

JUG MOUNTAIN RANCH

**CONDITIONAL USE PERMIT
APPLICATION
FOR
STORAGE UNITS**

February 22, 2021

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FOR
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Exhibit 1
Narrative

1. NARRATIVE

A. Applicant Information

Applicant / Owner:

Jug Mountain Ranch LLC
David Carey, Manager
PO Box 2332, McCall, ID 83638
[REDACTED]
davidcarey@jugmountainranch.com

Agent:

Millemann Pemberton & Holm LLP
Amy Pemberton
PO Box 1066, McCall, ID 83638
[REDACTED]
amy@mpmplaw.com

B. Introduction

The applicant is proposing to construct up to 4 buildings that would house RV storage units, to be located on Lot 55 of Jug Mountain Ranch Phase 1, Stage 2. Lot 55 is located near the entrance for Jug Mountain Ranch and is currently used primarily for maintenance and storage of golf equipment and facilities, property owner facilities, and for the operation of the Jug Mountain Ranch sewer system. The storage units would be primarily rented to the Jug Mountain Ranch property owners, but also for use by the developer and the golf course. There will be no rental of units to owners outside of Jug Mountain Ranch. The units will be owned by the applicant.

C. Detailed Project Description

The applicant is the developer for Jug Mountain Ranch, and is proposing to construct up to four RV storage unit buildings on Lot 55, Block 4, Jug Mountain Ranch PUD, Phase 1 Stage 2. Lot 55 is a large lot, over 22 acres in size.

The applicant has been communicating with Jug Mountain Ranch property owners for years about the possibility of constructing storage units on Lot 55 for property owner use. Owners have been overall very enthusiastic about this idea. That being said, the applicant is only planning to construct one building with 12 units initially. Rental rates for units in this building are anticipated to be \$110/month. The remaining three buildings will only be constructed if demand for the units exists. The applicant proposes a five (5) year build-out period within which to construct the 4 buildings.

Sample construction plans for a storage unit building are attached as **Exhibit 5**, and the proposed location of the four buildings is shown on the site plan attached as **Exhibit 2**. The storage units for the two westerly buildings will open to the east, so as to reduce any impact to neighbors to the west. It is anticipated that the storage units in two of the buildings will be open at the face of

the unit, and the other two buildings will have units with doors enclosing the face of the unit. The width of the buildings will range between 36' and 40', and the length of each building will be approximately 156'.

The first unit to be constructed will be located north of the existing maintenance buildings, and will operate to provide a buffer between the residential properties to the west and much of the equipment located on Lot 55. Additionally, by having the storage units, much of the equipment and recreational vehicles will be placed inside the storage units, thereby cleaning up the area.

Also as shown on the site plan attached as **Exhibit 2**, landscaping will be provided to the west of the storage units to soften the units.

There are existing structures located on Lot 55 that are utilized for maintenance and storage of the golf course equipment and facilities and for the property owner facilities at Jug Mountain Ranch, as well for operation of the Jug Mountain Ranch sewer facilities. The lot is also currently used for outdoor storage of property owner recreational vehicles, trailers boats, etc., and for maintenance equipment.

The Jug Mountain Ranch golf course driving range is located adjacent to and east of Lot 55. Irrigated agricultural property owned by David Carey is located to the north of Lot 55, and to the west is additional agricultural property, as well as two large residential parcels (almost 10 acres each) with residences and agricultural uses. To the south is Jug Mountain Ranch common areas, residential lots and the golf course.

There is an existing dirt/gravel road that will be used to access the storage facilities, which road passes through the maintenance facilities area. The applicant may decide, in the future, to move the location of the road accessing the storage units to the alternate location that is depicted on the site plan. The potential future access road will similarly be of dirt/gravel construction. The existing road and the potential future access road are both depicted on the site plan attached as **Exhibit 2**.

The reason a conditional use permit is required for this application is because the units will be owned by the developer and rented out, albeit only to Jug Mountain Ranch owners, but nonetheless creating a commercial use. Commercial uses are approved in the overall PUD conceptual approval, and uses specifically approved for Lot 55 are recreational, open space, sewage conditional use permit, and maintenance facility. The storage units will further the recreational and maintenance uses, and will allow for a more organized, neat appearance of the maintenance area which is located near the entrance of Jug Mountain Ranch.

D. Jug Mountain Ranch PUD Overview

The Jug Mountain Ranch Planned Unit Development (“the PUD”) consists of 1,430 acres of which 1,104 acres are platted recreation / open space, including an 18-hole golf course.

Following is a summary of the current status of Jug Mountain Ranch PUD:

1. Uses for the PUD as a whole have been approved pursuant to PUD 97-1, which provide conceptual approval of the overall development of Jug Mountain Ranch, with the following primary land uses:
 - a. 325 Residential and mixed residential units, 161 of which have been platted to date.
 - b. 18-hole golf course with driving range, which are complete and currently operating
 - c. A Golf Clubhouse, which is completed
 - d. Golf Maintenance facilities, which are complete
 - e. Mixed commercial in Phase 3
 - f. Nordic trails and facilities
 - g. Hiking and riding trails
 - h. Related recreational amenities
2. Currently Platted Lots in Jug Mountain Ranch PUD are as follows:
 - a. Phase 1 Stage 1 – 45 residential lots; plus, golf course and common area lots (Recorded 11/30/2004)
 - b. Phase 1 Stage 2 – 44 residential lots; plus, golf course, maintenance/utility and common area lots (Recorded 5/24/2004)
 - c. Phase 2 – 46 residential lots; plus, golf course and common area lots, as well as Block 3, which is a “Village Lot” (Recorded 5/4/2006)
 - d. Phase 3A – 26 residential lots; plus, common area lots (Recorded 9/10/2018)
 - e. Total Units Currently Platted: 161 residential lots plus the Village Lot (club house and surrounding property)
3. Roads
 - a. All roads within Jug Mountain Ranch are private roads and are maintained by the Jug Mountain Ranch Association, Inc., which is the property owners’ association for the PUD. The Association is formed and operational. All roads in the subdivision are completed and paved (Phase 1, Stages 1 and 2, Phase 2, and Phase 3A).
4. Utilities
 - a. Jug Mountain Ranch is serviced with a central potable water system and a central sewage treatment system, both of which are fully permitted,

complete and operational. Neither water nor sewer will be provided to the proposed storage units on Lot 55.

E. Prior Approvals And Decisions

1. **Valley County Concept Approval of PUD 97-1, Jug Mountain Ranch Planned Unit Development.** On September 4, 1998, Valley County granted concept approval for the Jug Mountain Ranch Planned Unit Development (“PUD”). This approval provides conceptual approval of the implementation of the Jug Mountain Ranch Planned Unit Development, and was amended by Conditional Use Permit No. 01-05, described below. This approval was amended in 2004, to expand the northern PUD boundary, to incorporate approximately 51 acres of Carey Ranch into the PUD, to modify the Phase 2 boundary accordingly, and to clarify that Phase 3 would be platted in phases. As amended, the Concept Approval for Jug Mountain Ranch consists of approximately 1,430 acres, 1,104 of which are platted recreation / open space, including an 18-hole golf course. It consists of 5 phases. The first phase was divided into 2 stages. Phase 2, as well as Phase 1 Stage 1 and Phase 1 Stage 2, have received a Conditional Use Permit and Preliminary Plat Approval (CUP 99-12 for Phase 1 Stage 1, CUP 01-05 for Phase 1 Stage 2, and CUP 04-34 for Phase 2).
2. **Valley County Conditional Use Permit No. 99-11, Central Sewage Facility.** On September 24, 1999, Valley County issued Conditional Use Permit No. 99-11, for the Jug Mountain Ranch Central Sewage Facility.
3. **Valley County Conditional Use Permit No. 99-12, Phase 1 Stage 1.** On September 24, 1999, Valley County issued Conditional Use Permit No. 99-12, for Jug Mountain Ranch – Phase 1 Stage 1, which is part of PUD 97-1 Jug Mountain Ranch Planned Unit Development. This CUP provided preliminary plat approval for Phase 1 Stage 1 of Jug Mountain Ranch. The final plat for Phase 1 Stage 1 was recorded with the Valley County, Idaho Recorder on November 30, 2004 as Instrument No. 289988.
4. **Valley County Conditional Use Permit No. 01-05, Phase 1 Stage 2.** On July 25, 2001, Valley County issued Conditional Use Permit No. 01-05, for Jug Mountain Ranch – Phase 1 Stage 2, which is part of PUD 97-1 Jug Mountain Ranch Planned Unit Development. This CUP provided preliminary plat approval for Phase 1 Stage 2 of Jug Mountain Ranch. The final plat for Phase 1 Stage 2 was recorded with the Valley County, Idaho Recorder on May 24, 2004 as Instrument No. 283337. CUP 01-05 also incorporated the central sewage facility into Phase 1, Stage 2, and confirmed minor amendments to the Concept Approval for PUD 97-1.
5. **Valley County Conditional Use Permit No. 04-34, Phases 2 and 3.** On October 14, 2004, Valley County issued Conditional Use Permit No. 04-35, for Jug Mountain Ranch – Phases 2 and 3, which is part of PUD 97-1 Jug Mountain Ranch Planned Unit Development. This CUP provided preliminary plat approval for Phases 2 and 3 of Jug Mountain Ranch. The final plat for Phase 2 was

recorded with the Valley County, Idaho Recorder on May 4, 2006 as Instrument No. 308497. The final plat for Phase 3A was recorded with the Valley County, Idaho Recorder on September 10, 2018 as Instrument No. 416129.

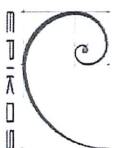
Exhibit 2
Site Plan



7/19/2021 JMR Phase 3B CAD 310 JOURNAL 10/11/21



1 JMR Storage
SCALE: 1" = 40'



EPICOS
LAND PLANNING
+
ARCHITECTURE

MCCALL OFFICE
114 N. 3rd Street
Suite D
PO BOX 2500
McCall, Idaho 83638
Tel: 208.634.4540
www.EpicosDesign.com

JMR SOUTH VILLAGE

JUG MOUNTAIN RANCH
MCCALL, IDAHO 83638

Stamp:

DESIGN DEVELOPMENT SET

Revisions:

1. AUGUST 2021 1

Date: 2/19/2021

Project No: ###

Drawn by: MM

Checked by: WR

Sheet:

A2-7

© 2018 EPICOS

Exhibit 3
Vicinity Map

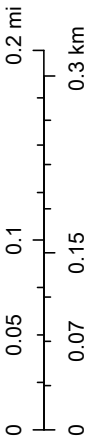
Assessor's Map & Parcel Viewer



2/19/2021, 5:03:44 PM

-  Parcel Summary & Improvement Report
-  Valley County Boundary

1:9,028



USDA FSA, GeoEye, Maxar

Exhibit 4
Application

APPLICANT JUG MOUNTAIN RANCH LLC PHONE [REDACTED]
Owner ☒ Purchaser ☐ Lessee ☐ Renter ☐
APPLICANT'S MAILING ADDRESS PO BOX 2332, McCall, ID ZIP 83638
OWNER'S NAME Same
OWNER'S MAILING ADDRESS Same ZIP [REDACTED]
AGENT/REPRESENTATIVE Amy Pemberton FAX 208-634-4516 PHONE [REDACTED]
AGENT/REPRESENTATIVE ADDRESS PO Box 1066, McCall, ID ZIP 83638
CONTACT PERSON (if different from above) David Carey
CONTACT'S ADDRESS PO Box 2332, McCall, ID ZIP 83638 PHONE [REDACTED]

ADDRESS OF SUBJECT PROPERTY 13834 Farm To Market Rd (Street Address for Jug Mountain Ranch)

PROPERTY DESCRIPTION (either lot, block & subdivision name or attach a recorded deed with a metes and bounds description.)
LOT 55, BLOCK 4, JUG MOUNTAIN RANCH PUD PHASE 1 STAGE 2

TAX PARCEL NUMBER RP004990040550

Quarter S 1/2 Section 1 Township 17N Range 3E

1. PROPOSED USE: Residential ☐ Civic or Community ☐ Commercial ☒ Industrial ☐

2. SIZE OF PROPERTY 22.806 Acres ☒ or Square Feet ☐

3. EXISTING LAND USES AND STRUCTURES ON THE PROPERTY ARE AS FOLLOWS:
Recreation / Open Space, Sewage CUP / Maintenance Facility / Outdoor Storage

4. ARE THERE ANY KNOWN HAZARDS ON OR NEAR THE PROPERTY (such as canals, hazardous material spills, soil or water contamination)? If so, describe and give location: No. There is an irrigation ditch and a sewer plant, but these would not be categorized as hazardous.

5. ADJACENT PROPERTIES HAVE THE FOLLOWING BUILDING TYPES AND/OR USES:

North Agricultural / Owned by David Carey

South Jug Mountain Ranch Open Space, Residential Lots, and Golf Course

East Jug Mountain Ranch Driving Range

West Jug Mountain Ranch Open Space, Agricultural, and two 9.5+ acre residential parcels

6. MAXIMUM PROPOSED STRUCTURE HEIGHT: 27'

7a. NON-RESIDENTIAL STRUCTURES OR ADDITIONS (If applicable):

Number of Proposed Structures: 4 Number of Existing Structures: 4 (Golf/HOA

Proposed Gross Square Feet Existing Gross Square Feet
Maintenance & SBR

1st Floor 5,616 to 6,240 per building f 1st Floor 10,000 (approx)
Treatment Facility)

2nd Floor 22,464 to 24,960 square feet 2nd Floor 10,000

Total One storage building with 12 units is planned for
construction in 2021, with the remainder to be

constructed if there is demand for them.

- 8a. TYPE OF RESIDENTIAL USE (If applicable): N/A
 Single family residence ☐ Mobile home for single family residence ☐ Multiple residences on one parcel ☐
- 8b. SQUARE FOOTAGE OF PROPOSED RESIDENTIAL STRUCTURES (If applicable): N/A
 SQUARE FOOTAGE OF EXISTING RESIDENTIAL STRUCTURES: N/A
- 8c. DENSITY OF DWELLING UNITS PER ACRE: N/A
9. SITE DESIGN:
 Percentage of site devoted to building coverage: 3.0%
 Percentage of site devoted to landscaping: _____
 Percentage of site devoted to roads or driveways: 4.9%
 Percentage of site devoted to other uses: 4.2%, describe: SBR Treatment Facility 1.7%
Golf Maintenance Facility 2.5%
Total: 100%
10. PARKING (If applicable): N/A **Office Use Only**
 a. Handicapped spaces proposed: _____ Handicapped spaces required: _____
 b. Parking spaces proposed: _____ Parking spaces required: _____
 c. Number of compact spaces proposed: _____ Number of compact spaces allowed: _____
 d. Restricted parking spaces proposed: _____
 e. Are you proposing off-site parking: _____
11. SETBACKS:
- | | <u>BUILDING</u> | Office Use Only | <u>PARKING</u> | Office Use Only |
|-------------|-----------------|------------------------|----------------|------------------------|
| | Proposed | Required | Proposed | Required |
| Front | _____ | _____ | _____ | _____ |
| Rear | <u>157'</u> | _____ | _____ | _____ |
| Side | _____ | _____ | _____ | _____ |
| Street Side | _____ | _____ | _____ | _____ |
- 12a. NUMBER OF EXISTING ROADS: one on Lot 55 Width: 20' Private or Public? Private
 Are the existing road surfaces paved or graveled? gravel
no additional roads currently, but
- 12b. NUMBER OF PROPOSED ROADS: potential future access road is shown on site plan Proposed width: 20'
 Will the proposed roads be publicly or privately maintained? Private
Proposed road construction: Gravel ☒ Paved ☐
- 13a. EXISTING UTILITIES ON THE PROPERTY ARE AS FOLLOWS:
Water, sewer and electrical are located on Lot 55, but only electric will be brought to the storage unit.
- 13b. PROPOSED UTILITIES: Electric
 Proposed utility easement width N/A Location _____
- 14a. SEWAGE WASTE DISPOSAL METHOD: Septic ☐ Central Sewage Treatment Facility ☒
- 14b. POTABLE WATER SOURCE: Public ☐ Water Association ☒ Individual ☐
 If individual, has a test well been drilled? _____ Depth _____ Flow _____ Purity Verified? _____
 Nearest adjacent well _____ Depth _____ Flow _____
Water and Sewer are on the property but will not be brought to the storage units

15. ARE THERE ANY EXISTING IRRIGATION SYSTEMS? There is an irrigation ditch located on the west portion of Lot 55
Are you proposing any alterations, improvements, extensions or new construction? Possibly in the future
If yes, Explain: The ditch will be rerouted to the west when/if a new access road is added. The ditch will not be moved in order to facilitate the construction of the storage buildings only. This ditch has been moved in the past for both Golf Maintenance buildings constructions as well as the creation two golf holes. We currently manage the maintenance of this section of the ditch for the water rights users down stream and have done so for nearly 20 years.
16. DRAINAGE (Proposed method of on-site retention): See below regarding grading
Any special drains? No (Please attach map)
Soil type (Information can be obtained from the Soil Conservation District): _____
- 17a. IS ANY PORTION OF THE PROPERTY LOCATED IN A FLOODWAY OR 100-YR FLOODPLAIN?
(Information can be obtained from the Planning & Zoning Office) No
- 17b. DOES ANY PORTION OF THIS PARCEL HAVE SLOPES IN EXCESS OF 15%? No
- 17c. ARE THERE WETLANDS LOCATED ON ANY PORTION OF THE PROPERTY? No
18. IS THERE ANY SITE GRADING OR PREPARATION PROPOSED? Yes If yes, Explain:
The siting of the storage units was chosen for the desirable grading. We will excavate out the undesirable organic material and this will be used to supplement the landscaping and construction of berms. The floor of the storage units will be gravel and be slightly proud of the current grade to aid in positive draining.
19. COMPLETE ATTACHED PLAN FOR IRRIGATION if you have water rights and are in an irrigation district.
N/A. This is not a subdivision plat or an amendment to a subdivision plat.
20. COMPLETE ATTACHED WEED CONTROL AGREEMENT
21. COMPLETE ATTACHED IMPACT REPORT. It must address potential environmental, economic, and social impacts and how these impacts are to be minimized.

Exhibit 5

Sample Construction Drawings



1/6/21

To Whom It May Concern:

Thank you for purchasing your new building from Cleary Building Corp. Please review the contract documents, building plans, and the building design with your Cleary Building Sales Specialist. If the plans are satisfactory as drawn, please sign and date each page on one set of plans as "Approved for Construction" as well as this attached cover letter. Your Building Sales Specialist will return the signed plans to the Engineering Department at our corporate office in Verona, Wisconsin. Please keep the second set of plans for your personal records.

While reviewing the contract documents and plans with your Cleary Building Sales Specialist, please pay special attention to the following items:

- Are all steel, trim, soffit colors correct?
- Are all door and window locations correct?
- Are the number of doors and windows shown correct?
- Are the sizes of the doors and windows correct?
- Are the bottom elevations of all doors and windows correct?
- Are truss clearances correct?
- Please note that unless part of a sub-contract, all overhead doors are by others.

"PLEASE MAKE A NOTE ON THE PLANS OF ANY OTHER DESIGN REQUIREMENTS. IF THE NOTE(S) CHANGE ANYTHING IN THE CONTRACT THEN A CHANGE ORDER WILL BE REQUIRED."

(Please note the Owner-Sign-Off plans are not a part of the Cleary Building Corp. contract and any changes to the building as drawn will need to be submitted on a signed change order.)

Upon receipt of the signed "Approved for Construction" plans, we can continue the process for your new Cleary building. Please be aware we cannot proceed until we have your final approval on the building plans.

Thank you.

Sincerely,

Jeremy Cavi

Jeremy Cavi
AutoCAD Draftsperson
j.Cavi@clearybuilding.com

cc:

Cleary Building Sales Specialist
Branch Manager
Region Manager
2020106500

APPROVED FOR CONSTRUCTION

Date: _____ By: _____

Note: Before signing, please answer all questions listed above. Thank you.

GENERAL NOTES AND SPECIFICATIONS

1. The materials and labor shown on these plans that are provided by Cleary Building Corp. are limited to those materials and labor as defined by the Cleary Building Corp. contract. Additional materials or accessories that are not being provided by Cleary Building Corp. may be shown on plans for context or building code compliance.

2. This building is designed in accordance with the following codes and specifications:
2018 International Building Code (IBC)
2018 Edition Of "National Design Specifications for Wood Construction"

Use Group(s) Classification: S-2
Building Use: RV Storage
Type of Construction: Type VB
Building Gross Square Footage: 5616 Sq. Ft.

Building Design Loads:

Design Truss Load: 125 PSF Total Load
Design Snow Load: 91 PSF Ground Snow Load (Pg)
120 PSF (for balanced roof snow load)

Design Wind Speed: 115 MPH (EXP C)

Seismic Use Group: I

Seismic Design Category: D

Maximum Considered Earthquake Ground Motion for:

0.2 Second Spectral Response (Ss): 52.5kg
1.0 Second Spectral Response (S1.0): 15.5kg

3. All lumber, unless noted otherwise, shall be S4S #2 SPF or better. All lumber embedded in the ground shall be treated with Chromated Copper Arsenate to a retention level of .60 lbs. per cubic foot.

4. Grading should be such that the surface water is drained away from the foundation. Minimum grade would be six inches of vertical drop per ten feet of horizontal away from the foundation (3%).

5. Fill used for concrete floor slab sub grade, if present, shall be reasonably graded granular material. Fill used in columns holes shall be the excavated soil unless noted otherwise. All fill shall be free from debris, stones over 4"Ø and frozen material.

6. Electrical work is not a part of this drawing and shall be installed as per applicable codes.

7. Heating, ventilating, and air conditioning work is not a part of this drawing and shall be installed as per applicable codes.

8. Plumbing work is not a part of this drawing and shall be installed as per applicable codes.

9. All rolls are to be threaded hardened steel unless otherwise noted.

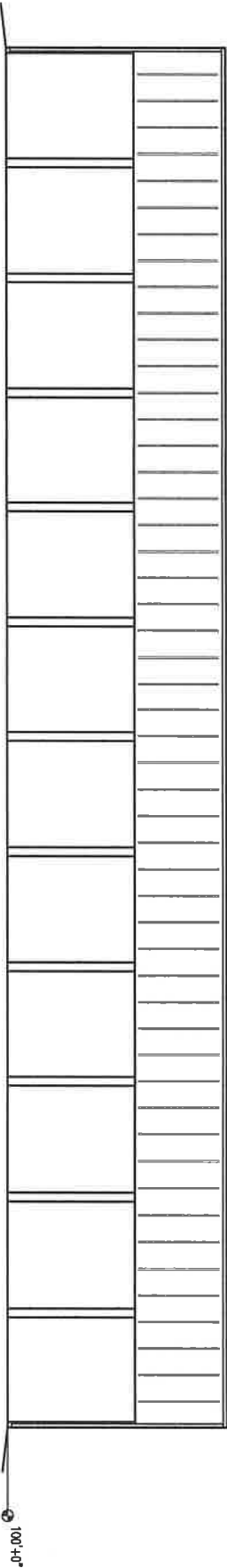
10. This design is based on a building site with sand, silty sand, clayey sand, silty gravel, clayey gravel soil. As per the IBC building code and Referenced Standard ASCE 486.1, an assumed soil bearing design value of 1500 psf with increases for depth and width has been used in this design. If information is discovered before or during construction contrary to this, the building designer should be contacted.

NOTE:
This building, as depicted, must be constructed 10 feet or more from any and all lot lines and 20 feet or more from any other buildings on the same lot. See IBC code and/or the local building official for exceptions.

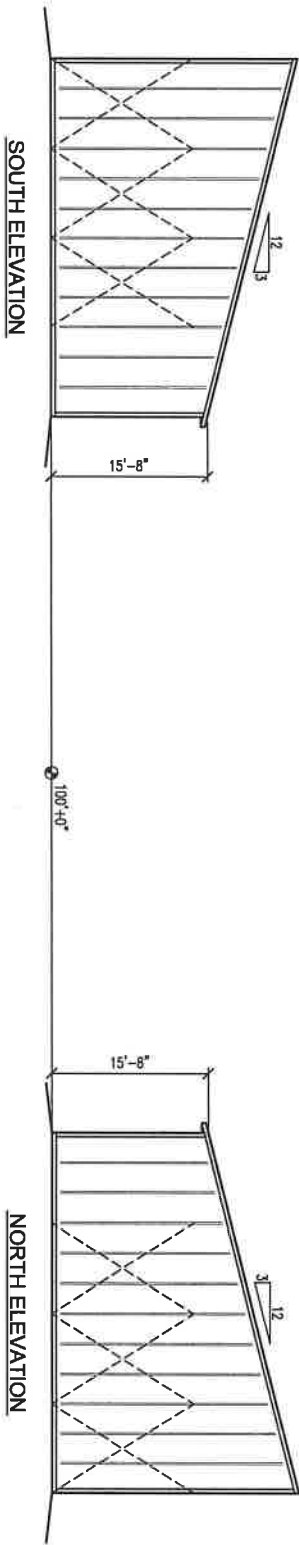
NOTE:
This document, as presented and sealed, is not intended to be, nor should it be construed as such, a complete building design. It is intended to represent just the building itself. The design of the electrical, mechanical, plumbing, and site drainage are excluded from this plan. It should also be noted that the designer is unaware of any subsol investigation reports. Footings have been sized on assumed values as per note 10.0 under General Specifications and Notes. The designer excludes determination that the assumed soil conditions are present at the site. If a concrete floor will be installed, the design of the concrete floor is not part of these plans, nor is it intended to be. If shown, the concrete floor is only depicted to show its location with respect to related components of the building. The client or general contractor is encouraged to contact with other professional engineers or architects for the design of the concrete floor and its subgrade.

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- 151. SHEAR TRUSS BRACING DETAILS
- 160. DIAPHRAGM ACTION and MISC. DETAILS
- 170. TRUSS DIAGRAMS

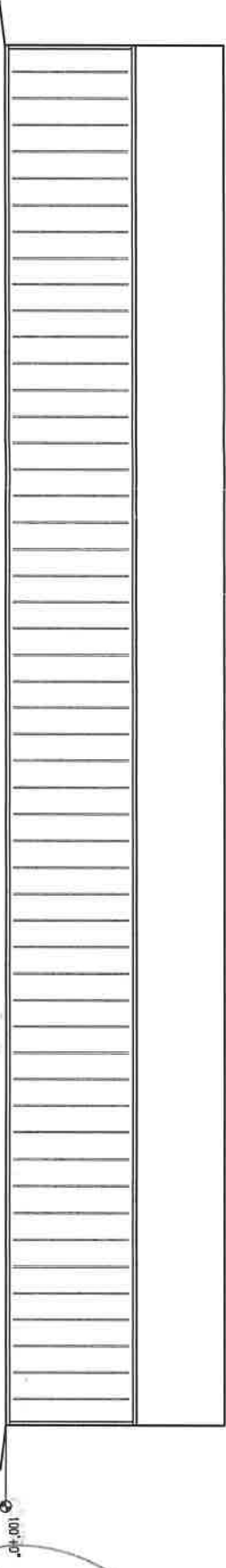


WEST ELEVATION



SOUTH ELEVATION

NORTH ELEVATION



EAST ELEVATION



190 PAUL STREET / P.O. BOX 930220
VERONA, WI 53593 / (608) 373-5550

DRAWN BY: CAVIL

DATE DRAWN: 12/22/2020

PLAN REVISIONS:

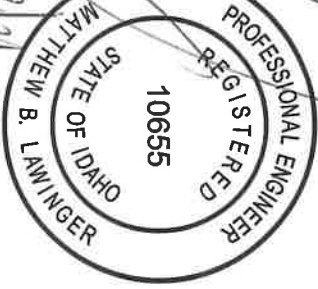
NUMBER	DATE	BY
1	1/27/2021	CAVIL
2		
3		
4		

PROJECT NAME: JUG MOUNTAIN RANCH
PROJECT SITE ADDRESS: 13834 FARM TO MARKET RD
MCCALL, ID - VALLEY COUNTY
BUILDING SIZE: 36' x 156' x 15' 8"
SHEET NAME: ELEVATIONS

PROJECT NUMBER: 2020106500

SHEET NUMBER: 110

SHEET SCALE: NONE



APPROVED FOR CONSTRUCTION

DATE BY

2/1/21

COLUMNS				FOOTING SIZE		NUMBER OF COLUMNS REQUIRED
COLUMNS	COLUMN SIZE	HOLE DEPTH	HOLE DIAMETER	FOOTING SIZE		NUMBER OF COLUMNS REQUIRED
(A) SIDEWALL	4-PLY 2x6x20'-0"	4'-10"	30 Ø	AGG0 PP-24 FOOTING PAD (SEE NOTE)		33
(B) SIDEWALL	8-PLY 2x6x24'-0"	6'-0"	40 Ø	20"x40" POURED CONCRETE (SEE NOTE)		9
(C) CORNER	3-PLY 2x6x20'-0"	4'-6"	18 Ø	4"x14" Ø PRECAST CONCRETE FOOTING		2
(D) CORNER	5-PLY 2x6x24'-0"	4'-10"	30 Ø	AGG0 PP-24 FOOTING PAD (SEE NOTE)		2
(E) CORNER	7-PLY 2x6x24'-0"	5'-10"	36 Ø	18"x36" Ø POURED CONCRETE (SEE NOTE)		2
(F) ENDWALL	3-PLY 2x6x22'-5"	4'-6"	18 Ø	4"x14" Ø PRECAST CONCRETE FOOTING		2
(G) ENDWALL	3-PLY 2x6x22'-4"	5'-2"	20 Ø	10"x20" Ø POURED CONCRETE (SEE NOTE)		2
(H) ENDWALL	3-PLY 2x6x24'-6"	4'-6"	18 Ø	4"x14" Ø PRECAST CONCRETE FOOTING		2
(I) ENDWALL	3-PLY 2x6x24'-7"	5'-1"	18 Ø	9"x18" Ø POURED CONCRETE (SEE NOTE)		2
(J) ENDWALL	3-PLY 2x6x26'-9"	5'-1"	18 Ø	9"x18" Ø POURED CONCRETE (SEE NOTE)		2
(K) ENDWALL	3-PLY 2x6x27'-10"	6'-2"	20 Ø	10"x20" Ø POURED CONCRETE (SEE NOTE)		2
(L) ENDWALL	3-PLY 2x6x21'-0"	6'-1"	18 Ø	9"x18" Ø POURED CONCRETE (SEE NOTE)		2

1. FIELD VENT, 1" ALUMINUM AND WINDOW ROOF OPENING SIZES PRIOR TO INSTALLING FRAME-OUTS
2. ATTACH ALL ROOF, SIDE, END AND GABLE STEEL WITH PAINTED SCREWS
3. ENDWALL COLUMNS ARE 3-PLY TO THE BUILDING EAVE HEIGHT AND SINGLE PLY FROM THERE TO THE ROOF PLANE
4. 2x6 STANDARD DIAGONAL CORNER BRACING AT ALL CORNERS (UNLESS OTHERWISE NOTED)
5. 2x6 JACKBRACING ON ENDWALL COLUMNS (NOT NEEDED AT FULL LENGTH COLUMNS)
 - LOCATION ON FLOOR PLAN FOR JACKBRACING
6. (SEE DIAPHRAGM ACTION AND MISC. DETAILS SHEET)
7. 2x4 PURLIN BLOCCING AT ENDWALL TRUSSES
8. 2x4 CORNER BLOCCING TO BE INSTALLED AT ALL CORNERS
9. 2x4 BARS WITH 2x4 ROOFPLATE X-BRACING (SEE DIAPHRAGM ACTION AND MISC. DETAILS SHEET)

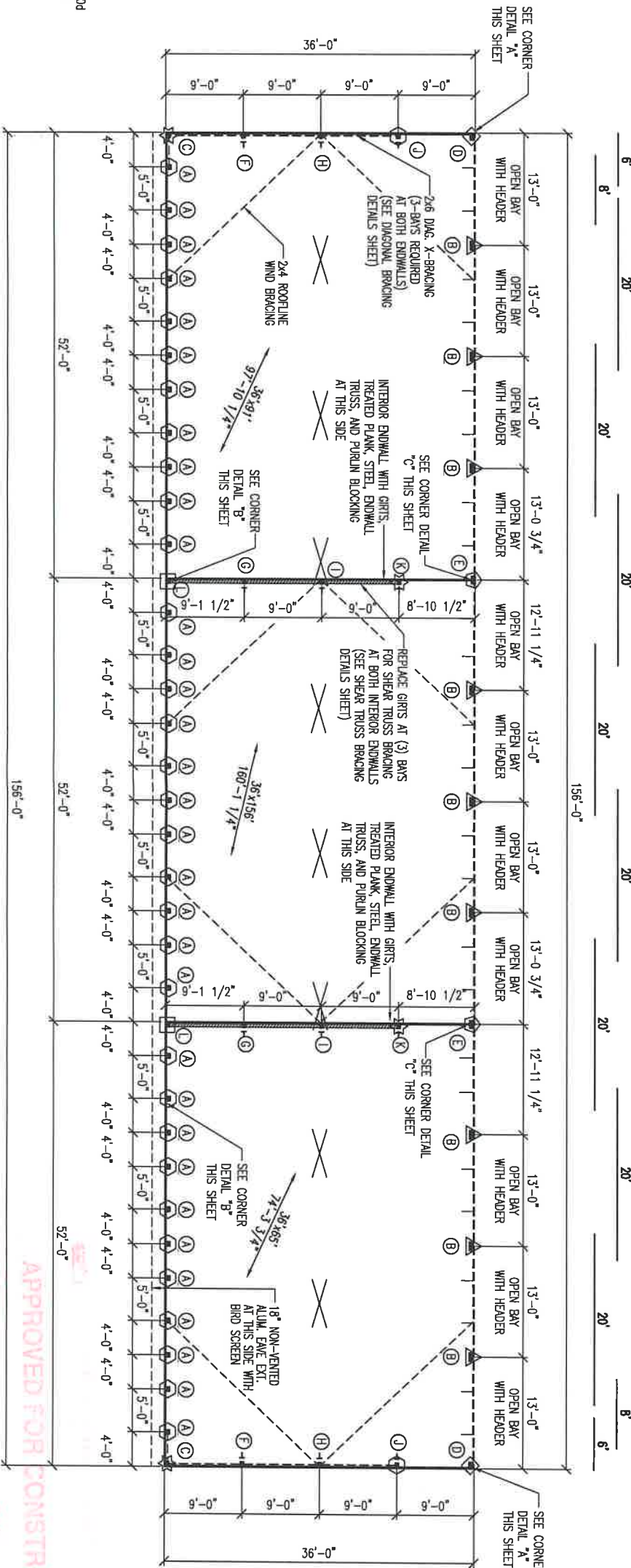
BUILDING COLORS		BUILDING ACCESSORIES	
ROOF:	CHARCOAL GRAY	(1)	CLEAR WEATHERWANE (OWNER LOCATE)
SIDES/GABLES:	ASH GRAY		
WAINSCOT:			
SLIDE DOOR(S):			
TRIM (TYP.):	CHARCOAL GRAY		
& TRIM:	ASH GRAY		

CLEARY.
BUILDING CORP.

190 PAOLI STREET / P.O. BOX 930220
VERONA, WI 53593 / (800) 373-5550

DRAWN BY: CAVIL

DATE DRAWN: 12/22/2020		
PLAN REVISIONS:		
NUMBER	DATE	BY
1	1/27/2021	CAWL
2		
3		
4		



PROJECT NAME:
JUG MOUNTAIN RANCH

PROJECT SITE ADDRESS:
13834 FARM TO MARKET RD
MCCALL, ID - VALLEY COUNTY

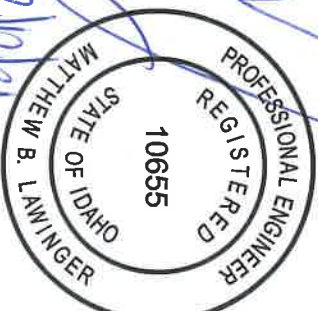
BUILDING SIZE:
36' x 156' x 15' 8"

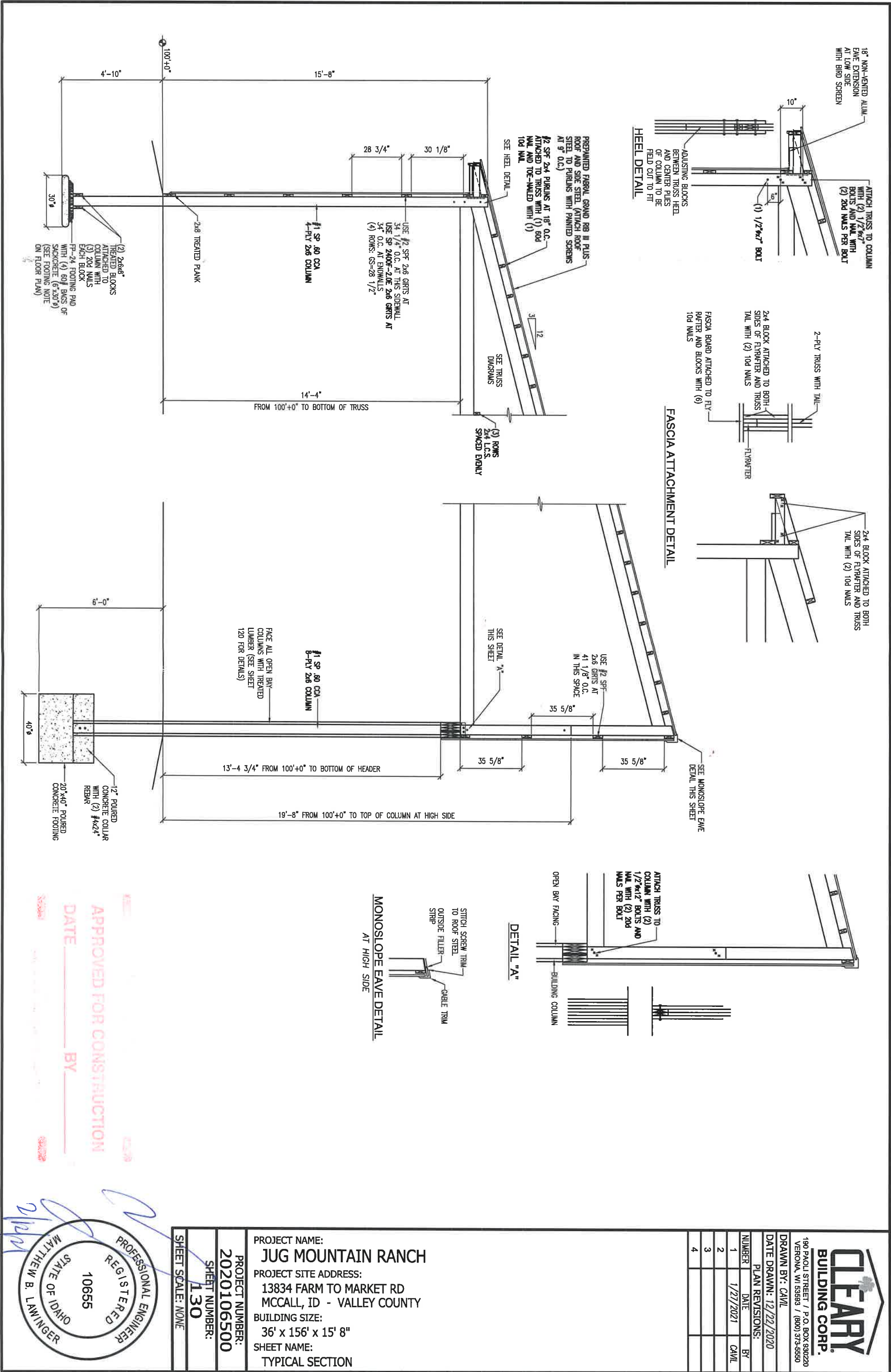
SHEET NAME:
FLOOR PLAN

PROJECT NUMBER:
2020106500

SHEET NUMBER:
120

SHEET SCALE: NONE

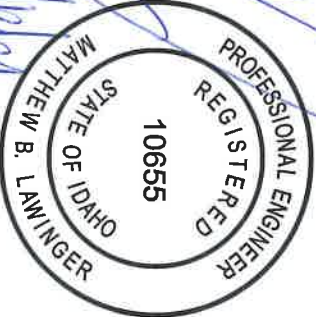




DRAWN BY: CAVIL			
DATE DRAWN: 12/22/2020			
PLAN REVISIONS:			
NUMBER	DATE	BY	
1	1/27/2021	CAVIL	
2			
3			
4			

PROJECT NAME:
JUG MOUNTAIN RANCH
PROJECT SITE ADDRESS:
13834 FARM TO MARKET RD
MCCALL, ID - VALLEY COUNTY
BUILDING SIZE:
36' x 156' x 15' 8"
SHEET NAME:
TYPICAL SECTION

PROJECT NUMBER:
2020106500
SHEET NUMBER:
130
SHEET SCALE: NONE




APPROVED FOR CONSTRUCTION

DATE _____ BY _____



DATE _____ BY _____





CLEARY.

BUILDING CORP.

190 PAOLI STREET / P.O. BOX 930220
 VERNONA, WI 53593 / (800) 373-5550

DRAWN BY: CAWL

DATE DRAWN: 12/22/2020

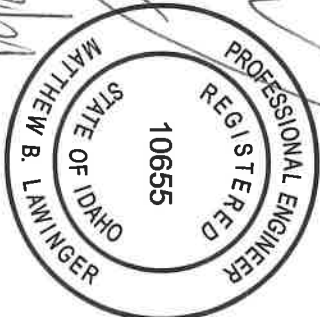
PLAN REVISIONS:

NUMBER	DATE	BY
1	1/27/2021	CAWL
2		
3		
4		

PROJECT NUMBER:
2020106500

SHEET NUMBER:

SHEET/SCALE: NONE





5-PLY 2x12 STRUCTURAL HEADER —
(SP 2400F-20E)
-ATTACH (2) OUTER HEADER PILES
TO COLUMNS WITH (6) 20d NAILS
-BEAR INNER PILES ON COLUMN
CRIPPLE TO FOOTING
-NAIL HEADER PILES TOGETHER WITH
(2) STAGGERED ROWS OF 10d NAILS
AT 12" O.C.

NOTE A:
ATTACH HEADER POST TO HEADER WITH
(2) 2 1/2"x3"x8 1/4"x1/4" STEEL BRACKETS
-ATTACH BRACKETS TO HEADER POST WITH
(2) 1/2"x7 1/2" BOLTS AND (4) 20d NAILS
-ATTACH BRACKETS TO HEADER WITH (4) 20d
NAILS

—ATTACH TRUSS TO HEADER
POST WITH (1) 1/2"x7"
BOLT AND NAIL WITH (2) 20d NAILS

—SEE NOTE "A"
THIS SHEET

Diagram illustrating the components of a column and footing assembly:

- (2) 2x6 TREATED FACING PLYS
- (2) 1/2" x 11 1/4" PLYWOOD SHIMS ENTIRE HEADER
- 5-PLY 2x12 STRUCTURAL HEADER
- (2) 2x6 TREATED FACING PLYS ATTACHED TO INNER FACE OF EACH COLUMN WITH (1) 20d NAIL 12" O.C. STAGGERED
- 4-PLY BUILDING COLUMN WITH (2) INNER CRIPPLES TO FOOTING ON BOTH SIDES

NOTE 2:
ATTACH HEADER POST TO HEADER WITH
(2) 2 1/2"x3"x8 1/4"x1/4" STEEL BRACKETS
-ATTACH BRACKETS TO HEADER POST WITH
(2) 1/2"x1/2" BOLTS AND (4) 20d NAILS
-ATTACH BRACKETS TO HEADER WITH (4) 20d
NAILS

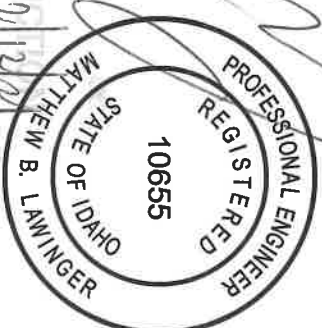
PROJECT NAME:
JUG MOUNTAIN RANCH

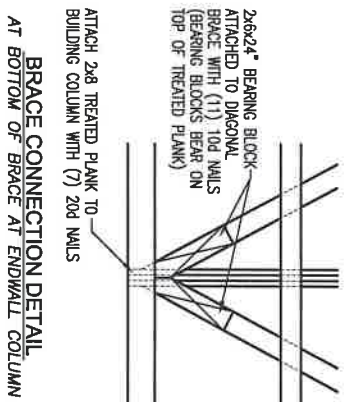
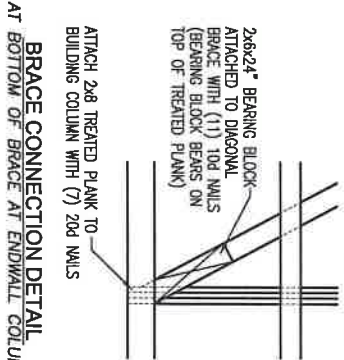
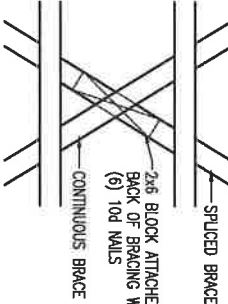
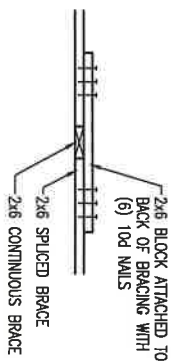
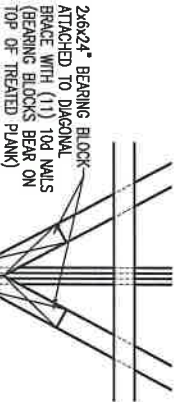
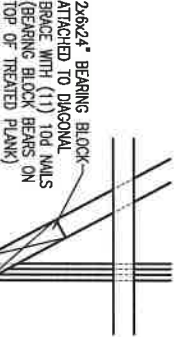
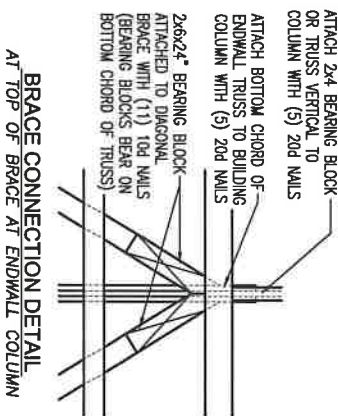
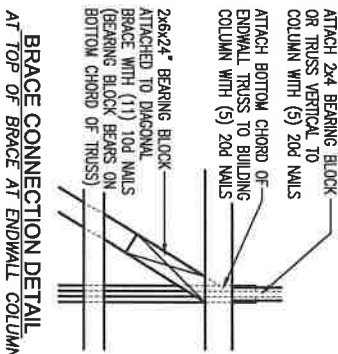
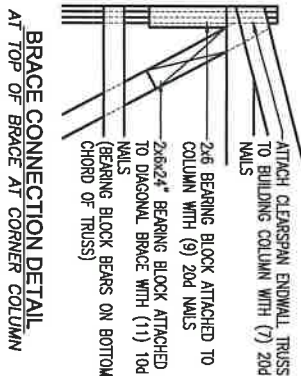
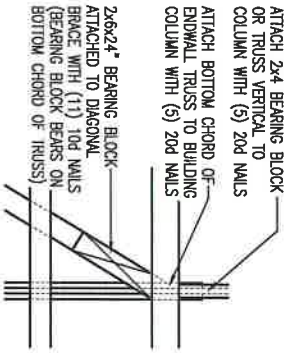
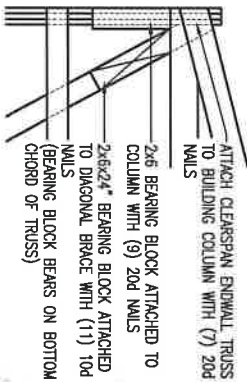
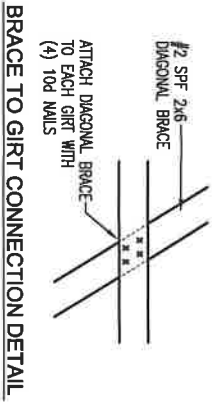
PROJECT SITE ADDRESS:
13834 FARM TO MARKET RD
MCCALL, ID - VALLEY COUNTY

BUILDING SIZE:
36' x 156' x 15' 8"

SHEET NAME:
HEADER DETAILS AT ENDWALLS

SHEET SCALE: NONE





ENDWALL DIAGONAL BRACING DETAIL
AT BOTH ENDWALLS

ENDWALL DIAGONAL X-BRACING DETAIL
AT ALL INTERIOR ENDWALLS

CLEARY. BUILDING CORP. 190 PAOLI STREET / P.O. BOX 930220 VERONA, WI 53583 / (800) 373-5550			
DRAWN BY: CAVIL			
DATE DRAWN: 12/22/2020			
PLAN REVISIONS:			
NUMBER	DATE	BY	
1			
2			
3			
4			

PROJECT NAME:
JUG MOUNTAIN RANCH

PROJECT SITE ADDRESS:
**13834 FARM TO MARKET RD
MCCALL, ID - VALLEY COUNTY**

BUILDING SIZE:
36' x 156' x 15' 8"

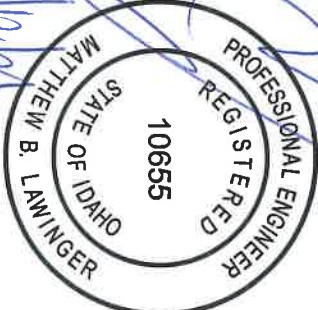
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DIAGONAL BRACING DETAILS

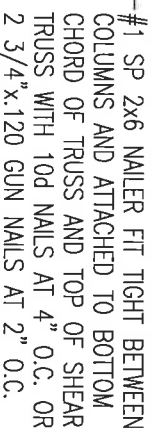
PROJECT NUMBER:
2020106500

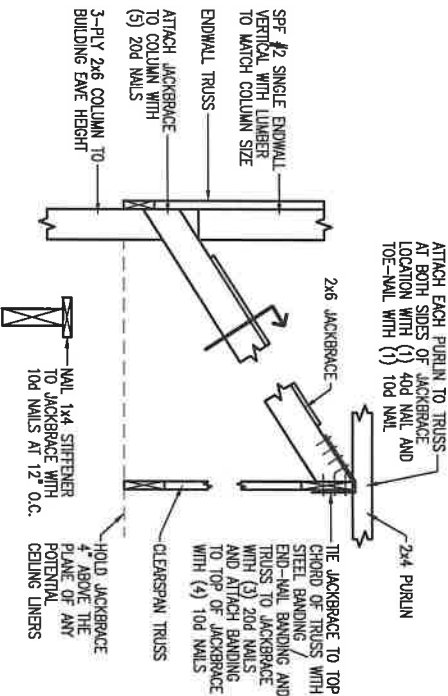
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150

SHEET/SCALE: NONE

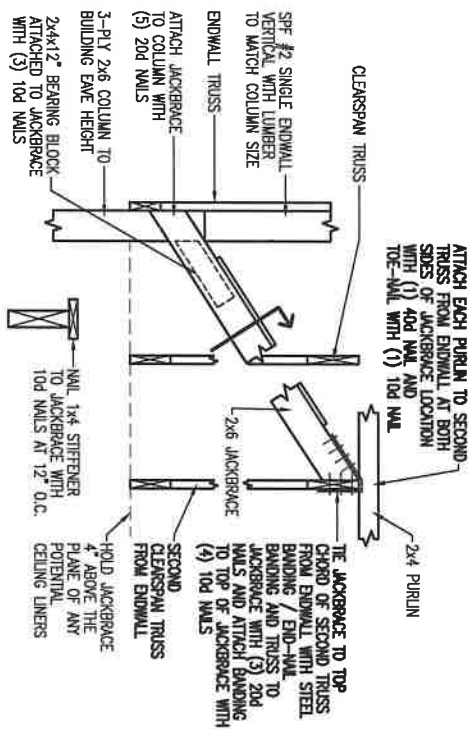
APPROVED FOR CONSTRUCTION
DATE _____ BY _____



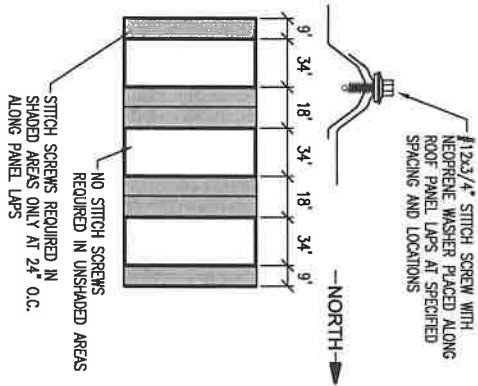




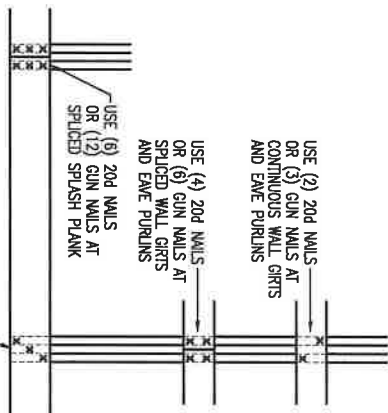
JACKBRACE DETAIL
AT F AND G COLUMNS



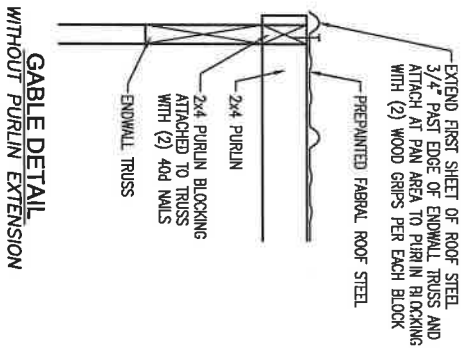
JACKBRACE DETAIL
AT H, I, J, AND K COLUMNS



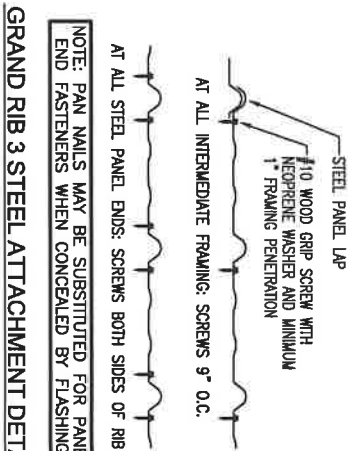
STITCH SCREW DETAIL
AT ROOF STEEL



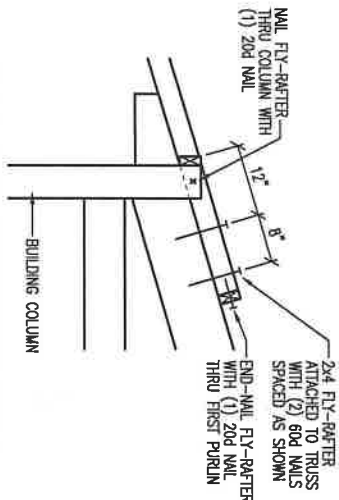
STANDARD WALL FRAMING NAILING



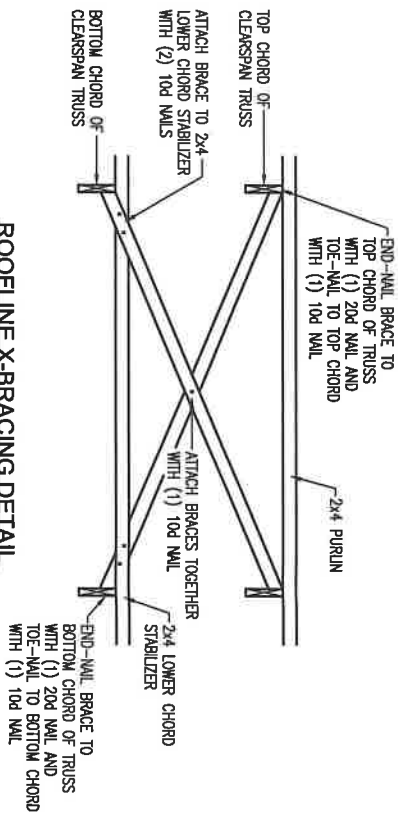
GABLE DETAIL
WITHOUT PURLIN EXTENSION



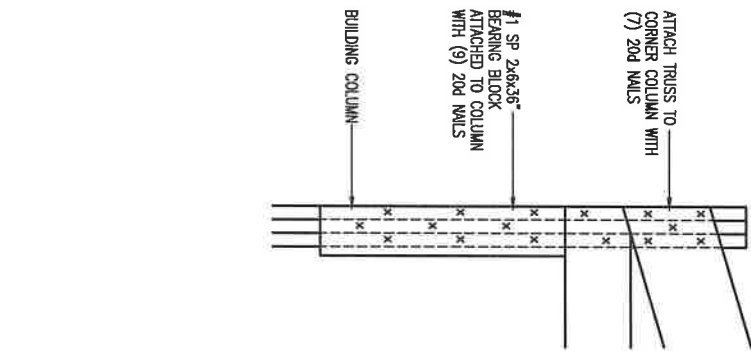
GRAND RIB 3 STEEL ATTACHMENT DETAIL



FLY-RAFTER CONNECTION DETAIL



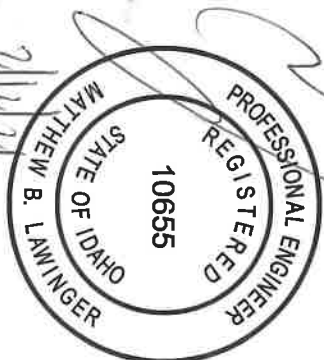
ROOFLINE X-BRACING DETAIL
X-BRACING IS ATTACHED TO LOWER CHORD STABILIZER
SEE FLOOR PLAN FOR X-BRACE LOCATIONS



STRUCTURAL ENDWALL TRUSS TO
COLUMN CONNECTION DETAIL
AT ALL ENDWALLS

PROJECT NAME:
JUG MOUNTAIN RANCH
PROJECT SITE ADDRESS:
13834 FARM TO MARKET RD
MCCALL, ID - VALLEY COUNTY
BUILDING SIZE:
36' x 156' x 15' 8"
SHEET NAME:
DIAPHRAGM ACTION and MISC. DETAILS

PROJECT NUMBER:
2020106500
SHEET NUMBER:
160
SHEET SCALE: NONE



CLEARY
BUILDING CORP.
190 PAOLI STREET / P.O. BOX 930220
VERONA, WI 53593 / (800) 373-5550

DRAWN BY: CAVIL		
DATE DRAWN: 12/22/2020		
PLAN REVISIONS:		
NUMBER	DATE	BY
1		
2		
3		
4		

Exhibit 6
Weed Control Agreement



VALLEY COUNTY
WEED CONTROL AGREEMENT

The purpose of this agreement is to establish a cooperative relationship between Valley County and the undersigned Cooperator to protect the natural and economic values in the Upper Payette River watershed from damages related to the invasion and expansion of infestations of noxious weeds and invasive plants. This is a cooperative effort to prevent, eradicate, contain and control noxious weeds and invasive plants on public and private lands in this area. Factors related to the spread of weeds are not related to ownership nor controllable at agency boundaries. This agreement formalizes the cooperative strategy for management of these weeds addressed in Valley County's Integrated Weed Management Plan.

In this continuing effort to control Noxious Weeds, Valley County Weed Control will consult with the undersigned Cooperator and outline weed identification techniques, present optional control methods and recommend proper land management practices.

The undersigned Cooperator acknowledges that he/she is aware of any potential or real noxious weed problems on his/her private property and agrees to control said weeds in a timely manner using proper land management principles.

COOPERATOR

Shub Mountain Ranch LLC

PO Box 2332

McLain, ID 83638

By: [Signature]
DAVID CATEY, MEMBER

Date: 2-22-21

By: _____
Valley County Weed Control

Date: _____

Exhibit 7
Impact Report

IMPACT REPORT

(from Valley County Code 9-5-3-D)

You may add information to the blanks below or attach additional sheets.

- ❖ An impact report shall be required for all proposed Conditional Uses.
 - ❖ The impact report shall address potential environmental, economic, and social impacts and how these impacts are to be minimized as follows:
1. Traffic volume, character, and patterns including adequacy of existing or proposed street width, surfacing, alignment, gradient, and traffic control features or devices, and maintenance. Contrast existing with the changes the proposal will bring during construction and after completion, build-out, or full occupancy of the proposed development. Include pedestrian, bicycle, auto, and truck traffic.

Lot 55, Block 4, Jug Mountain Ranch PUD Phase 1 Stage 2 is a 22 acre lot in Jug Mountain Ranch that is currently used primarily for maintenance and storage of golf equipment and facilities, property owner facilities, and the Jug Mountain Ranch sewer system.

There is an existing dirt/gravel road that will be used to access the storage facilities, which road passes through the maintenance facilities area. The applicant may decide, in the future, to move the location of the road accessing the storage units to the alternate location that is depicted on the site plan. The potential future access road will similarly be of dirt/gravel construction.

There will only be 12 storage units in a single structure to begin with, and the possible construction of an additional 3 buildings if there is demand for them. The storage units would be primarily rented to the Jug Mountain Ranch property owners, but also for use by the developer and the golf course. There will be no rental of units to owners outside of Jug Mountain Ranch. Owners currently park vehicles, boats, campers, etc. in a limited area in the location of the proposed storage units. So, it is not anticipated that there will be much, if any, increase in traffic.

The existing road and the potential future access road are both depicted on the site plan attached as **Exhibit 2**.

2. Provision for the mitigation of impacts on housing affordability.

N/A

3. Noise and vibration levels that exist and compare to those that will be added during construction, normal activities, and special activities. Include indoor and outdoor, day and night variations.

There will be noise related to the construction of the storage units. It is anticipated that this will be a relatively quick process, though, as they are prefabricated units constructed by Cleary.

Noise for normal use should be less than existing uses, as the buildings should muffle or minimize noise from parking. These are large units, anticipated for large campers, trailers, vehicles etc. It is not anticipated that there will be significant traffic coming and going to these units.

4. Heat and glare that exist and that might be introduced from all possible sources such as autos in parking areas, outdoor lights, water or glass surfaces, buildings or outdoor activities.

Any autos will be parked inside the storage units. The units themselves will be metal buildings. Outdoor lighting will be located at the opening of the storage units, and will be compliant with the Valley County Lighting Ordinance. The lights will not be left on at night, but will be on motion sensors.

5. Particulate emissions to the air including smoke, dust, chemicals, gasses, or fumes, etc., both existing and what may be added by the proposed uses.

N/A

6. Water demand, discharge, supply source, and disposal method for potable uses, domestic uses, and fire protection. Identify existing surface water drainage, wet lands, flood prone areas and potential changes. Identify existing ground water and surface water quality and potential changes due to this proposal.

There will be no water source, sewer facilities, or dump station at the storage units.

7. Fire, explosion, and other hazards existing and proposed. Identify how activities on neighboring property may affect the proposed use.

There should be no fire or explosion danger from the use, and no impact from neighboring property. Additionally, the construction of the storage should create a positive impact on the neighboring property, as it will act to clean up the site and act to buffer items that may remain stored outside.

8. Removal of existing vegetation or effects thereon including disturbance of wet lands, general stability of soils, slopes, and embankments and the potential for sedimentation of disturbed soils.

The units will be placed in areas that are currently either grassy areas or graveled areas, all relatively flat without slope. There should be no soil stability issues.

9. Include practices that will be used to stabilize soils and restore or replace vegetation.

A berm will be placed west of the storage units, with trees interspersed on and west of it as shown in the site plan attached as **Exhibit 2**.

10. Soil characteristics and potential problems in regard to slope stability, embankments, building foundation, utility and road construction. Include suitability for supporting proposed landscaping.

There is no slope, and there should be no stability issues. All landscaping will occur on level ground with no slope as well.

11. Site grading or improvements including cuts and fills, drainage courses and impoundments, sound and sight buffers, landscaping, fencing, utilities, and open areas.

There will be minimal site grading – the property is already flat.

The existing irrigation ditch will be rerouted to the west when/if a new access road is added. The ditch will not be moved in order facilitate the construction of the storage buildings only. This ditch has been moved in the past for both Golf Maintenance buildings constructions as well as the creation two golf holes. We currently manage the maintenance of this section of the ditch for the water rights users down stream and have done so for nearly 20 years.

There will be no fencing.

The only utilities available to the storage units will be electrical, and all lighting will comply with the Valley County Lighting Ordinance.

12. Visibility from public roads, adjoining property, and buildings. Include what will be done to reduce visibility of all parts of the proposal but especially cuts and fills and buildings. Include the affect of shadows from new features on neighboring property.

Currently homes to the west can see items stored in the open on the property where the storage units will be constructed. The first unit to be constructed will be north of the existing golf maintenance buildings, and will be a buffer between the homes and items stored. Landscaping will be installed west of the storage units, to soften the look of the buildings.

13. Reasons for selecting the particular location including topographic, geographic and similar features, historic, adjoining land ownership or use, access to public lands, recreation, utilities, streets, etc., in order to illustrate compatibility with and opportunities presented by existing land uses or character.

This is a good place to put the storage units due to the other existing uses on Lot 55, and current use of the property for storage. Construction of the storage units should clean up the area, and make it more pleasing to view.

14. Approximation of increased revenue from change in property tax assessment, new jobs available to local residents, and increased local expenditures.

The units will likely increase the value of Lot 55, and thereby increase the property taxes to be paid. There will be no new jobs created by the project, other than the employment of the contractors during the construction period.

15. Approximation of costs for additional public services, facilities, and other economic impacts.

N/A

16. State how the proposed development will impact existing developments providing the same or similar products or services.

The storage units will only be available to JMR owners and the developer / golf course. So, any impact on other storage units would only be from owners utilizing JMR storage instead of other existing storage facilities.

17. State what natural resources or materials are available at or near the site that will be used in a process to produce a product and the impacts resulting from the depletion of the resource. Describe the process in detail and describe the impacts of each part.

N/A

18. What will be the impacts of a project abandoned at partial completion?

This is very unlikely to happen, since the construction process is so quick, and the project is a bid project.

19. Number of residential dwelling units, other buildings and building sites, and square footage of gross non-residential floor space to be available.

There will be no residential dwelling units involved with the storage units, nor will there be any other residential uses on Lot 55. Other buildings are related to the golf operations and the JMR sewer system, totaling approximately 10,000 square feet. These other uses are not open to use by the public or by JMR owners.

20. Stages of development in geographic terms and proposed construction time schedule.

These units will be constructed as the demand presents itself. The first unit will be constructed in the late spring / early summer of 2021. The other three will only be constructed if there is sufficient demand. A five (5) year build-out period for the construction of all 4 buildings is proposed.

21. Anticipated range of sale, lease or rental prices for dwelling units, building or other site, or non-residential floor space in order to insure compatibility with adjacent land use and development.

It is anticipated that the units will be rented for \$110/month.

Exhibit 8

Names and Addresses
of Property Owners
Within 300' of the
Property Lines

JUG MOUNTAIN RANCH

Conditional Use Permit Application for Storage Units

Owners Within 300'

ParcelId	OwnerNameLabelFormat	SiteAddr	OwnerAddr	OwnerCity	OwnerStat	OwnerZIP
MH17N03E015406	Robert & Vivian Bigelow	13884 Farm To Market Rd	PO Box 416	McCall	ID	83638
RP004990020490	Jug Mountain Ranch LLC		PO Box 2069	McCall	ID	83638
RP004990030010	Samuel & Kelly Worley	201 Cold Creek Ct	PO Box 4010	McCall	ID	83638
RP004990030020	Kenneth & Audrey Smith	205 Cold Creek Ct	2600 S Swallowtail Ln	Boise	ID	83706
RP004990030200	Bert & Carol Brown	202 West Jug Rd	1663 N Iron Bello Place	Eagle	ID	83616
RP004990030460	Jug Mountain Ranch		PO Box 2069	McCall	ID	83638
RP004990030470	Jug Mountain Ranch LLC		PO Box 2069	McCall	ID	83638
RP004990040540	Jug Mountain Ranch	360 Jug Mtn Ranch Rd	PO Box 2069	McCall	ID	83638
RP004990050480	Jug Mountain Ranch LLC		PO Box 2069	McCall	ID	83638
RP005590010030	Warren & Connie Kline	206 Cold Creek Ct	206 Cold Creek Ct	McCall	ID	83638
RP005590010040	Elizabeth & Robert Johnson	202 Cold Creek Ct	966 W Watersford Dr	Eagle	ID	83616
RP0055900100A0	Jug Mountain Ranch LLC		PO Box 2069	McCall	ID	83638
RP17N03E010750	David Carey II	13895 Lang Ct	PO Box 2069	McCall	ID	83638
RP17N03E015406	Bigelow 2006 Rev	13884 Farm To Market Rd	PO Box 416	McCall	ID	83638
RP17N03E015475	Grems Family Rev Trust	13878 Farm To Market Rd	13878 Farm To Market Rd	McCall	ID	83638
RP17N03E015865	David Carey II		PO Box 2069	McCall	ID	83638