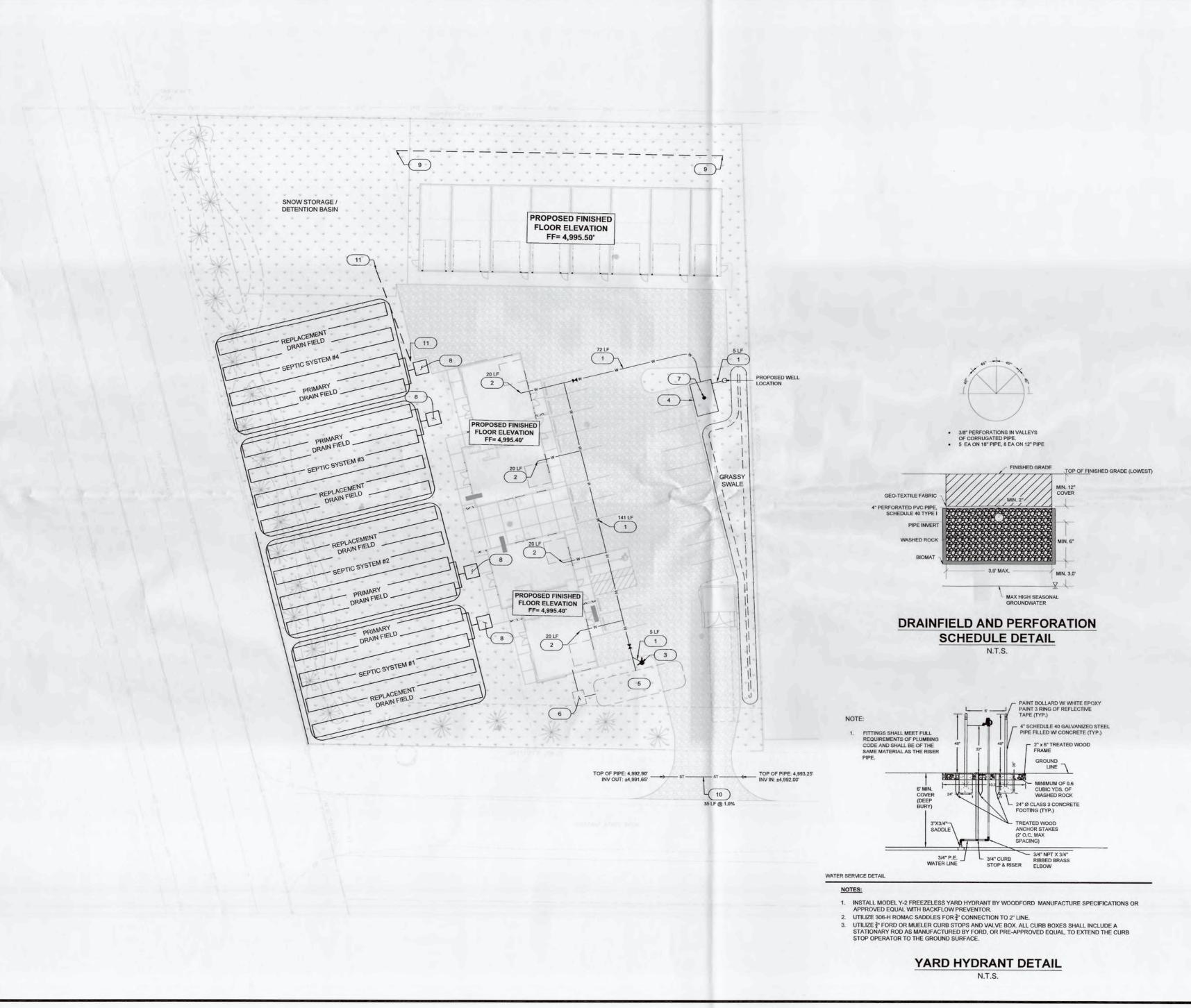
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Attention is Drawn to the Fact That Drawing

## **UTILITY PLAN GENERAL NOTES**

- 1. DRAINFIELDS LARGER THAN 1,500 SF TRENCH AREA BOTTOM ARE PROHIBITED FROM BEING CONSTRUCTED AS A GRAVITY DRAINFIELD PER IDAPA 58.01.03.008.04. DRAINFIELDS EXCEEDING 1,500 SF MUST BE PRESSURE DOSED PER SECTION 4.19.
- 2. SEPTIC SYSTEM DRAIN FIELD: CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS THROUGH CENTRAL DISTRICT HEALTH.
- 3. FIRE SERVICE: CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS THROUGH THE LOCAL AGENCY.
- 4. FIRE SUPPRESSION WILL BE DEFERRED UNTIL SUBMITTAL.
- 5. CONTRACTOR TO VERIFY ALL INVERT ELEVATIONS.
- 6. THE CONTRACTOR SHALL CALL DIG LINE (800-342-1585) TO LOCATE ALL EXISTING UTILITIES AT LEAST THREE (3) DAYS PRIOR TO THE START OF CONSTRUCTION.
- 7. ALL POTABLE AND NON-POTABLE WATER LINE CROSSINGS SHALL BE IN ACCORDANCE WITH ISPWC SD-407.
- 8. ENGINEER MUST VERIFY THE INFILTRATION RATE AFTER THE FACILITY IS FULLY EXCAVATED.
- 9. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF GROUNDWATER IS ENCOUNTERED WITHIN 3-FEET OF THE BOTTOM DESIGN ELEVATION FOR ANY INFILTRATION FACILITY AND/OR IF GROUNDWATER IS HIGHER THAN ANTICIPATED.

## **UTILITY PLAN KEY NOTES**

- 1 INSTALL 2" DR11 HDPE WATER LINE @ MIN, DEPTH OF 6.0". LENGTH AS INDICATED ON PLAN.
- 2 INSTALL 3/4" DR11 HDPE DOMESTIC WATER SERVICE LINE @ MIN. DEPTH OF 6.0' SIMILAR TO ISPWC STANDARD SPECIFICATION SD-401 W/O METER SETTER. LENGTH AS INDICATED ON PLAN.
- 3 INSTALL FROST-FREEZE YARD HYDRANT W/ BOLLARDS PER DETAIL OF THIS SHEET.
- PROPOSED WELL HOUSE, REFER TO DETAILS SHEET FOR MORE INFORMATION.
- 5 UNDERGROUND 30,000 GALLON FIRE WATER TANK.
- 6 PROPOSED PUMP HOUSE STATION FOR FIRE SERVICE.
- 7 INSTALL 2" AREA DRAIN IN CENTER OF WELL HOUSE AND DRAIN TO PROPOSED SWALE.
- 8 INSTALL MIN. 1,160 GALLON SEPTIC TANK, OR APPROVED EQUAL. CONTRACTOR IS RESPONSIBLE TO VERIFY SEPTIC TANK SPECIFICATIONS MEET CENTRAL DISTRICT HEALTH REQUIREMENTS.
- GONSTRUCT A SHALLOW, LOW-LYING SWALE WITHIN THE PROPOSED LANDSCAPE. CONTRACTOR SHALL GRADE THE GROUND SURFACE TO SLOPE AWAY FROM THE PROPOSED BUILDING @ MIN. 10% SLOPE FOR 15 FEET, AND THEN GRADE TO THE EXISTING SURFACE TOWARD THE PROPERTY LINE.
- 10 INSTALL 15" DRIVEWAY CULVERT PER VALLEY COUNTY FIGURE 200 (PRIVATE/PUBLIC STANDARDS). LENGTH AND SLOPE AS INDICATED ON PLANS.
- CONSTRUCT A SHALLOW, LOW-LYING SWALE WITHIN THE PROPOSED LANDSCAPE. CONTRACTOR SHALL GRADE THE GROUND SURFACE TO SLOPE AWAY FROM THE GRAVEL ROADWAY @ MIN. 10% SLOPE FOR 2 FEET.



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PROJECT NO. DRAWING NAME UTILITY PLAN

C4.0

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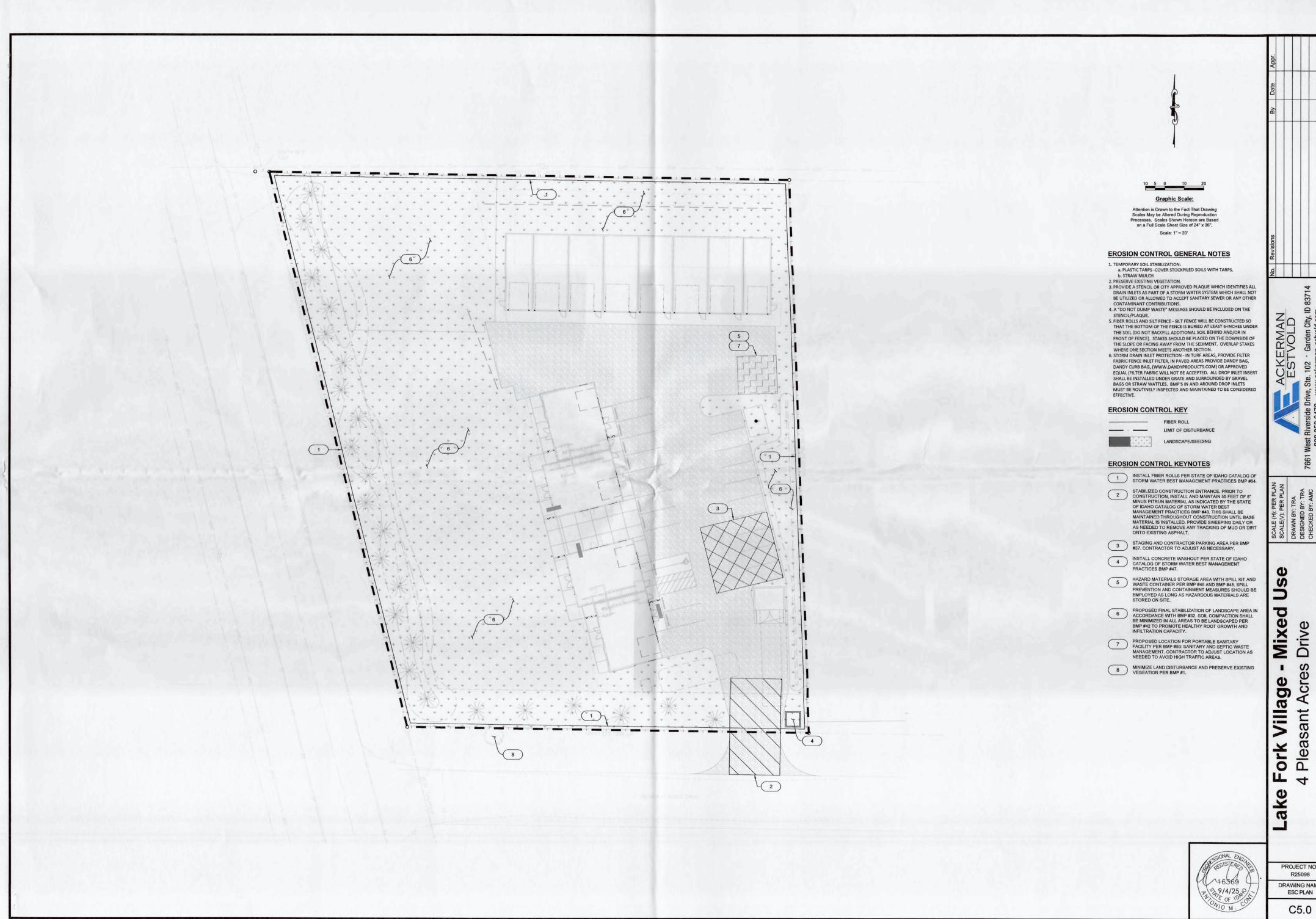
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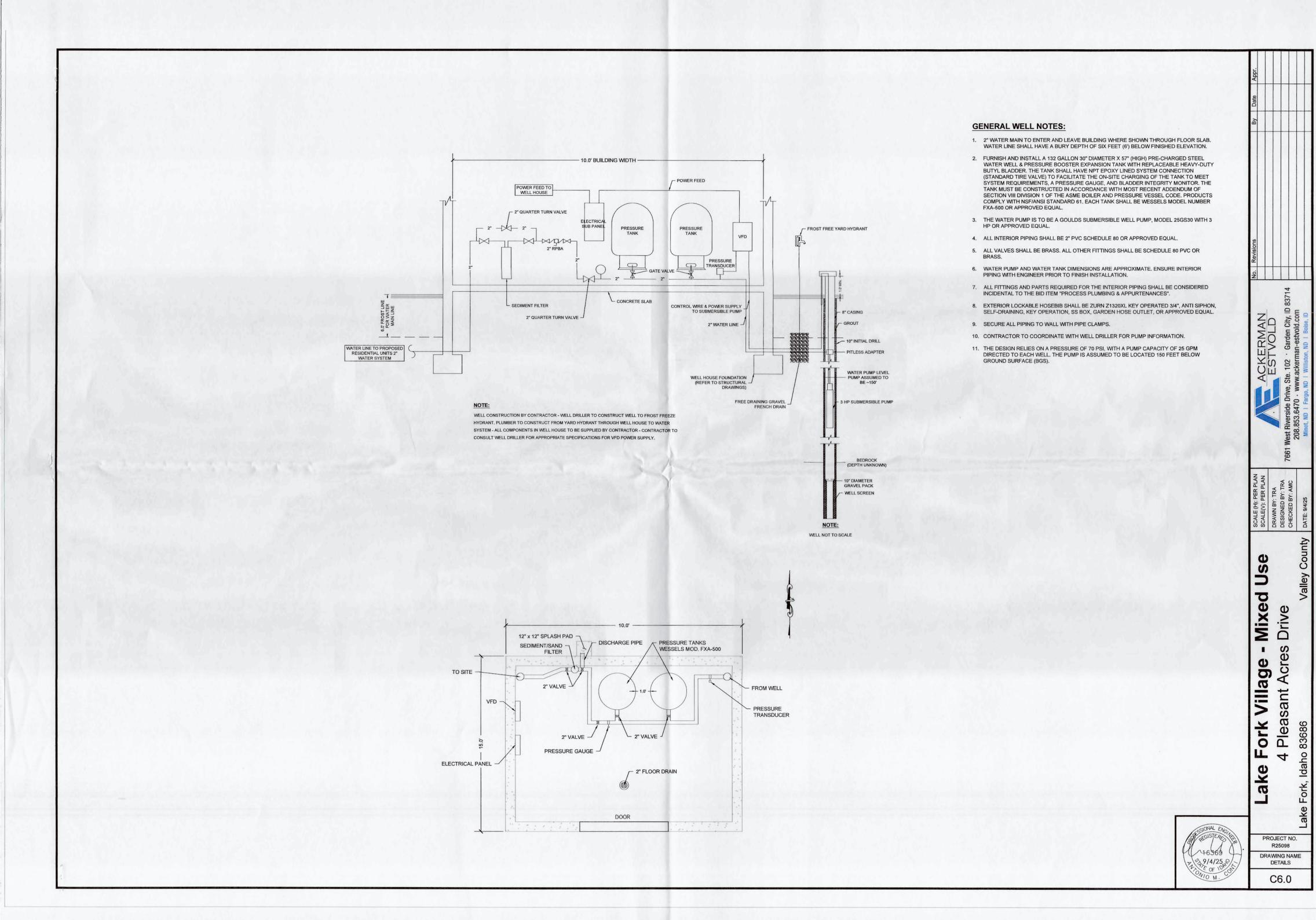


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PROJECT NO. R25098

DRAWING NAME ESC PLAN



1. REGULATIONS & STANDARDS

1.1. All contractor work shall be conducted in accordance with ISPWC (Idaho Standard Public Works Construction), 2025 (or most recent published); and City of Lake Fork, ID codes, standards and state and local regulations.

2. EXISTING CONDITIONS

2.1. All utilities shall be located prior to construction and protected. Any damage to structures, utilities or concrete will be replaced at contractor's expense. 2.2. The site has many existing improvements such as underground utilities, curb and gutter,

light poles and sidewalks. 2.3. See Engineer's plans for information about existing features.

2.3.1. Refer to civil plans for all existing and/or proposed drainage pipes & locations, utilities. Protect all drainage at all times, protect all utilities at all times.

3. GRADING & SITE PREPARATION Prepare finish grades for planting by grubbing and removing weeds. If necessary apply Round-Up (or equivalent herbicide), using a certified applicator. Remove rocks and other

materials over 2". All gravel overprep to be removed and disposed of off site.

Finish grade to be smooth transition to allow for entire site to be a natural flowing space. 3.4. Fine grade lawn areas to elevations set by Engineer's plans with positive drainage away

from structures. Refer to Engineer's plans for grading information & for all drainage pipes and locations.

Protect and retain drainage at all times.

3.6. No pooling or standing water will be accepted per industry standards.

4. SOILS 4.1. Lawn areas shall receive 12" min depth of screened topsoil.

All planter beds shall receive 18" min depth of screened topsoil.

Reuse of existing topsoil that has been stockpiled on site is permitted if: 4.3.1. Topsoil is tested and analyzed to ensure a proper growing medium. Provide additional amendments as determined by soil tests.

4.3.2. Topsoil is to be loose, friable sandy loam that is clean and free of toxic materials, noxious weeds, weed seeds, rocks, grass or other foreign materials.

4.3.3. Topsoil shall have a ph of 6.5 to 8.0. 4.3.4. If on site topsoil does not meet these minimum standards contractor is responsible for providing approved imported topsoil or improving onsite topsoil per the approval of the

4.4. If imported topsoil is used it must be from a local source and be screened free of any debris

or foreign matter. Topsoil must not contain rocks, sticks, lumps, or toxic matter and has a pH of 6.5-8.0.
4.5. Smooth, compact, and fine grade topsoil in lawn areas to smooth and uniform grade .5"

below adjacent surfaces. 4.6. Amend all new plantings with 2 parts topsoil, 1 part compost.

5. LAWN AREAS

5.1. Sodded lawn to be tall turf-type fescue, or approved other. 5.2. Sodded lawn to be regionally/locally harvested, lay sod within 24 hours of harvesting.
5.3. Lay sod to form a solid mass with offset, tightly fitted joints on even grades.

Any existing lawn that is damaged shall be replaced with sodded lawn of the same type of existing lawn. 5.5. All lawn areas adjacent to planter beds, gravel areas, or aggregate pathways shall have 4"

black steel edging installed per manufacturer recommendations. Other applications to be approved by owner and landscape architect. Lawn adjacent to buildings, structures shall be a minimum of 18" away from foundations.

Lawn adjacent to fences or other screening elements shall be a minimum of 9" away. 5.6.1. Install  $\frac{3}{8}$ " chips or other approved gravel mulch type in mow strip at a depth of 3" over commercial grade weed barrier fabric installed per manufacturer recommendations.

5.7. Provide tree rings with a minimum 3' diameter around all trees located in lawn, mulch type & installation/application to match all other planter beds.

6. PLANTER BED MULCH All planter beds to receive 4" depth of black & tan mini rock mulch or approved equal,

submit for approval prior to placement. Install over commercial grade weed barrier fabric per manufacturer recommendations.

7.1. All plant material shall be installed per industry standards.
7.2. All plant material shall meet or exceed the minimum federal standards as regulated by ANSI z60.1, American Standard for Nursery Stock. Plants not meeting these standards for quality, or plants determined to be unhealthy by Owner's representative, will be rejected.

All Ball and Burlap trees to be installed per Balled and Burlapped planting detail. All shrubs

to be installed per detail.

Trees and shrubs over 30" shall not be planted within clear vision triangles.

7.5. Fertilize all trees and shrubs with 'Agriform' planting tablets or approved equal. Apply per manufacturers recommendations.

8.1. Irrigation system shall be built to the following specifications:

Adhere to city codes when connecting to city water.

All irrigation material to be new with manufacturers' warranty fully intact. Install outdoor rated controller in specified location on plan, in a lock box with 2 keys.

Coordinate with project manager and general contractor on exact location.

8.4.1. Controller to have On/Off rain switch or rain shut off device that does not alter program.

All remote control valves (including master control valve) to have flow control device. 8.6. Irrigation system piping to be minimum class 200 PVC or approved equal, sleeves to be double the size of pipes located within, all wires to be contained in separate sleeves 1-1/2"

Use common trenching where possible..

All PVC located under hardscapes to be schedule 40 PVC with same reg's as above. All wires to be Paige wire 7350 or 7351 direct bury wire at a minimum of 12" below finished

grade.
8.10. Connect mainline to point of connection in approximate location shown on plan. Contractor is responsible complying with all codes and paying all permits necessary.

8.12. Sprinkler heads shall have matched precipitation within each control circuit. Velocities shall not exceed 5 feet per second.

8.13. All drip irrigation to be buried 2" below finished grade. 8.14. Water schedule to be provided at a min of 80% evapotranspiration as determined by the

8.15. Install all irrigation per irrigation drawings, utilize material specified or approved equal.

8.16. Contractor shall confirm the static water pressure at least five days before construction begins and to contact the landscape architect in writing if the pressure is below 80 psi. 8.17. If any discrepancies are found, then local codes shall prevail.

9. CONTRACTOR RESPONSIBILITIES

Estimated quantities are shown for general reference only. Contractor shall be responsible

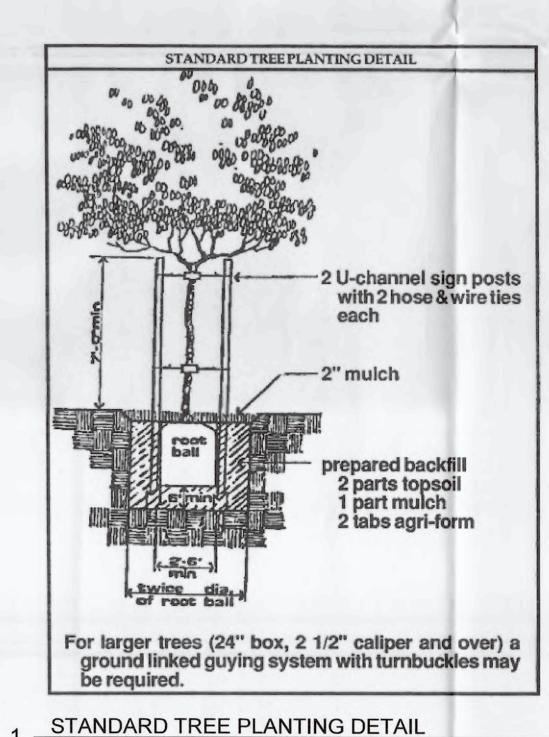
for all quantity estimates.

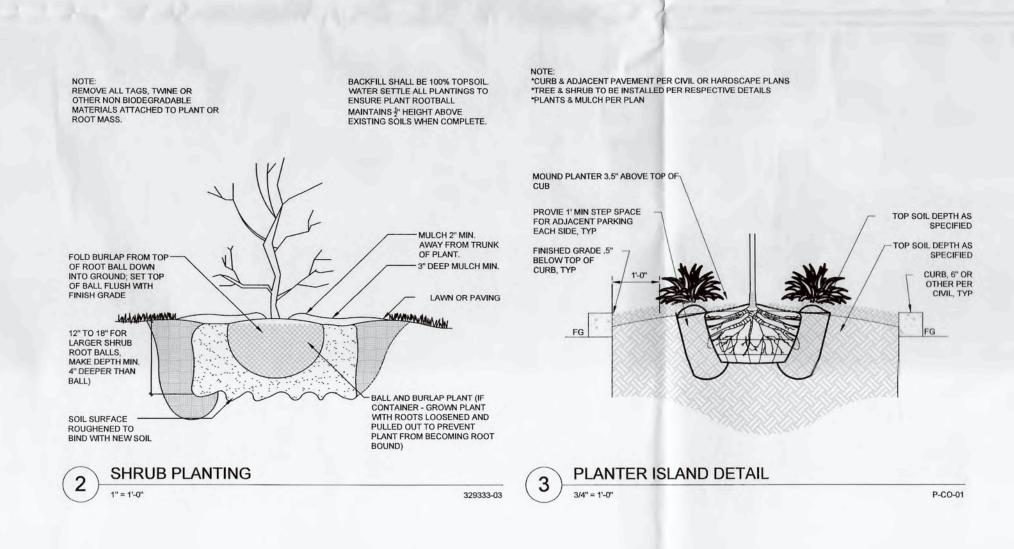
All plant material and workmanship shall be guaranteed for a period of one year beginnin at the date of Acceptance by Owner. Replace all dead or unhealthy plant material

immediately with same type and size at no cost to Owner. Landscape contractor to turn in as built drawings at the end of project. Substantial completion will not be granted until 2 copies @ 1"=20' scale are turned in and approved by

owner's representative.

10. In the event of a discrepancy, notify the Landscape Architect immediately.





HEET NUMBER

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STACK ROCK GROUP LANDSCAPE ARCHITECTURE

& MASTER PLANNING

(208) 345-0500 404 S 8th St. #300A1

Boise, ID 83702 StackRockGroup.com

WILLET C HOWARD, PLA

OFFICE: (208) 345.0500 EMAIL: WILL@STACKROCKGROUP.COM www.STACKROCKGROUP.COM

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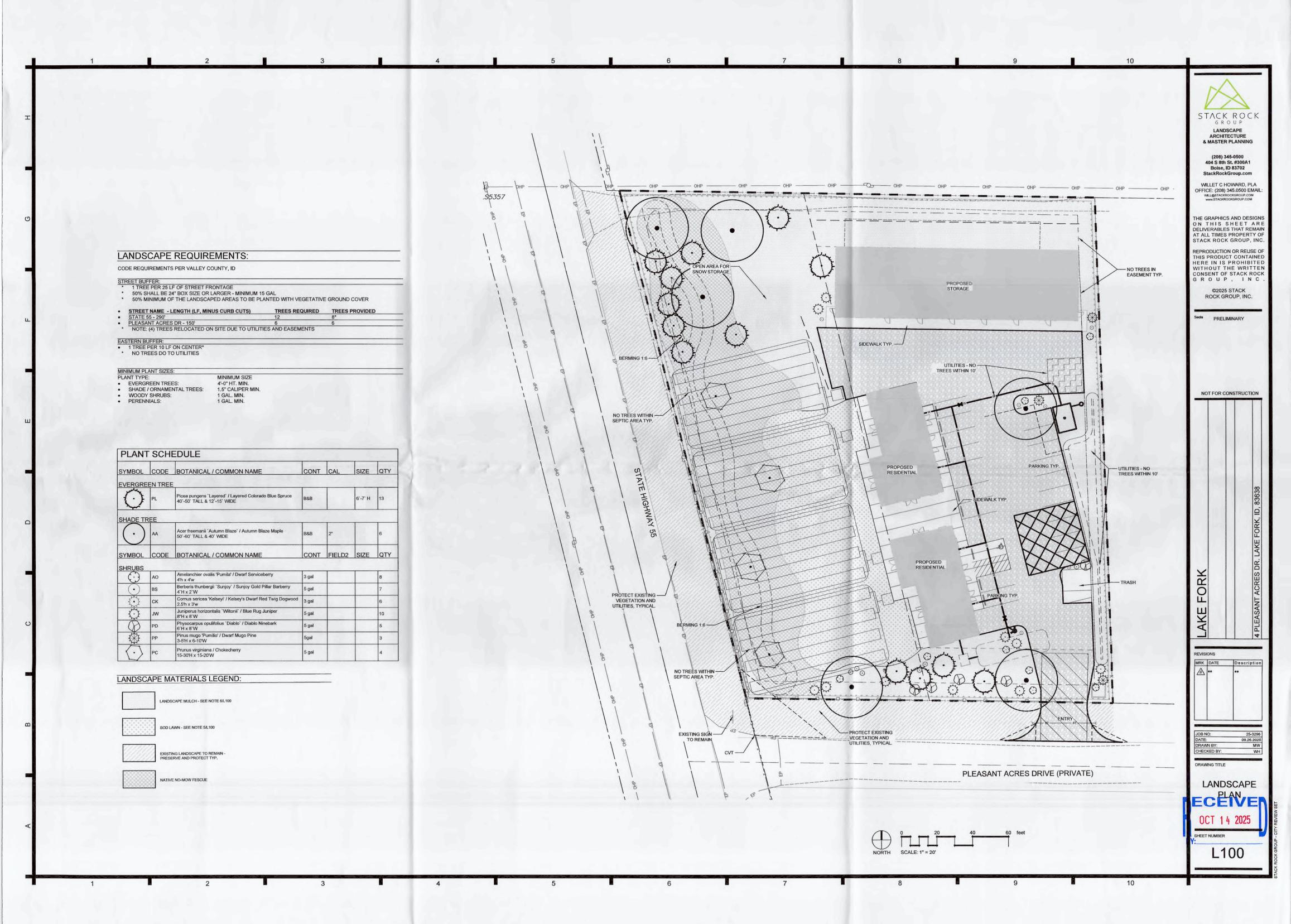
**LANDSCAPE** 

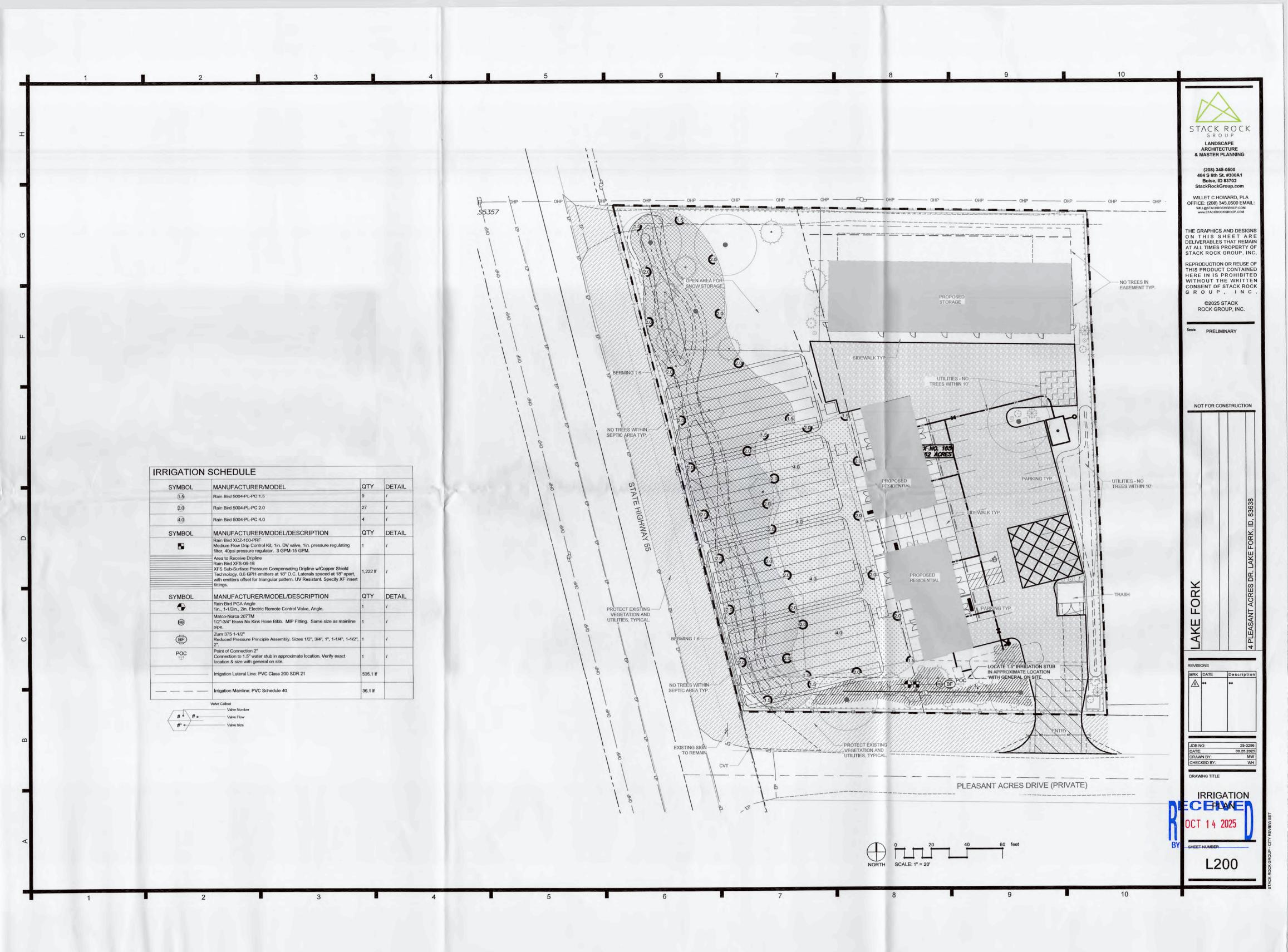
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DETAILS

REVISIONS

DRAWING TITLE





## LAKE FORK CROSSING

TAX NO. 165
A PORTION OF LOT 8, PLEASANT ACRES SUBDIVISION
IN THE SW1/4 OF SECTION 3
T.17N., R.3E., B.M., VALLEY COUNTY, IDAHO
2025

## CERTIFICATE OF OWNERS KNOW ALL MEN BY THESE PRESENTS, THAT 2 NORTH HOMES, LLC, AN IDAHO LIMITED LIABILITY COMPANY IS THE OWNER OF THE REAL PROPERTY HEREAFTER DESCRIBED: A PARCEL OF LAND BEING TAX PARCEL NO. 165, LOCATED IN A PORTION OF LOT 8, PLEASANT ACRES SUBDIVISION, BOOK 4, PAGE 40, INST. NO. 79447, PLAT RECORDS OF VALLEY COUNTY, IN THE SWI/4 OF SECTION 3, T.17N., R.3E., B.M., VALLEY COUNTY, IDAHO, BEING MORE PARTICULARLY DESCRIBED AS BEGINNING AT A SET 5/8-INCH REBAR MARKING THE SOUTHWEST CORNER OF SAID LOT 8, PLEASANT ACRES SUBDIVISION; THENCE A BEARING OF S 89'11'33" E, A DISTANCE OF 206.28 FEET, ON THE SOUTH BOUNDARY OF SAID TAX PARCEL NO. 165 AND THE NORTH RIGHT-OF-WAY BOUNDARY OF PLEASANT ACRES DRIVE, TO A SET 5/8-INCH REBAR MARKING THE SOUTHEAST CORNER OF SAID TAX PARCEL NO. 165; THENCE A BEARING OF N 02°00'22" W, A DISTANCE OF 287.78 FEET, ON THE EAST BOUNDARY OF SAID TAX PARCEL NO. 165 TO A SET 5/8-INCH REBAR MARKING THE NORTHEAST CORNER OF SAID THENCE A BEARING OF N 89'11'10" W, A DISTANCE OF 267.18 FEET, ON THE NORTH BOUNDARY OF SAID TAX PARCEL NO. 165 TO A SET 5/8-INCH REBAR MARKING THE NORTHWEST CORNER OF SAID TAX PARCEL NO. 165; THENCE A BEARING OF S 13'49'10" E, A DISTANCE OF 297.09 FEET, ON THE WEST BOUNDARY OF SAID TAX PARCEL NO. 165 AND THE EAST RIGHT-OF-WAY BOUNDARY OF STATE HIGHWAY 55 TO THE SAID PARCEL OF LAND CONTAINS 1.562 ACRES, MORE OR LESS. TOGETHER WITH AND SUBJECT TO EASEMENTS AND RIGHTS-OF-WAY OF RECORD AND/OR USE. IT IS THE INTENTION OF THE UNDERSIGNED TO HEREBY INCLUDE THE ABOVE DESCRIBED PROPERTY IN THE PLAT OF LAKE FORK CROSSING. THE COMMON AREA DEPICTED ON THIS FINAL PLAT IS DEDICATED FOR THE USE AND ENJOYMENT OF THE MEMBERS OF LAKE FORK CROSSING PROPERTY OWNERS' ASSOCIATION, TOGETHER WITH THEIR GUESTS, INVITEES AND ASSIGNS, SUBJECT TO THE TERMS, CONDITIONS, AND RESERVED DECLARANT RIGHTS WHICH ARE CONTAINED N THE GENERAL DECLARATION IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND THIS \_\_\_\_ DAY OF \_\_\_\_ JEANETTE C NEWBOLD, MANAGER, 2 NORTH HOMES, LLC MICHAEL JOBES, MANAGER, 2 NORTH HOMES, LLC

ACKNOWLEDGEMENT
STATE OF IDAHO ) ) SS VALLEY COUNTY )
ON THIS DAY OF, 2024, BEFORE ME THE UNDERSIGNED NOTARY PUBLIC IN AND FOR SAID STATE OF IDAHO PERSONALLY APPEARED JEANETTE C NEWBOLD KNOWN OR IDENTIFIED TO ME TO BE THE MANAGER OF 2 NORTH HOMES, LLC THAT EXECUTED THE INSTRUMENT OR THE PERSON WHO EXECUTED THE INSTRUMENT ON BEHALF OF LIMITED LIABILITY COMPANY, AND ACKNOWLEDGED TO ME THAT SUCH LIMITED LIABILITY COMPANY EXECUTED THE SAME.
IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY OFFICIAL SEAL THE DAY AND YEAR FIRST ABOVE WRITTEN.
NOTARY PUBLIC OF IDAHO
RESIDING AT
COMMISSION EXPIRES:
ACKNOWLEDGEMENT STATE OF IDAHO )
) SS VALLEY COUNTY )
ON THIS DAY OF, 2024, BEFORE ME THE UNDERSIGNED NOTARY PUBLIC
IN AND FOR SAID STATE OF IDAHO PERSONALLY APPEARED MICHAEL JOBES KNOWN OR IDENTIFIED TO ME TO BE THE MANAGER OF 2 NORTH HOMES, LLC THAT EXECUTED THE INSTRUMENT OR THE PERSON WHO EXECUTED THE INSTRUMENT ON BEHALF OF LIMITED LIABILITY COMPANY, AND ACKNOWLEDGED TO ME THAT SUCH LIMITED LIABILITY COMPANY EXECUTED THE SAME.
IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY OFFICIAL SEAL THE DAY AND YEAR FIRST ABOVE WRITTEN.
NOTARY PUBLIC OF IDAHO
RESIDING AT
COMMISSION EXPIRES:
APPROVAL OF THE VALLEY COUNTY PLANNING AND ZONING COMMISSION
THE PLAT OF LAKE FORK CROSSING IS HEREBY ACCEPTED AND
APPROVED THE DAY OF, 2023,
BY THE VALLEY COUNTY PLANNING AND ZONING COMMISSION.
CHAIRMAN
APPROVAL OF THE
BOARD OF VALLEY COUNTY COMMISSIONERS
THE PLAT OF LAKE FORK CROSSING IS HEREBY
ACCEPTED AND APPROVED THE DAY OF, 2023,
BY THE VALLEY COUNTY COMMISSIONERS.
CHAIRMAN

## CERTIFICATE OF VALLEY COUNTY SURVEYOR

I, THE UNDERSIGNED COUNTY SURVEYOR FOR VALLEY COUNTY, DO HEREBY CERTIFY THAT THE PLAT OF LAKE FORK CROSSING IS IN COMPLIANCE WITH TITLE 50, CHAPTER 13, IDAHO CODE, RELATING TO PLATS AND SURVEYS AND IS ALSO IN COMPLIANCE WITH THE VALLEY COUNTY SUBDIVISION REGULATIONS RELATING TO PLATS.

VALLEY COUNTY SURVEYOR

DATE

## CERTIFICATE OF SURVEYOR

I, DANIEL T. DUNN, PROFESSIONAL LAND SURVEYOR NO. 14217, LICENSED BY THE STATE OF IDAHO, DO HEREBY CERTIFY THAT THIS PLAT OF LAKE FORK CROSSING AS DESCRIBED IN THE "CERTIFICATE OF OWNERS", WAS DRAWN FROM A SURVEY CONDUCTED BY ME AND ACCURATELY REPRESENTS THE POINTS PLATTED THEREON, AND IS IN CONFORMANCE WITH THE STATE OF IDAHO CODE RELATING TO PLATS AND SURVEYS.



## CERTIFICATE OF VALLEY COUNTY TREASURER

I THE UNDERSIGNED COUNTY TREASURER IN AND FOR THE COUNTY OF VALLEY, STATE OF IDAHO, PER THE REQUIREMENTS OF IDAHO CODE 50—1308 DO HEREBY CERTIFY THAT ANY AND ALL CURRENT AND/OR DELINQUENT COUNTY PROPERTY TAX FOR THE PROPERTY INCLUDED IN THE PLAT OF LAKE FORK CROSSING HAVE BEEN PAID IN FULL. THIS CERTIFICATION IS VALID FOR THE NEXT THIRTY DAYS ONLY.

VALLEY COUNTY TREASURER	VALLEY C	COUNTY	TREASURER
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DATE

SHEET 2 OF 2

25 COYOTE TRAIL CASCADE, ID 83611

PHONE: (208) 634-6896 WWW.DUNNLANDSURVEYS.COM

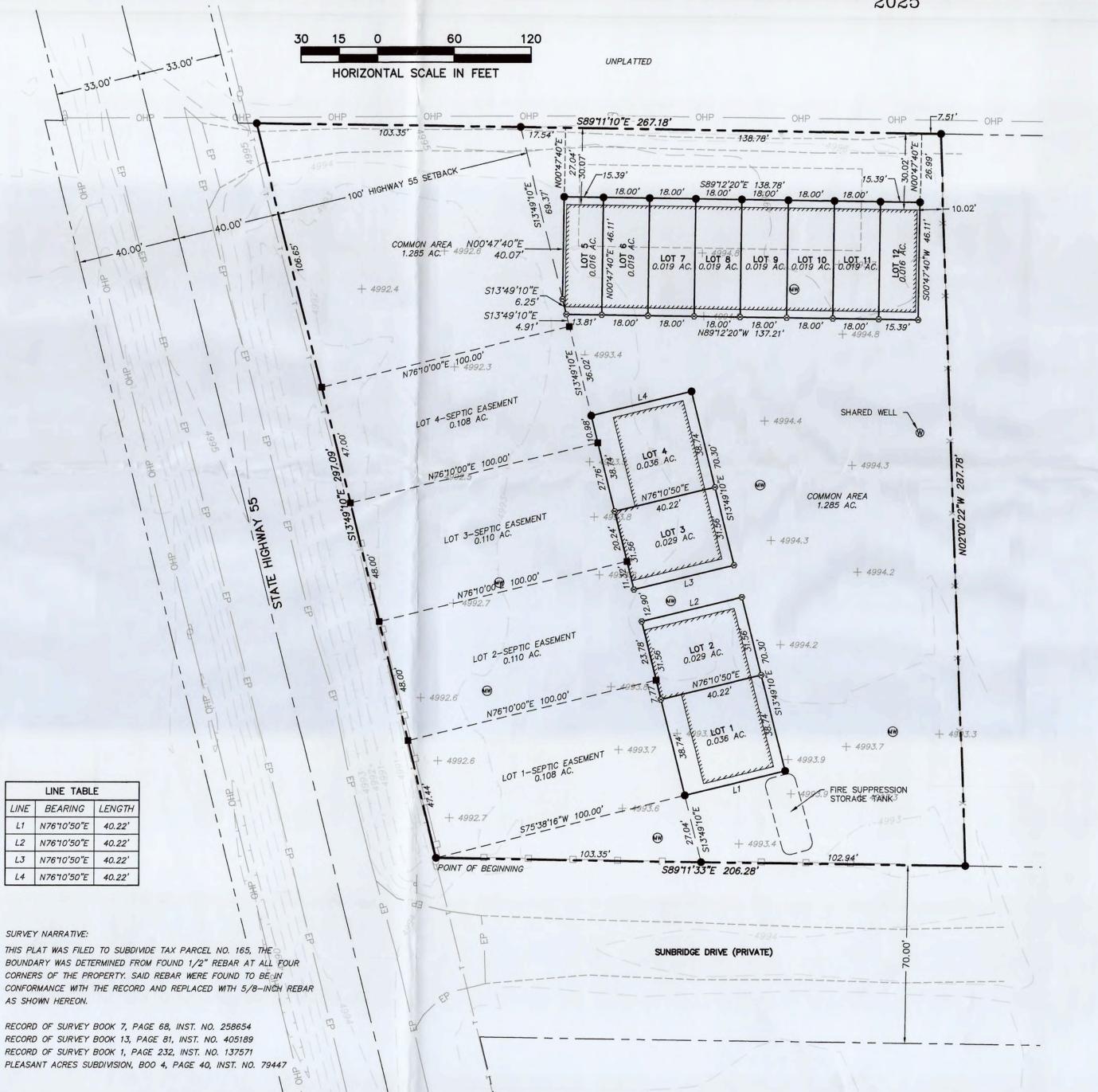


## LAKE FORK CROSSING

TAX NO. 165

A PORTION OF LOT 8, PLEASANT ACRES SUBDIVISION IN THE SW1/4 OF SECTION 3

T.17N., R.3E., B.M., VALLEY COUNTY, IDAHO



BASIS OF BEARINGS

HORIZONTAL DATUM BASED ON IDAHO STATE PLANE,

IDAHO WEST ZONE 1103. DISTANCES ARE GROUND DISTANCES AND ARE IN U.S. SURVEY FEET.

## NOTES

- 1. ALL PROPERTIES SHOWN ON THIS PLAT ARE SUBJECT TO AND GOVERNED BY THE PROVISIONS OF THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR LAKE FORK CROSSING ("DECLARATION"), AND THE ARTICLES OF INCORPORATION AND THE BYLAWS FOR LAKE FORK CROSSING PROPERTY OWNERS' ASSOCIATION, INC. ("ASSOCIATION"), WHICH ARE RECORDED AS INSTRUMENT NO'S.2025—\_\_\_\_\_\_\_, 2025—\_\_\_\_\_\_, AND 2025—\_\_\_\_\_\_, WITH THE VALLEY COUNTY, IDAHO RECORDER, AS THE SAME MAY BE AMENDED.
- 2. SEE DECLARATION OF INSTALLATION OF UTILITIES RECORDED AS INSTRUMENT
- 3. COMMON AREA DEPICTED ON THIS PLAT IS DEDICATED FOR THE USE AND ENJOYMENT OF THE MEMBERS OF THE ASSOCIATION, TOGETHER WITH THEIR GUESTS, INVITEES, AND ASSIGNS, SUBJECT TO THE TERMS, CONDITIONS, AND RESERVED DECLARANT RIGHTS, AS FURTHER PROVIDED IN THE DECLARATION.
- 4. THERE SHALL BE NO DIVISION OF ANY LOT DEPICTED ON THIS PLAT, EXCEPT AS PERMITTED IN THE DECLARATION OR WITHOUT PRIOR APPROVAL OF THE HEALTH AUTHORITY.
- 5. NO ADDITIONAL DOMESTIC WATER SUPPLIES SHALL BE INSTALLED BEYOND THE WATER SYSTEMS APPROVED IN ANY SANITARY RESTRICTION RELEASE.
- 6. REFERENCE IS MADE TO PUBLIC HEALTH LETTER ON FILE REGARDING ADDITIONAL RESTRICTIONS.
- 7. THE VALLEY COUNTY BOARD OF COMMISSIONERS HAVE THE SOLE DISCRETION TO SET THE LEVEL OF SERVICE FOR ANY PUBLIC ROAD; THE LEVEL OF SERVICE CAN BE CHANGED.
- 8. SURROUNDING LAND USES ARE SUBJECT TO CHANGE.
- 9. ALL LIGHTING MUST COMPLY WITH THE VALLEY COUNTY LIGHTING ORDINANCE.
- 10. AGRICULTURAL USES AND LIVESTOCK ACTIVITY MAY BE ADJACENT ACTIVITIES.
- 11. IN COMPLIANCE WITH THE DISCLOSURE REQUIREMENTS OF IDAHO CODE 31-3805(2), IRRIGATION WATER HAS NOT BEEN PROVIDED FOR BY THE OWNER, AND THE LOTS SHOWN ON THIS PLAT SHALL REMAIN SUBJECT TO ASSESSMENTS BY LAKE IRRIGATION DISTRICT.
- 12. FEMA FLOOD PANEL(S): 16085C 1004
  FIRM EFFECTIVE DATE(S): 2/1/2019
  FLOOD ZONE(S): ZONE X
  BASE FLOOD ELEVATION(S): N/A
  FLOOD ZONES ARE SUBJECT TO CHANGE BY FEMA
  & ALL LAND WITHIN A FLOODWAY OR FLOODPLAIN
  IS REGULATED BY TITLE 9 AND TITLE 11 OF THE
  VALLEY COUNTY CODE.

## LEGEND

- - SUBDIVISION BOUNDARY

- LOT LINE

- - - - - - EASEMENT LINE

----- SURVEY TIE LINE

● SET 5/8" X 24" REBAR WITH PLASTIC CAP LS14217 ⊗ SET 1" BRASS PLUG IN CONCRETE LS14217

■ CALCULATED POINT, NO MONUMENT SET OR FOUND

BUILDING OUTLINE

# 14217 OF OF OR

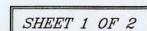
## HEALTH CERTIFICATE

SANITARY RESTRICTIONS AS REQUIRED BY IDAHO CODE, TITLE 50, CHAPTER 13, HAVE BEEN SATISFIED ACCORDING TO THE LETTER TO BE READ ON FILE WITH THE COUNTY RECORDER OR HIS AGENT LISTING THE CONDITIONS OF APPROVAL. SANITARY RESTRICTIONS MAY BE RE—IMPOSED IN ACCORDANCE WITH SECTION 50—1326 IDAHO CODE BY THE ISSUANCE OF A CERTIFICATE OF DISAPPROVAL.

CENTRAL DISTRICT HEALTH, EHS

DATE

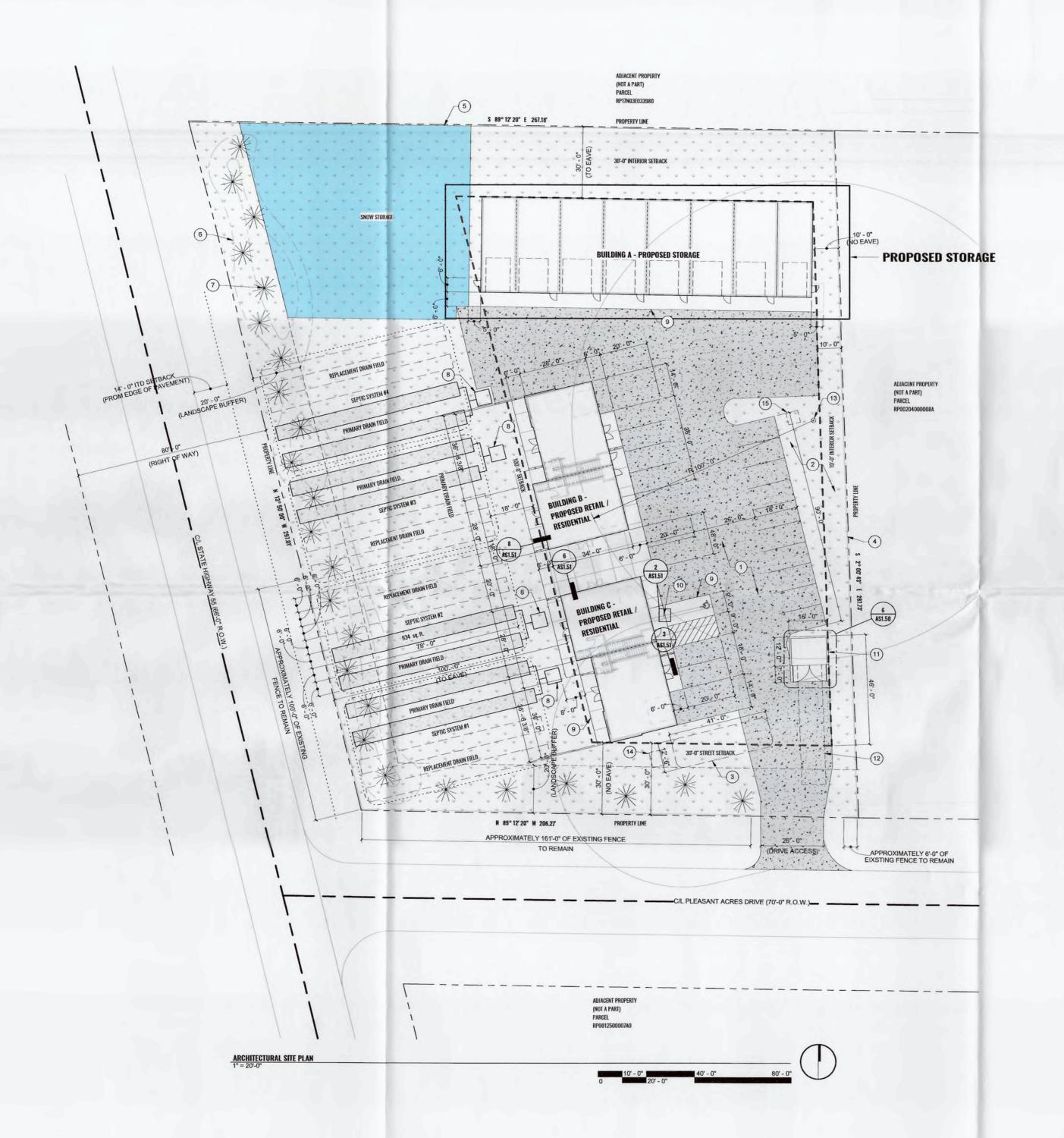
INST. NO.



25 COYOTE TRAIL CASCADE, ID 83611

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## SITE ANALYSIS

4 PLEASANT ACRES DR. MCCALL, ID 83638

ASSESSORS PARCEL NUMBER: RP00204000008B

JURISDICTION: VALLEY COUNTY

PLEASANT ACRES SUBDIVISION SUBDIVISION LEGAL DESCRIPTION: 1.562 ACRES OF LOT 8

ZONING: COMMERCIAL

RESIDENTIAL / COMMERCIAL / STORAGE PROPOSED LAND-USE:

SITE AREA : ACERAGE -SQUARE FOOTAGE -1.56 ACRES 68,040 SQUARE FEET

LANDSCAPE AREA: .81 ACRES 35,495 SQUARE FEET ACERAGE -SQUARE FOOTAGE -

BUILDING AREA: STORAGE -COMMERCIAL -RESIDENTIAL -

SETBACKS: FRONT -SIDE (INTERIOR) -SIDE (STREET) -REQUIRED 30'-0" 10'-0" 14'-0" (ITD) PROVIDED

5,466 SQUARE FEET 4,014 SQUARE FEET 4,014 SQUARE FEET

PARKING: STORAGE -COMMERCIAL 1 PER UNIT 16 STALLS 4 STALLS+ 4 GARAGES 1 PER 250 SF 2 PER UNIT RESIDENTIAL

SEPTIC SYSTEM CALCULATION:

DRAIN FIELD -2-BED DWELLING = 200 GPD 1 PERSON (OFFICE / RETAIL) = 20 GPD \* 4 PERSON / UNIT = 80 GPD

TOTAL GPD PER UNIT / LOT = 280 GPD APPLICATION RATE = 0.3 (C-1 SOILS)

280 GPD / 0.3 = 933.33 SQUARE FEET OF DRAINFIELD

SEPTIC TANK -1,160 GALLONS MINIMUM TANK SIZE

	KEYNOTE - SITE PLAN		
MA	RK DESCRIPTION		
1	COMPACTED GRAVEL DRIVE - SEE CIVIL		
2	LANDSCAPE AREA		
3	UNDERGROUND 30,000 GALLON FIRE WATER TANK		
4	EXISTING FENCE TO REMAIN		
5	NEW FENCE TO MATCH EXISTING		
6	VARIED BERM, MAXIMUM 30" HEIGHT, GRADED AT 3:1 SLOPE LANDSCAPED WITH 2'-3' ROUND BOULDERS AND PINEGRASS		
7	5'-0" TO 6'-0" TALL EVERGREEN, SPACED AT 1 TREE FOR EVERY 25 FEET OF STREET FRONTAGE		
8	SEPTIC TANK		
9	CONCRETE PAVING: 4" CONCRETE OVER 6" COMPACTED TYPE II OVER COMPACTED EARTH, SLOPE MINIMUM 1% TO DRAIN AWAY FROM FOUNDATION. PROVIDE CONTROL JOINTS AT MAXIMUM 10"-0" ON CENTER AND MOVEMENT JOINTS AT FOUNDATION PERIMETER		
10	ACCESSIBLE PARKING SIGNAGE - SEE DETAIL		
11	TRASH ENCLOSURE - SEE DETAIL		
12	12'x50' BACK-UP ZONE		
13	DOMESTIC WELL		

## **VICINITY MAP**

WELL HOUSE



## **SITE PLAN GENERAL NOTES**

- A. DRAWINGS & SPECIFICATIONS ARE COMPLIMENTARY
  COMPONENTS OF THE CONTRACT DOCUMENTS, REVIEW ALL
  DRAWINGS AND SPECIFICATIONS FOR THE COMPLETE
  SCOPE OF WORK, NOTIFY ARCHITECT IMMEDIATELY FOR
  CLARIFICATION IF INCONSISTENCIES, CONTRADICTIONS OR
  OMISSIONS ARE DISCOVERED. OMISSIONS ARE DISCOVERED.
- DO NOT SCALE DRAWINGS, IF DIMENSIONAL INFORMATION IS REQUIRED & NOT FOUND, NOTIFY ARCHITECT IMMEDIATELY FOR CLARIFICATION.
- C. UNLESS NOTED OTHERWISE SLOPE GRADE MAXIMUM 2% WITHIN 10' OF BUILDING, THEN 5% TO MATCH EXISTING GRADE ELEVATIONS. SLOPE ALL WALKING SURFACES MAXIMUM 5% IN THE DIRECTION OF TRAVEL AND MAXIMUM 2% AT LANDING, CHANGE OF DIRECTION, AND PERPENDICULAR TO DIRECTION OF TRAVEL.
- UNLESS NOTED OTHERWISE FOR ALL EXTERIOR CONCRETE PAVEMENT PROVIDE MINIMUM 6" TYPE II, COMPACTED 95%.
- E. REFER TO GEO-TECHNICAL REPORT FOR RECOMMENDATIONS OF FILL WITHIN THE EXISTING 100 YEAR FLOOD PLAIN.
- F. SEE LANDSCAPE PLANS FOR PLANTING AND IRRIGATION INFORMATION.
- G. SEE CIVIL DRAWINGS FOR GRADING, DRAINAGE AND UTILITIES



A 134 S 5th Street Boise, ID 83702 E build@Chrysalis-Architecture.com

T 208.596.1565 W Chrysalis-Architecture.com



USE MIXED VILLAGE LAKE FORK

SHEET NUMBER:

AS1.01