

RECEIVED  
DEC 10 2025  
BY: \_\_\_\_\_

SITE ANALYSIS

ADDRESS :	4 PLEASANT ACRES DR. MCCALL, ID 83638		
ASSESSORS PARCEL NUMBER :	RP002040000088		
JURISDICTION :	VALLEY COUNTY		
SUBDIVISION :	PLEASANT ACRES SUBDIVISION		
LEGAL DESCRIPTION :	1.562 ACRES OF LOT 8		
ZONING :	COMMERCIAL		
PROPOSED LAND-USE :	RESIDENTIAL / COMMERCIAL / STORAGE		
SITE AREA :			
ACERAGE -	1.56 ACRES		
SQUARE FOOTAGE -	68,040 SQUARE FEET		
LANDSCAPE AREA :			
ACERAGE -	.81 ACRES		
SQUARE FOOTAGE -	35,495 SQUARE FEET		
BUILDING AREA :			
STORAGE -	5,600 SQUARE FEET		
COMMERCIAL -	4,014 SQUARE FEET		
RESIDENTIAL -	4,014 SQUARE FEET		
SETBACKS :	REQUIRED	PROVIDED	
FRONT -	30'-0"	30'-6"	
SIDE (INTERIOR) -	10'-0"	12'-10"	
SIDE (STREET) -	14'-0" (ITD)	94'-6"	
REAR -	10'-0"	10'-0"	
PARKING :			
STORAGE -		1 PER UNIT	
COMMERCIAL	1 PER 250 SF	18 STALLS	
RESIDENTIAL	2 PER UNIT	6 STALLS + 4 GARAGES	

VICINITY MAP



EXHIBIT 1

SUB 25-020  
P2 12-11-2025

LAKE FORK VILLAGE - MIXED USE

4 PLEASANT ACRES DRIVE, LAKE FORK, IDAHO  
OVERALL SITE PLAN  
07/24/24  
ca - 2451



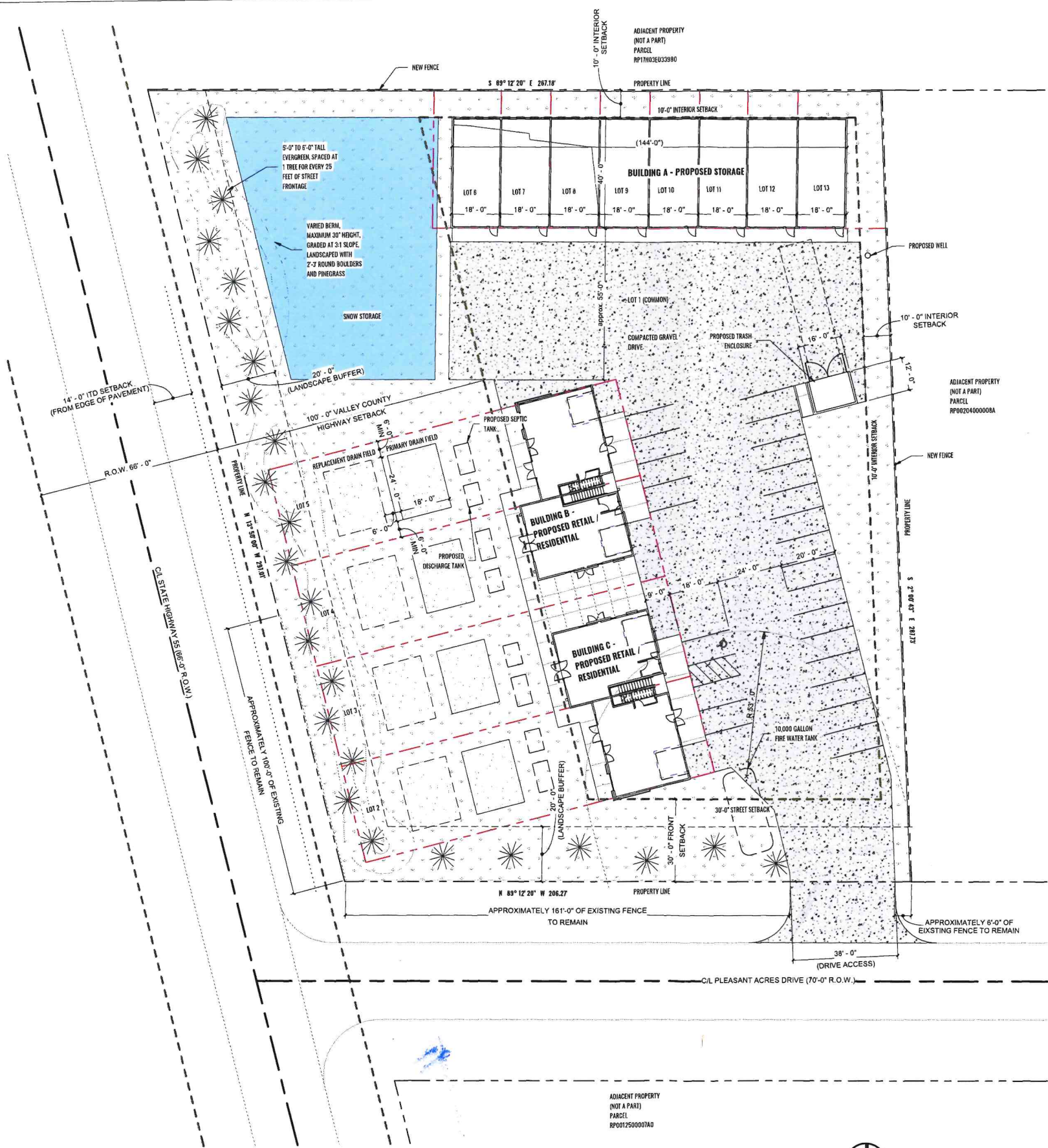
WWW.CHRYSALIS-ARCHITECTURE.COM E:rw@chrysalis-architecture.com

P: 208.596.1565

134 S 5TH ST, BOISE, IDAHO 83703

ARCHITECTURAL SITE PLAN  
1" = 20'-0"

0 10'-0" 20'-0" 40'-0" 60'-0"



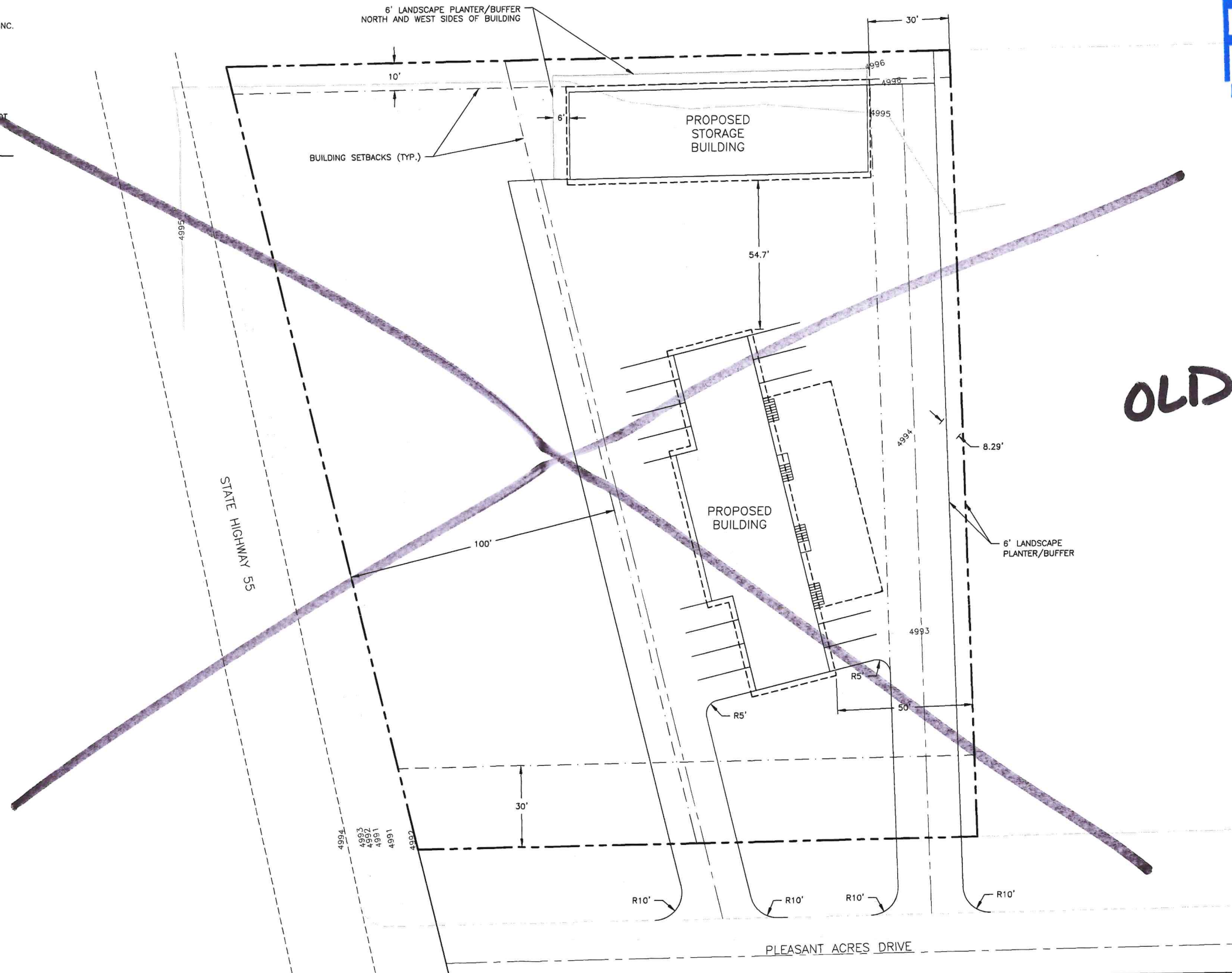


NOTES:

- EXISTING TOPOGRAPHY AND PROPERTY BOUNDARIES AS SHOWN ON THIS PLAN HAVE BEEN DIGITIZED FROM THE "LEVEL 1 NUTRIENT-PATHOGEN EVALUATION PROPOSED MIXED-USE DEVELOPMENT PLEASANT ACRES SUBDIVISION VALLEY COUNTY, IDAHO" REPORT PREPARED BY STRATA, INC. PROPOSED IMPROVEMENTS AS SHOWN ON THE PLAN ARE BASED UPON DRAWINGS PROVIDED THE OWNER.
- THE EXISTING SITE INFORMATION PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR SHALL BE FIELD VERIFIED BY THE CONTRACTOR'S CONSTRUCTION SURVEY PRIOR TO THE START OF ANY PROJECT CONSTRUCTION. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THE EXISTENCE OF OBJECTS OR UTILITIES ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.

LEGEND:

- PROPERTY BOUNDARY  
 --- 5020 EXISTING CONTOUR (APPROXIMATE)



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OLD



NORTH

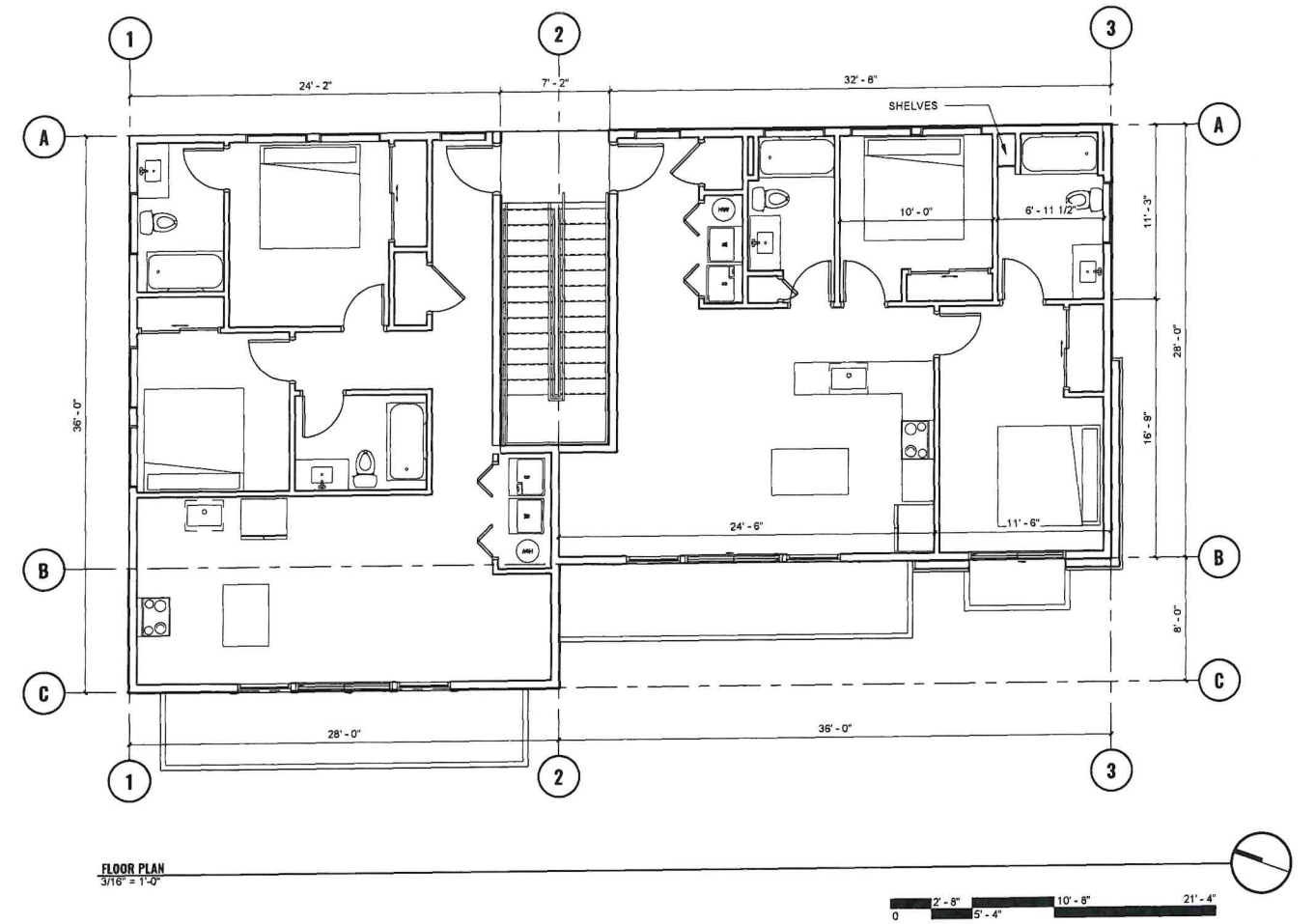
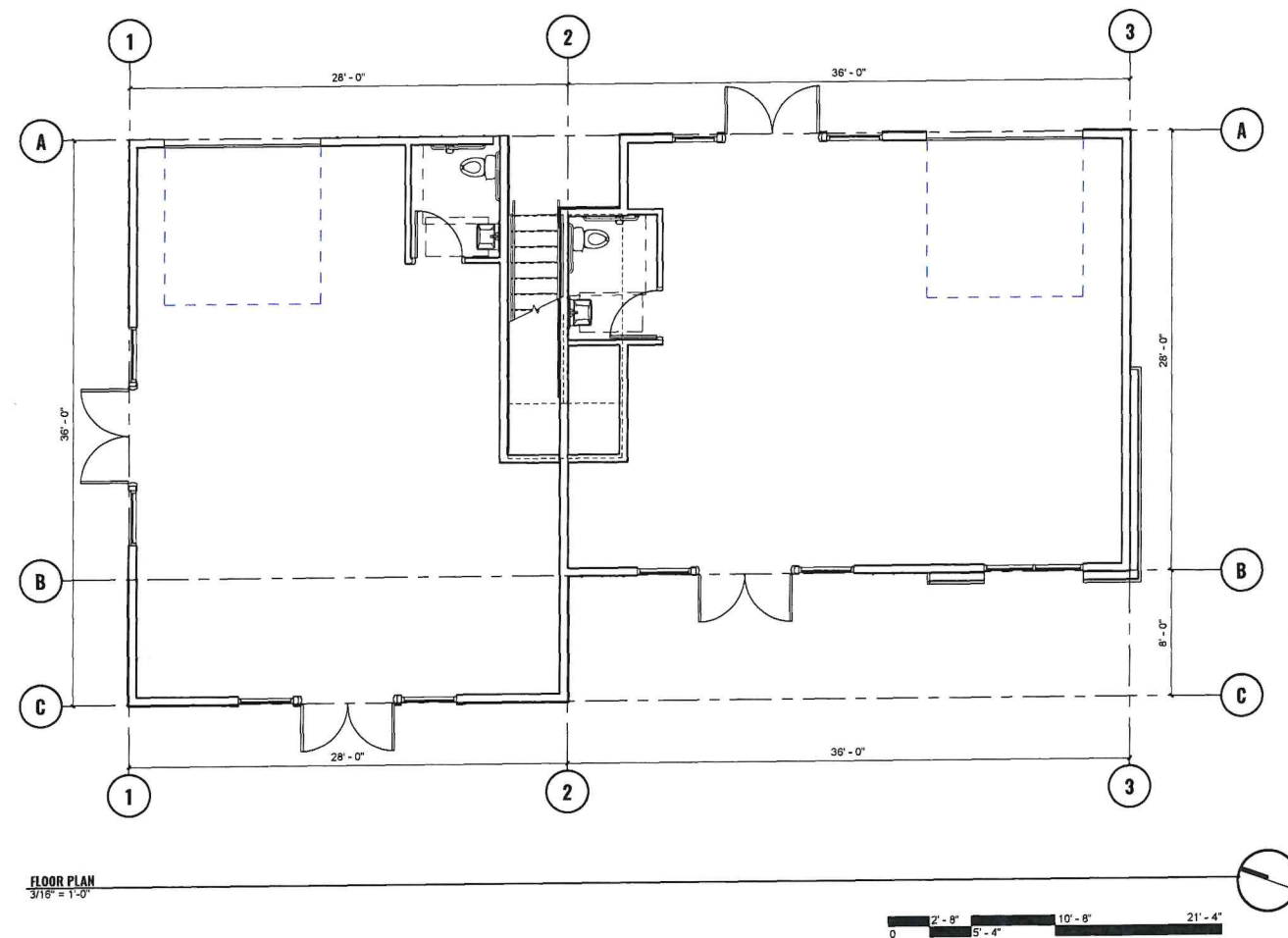
0 10 20 40 60  
 SCALE: 1" = 20'

NO.	REVISION	BY	DATE	DESIGN
				GTT
				DRAWN
				SMR
				CHECKED
				GTT
				APPROVED

**CRESTLINE**  
 ENGINEERS  
 323 DEINHARD LANE, SUITE C · PO BOX 2330  
 McCALL, IDAHO 83638  
 208.634.4140 · 208.634.4146 FAX

LAKE FORK VILLAGE CONDOS & OFFICES  
 VALLEY COUNTY, IDAHO  
 REVISED SITE PLAN  
 8/9/2022

VERIFY SCALE BAR IS ONE INCH ON FULL SIZE DRAWING	
PROJECT	22014
DATE	8/9/2022
DRAWING NO.	SHEET NO.
C-1	1 OF 1

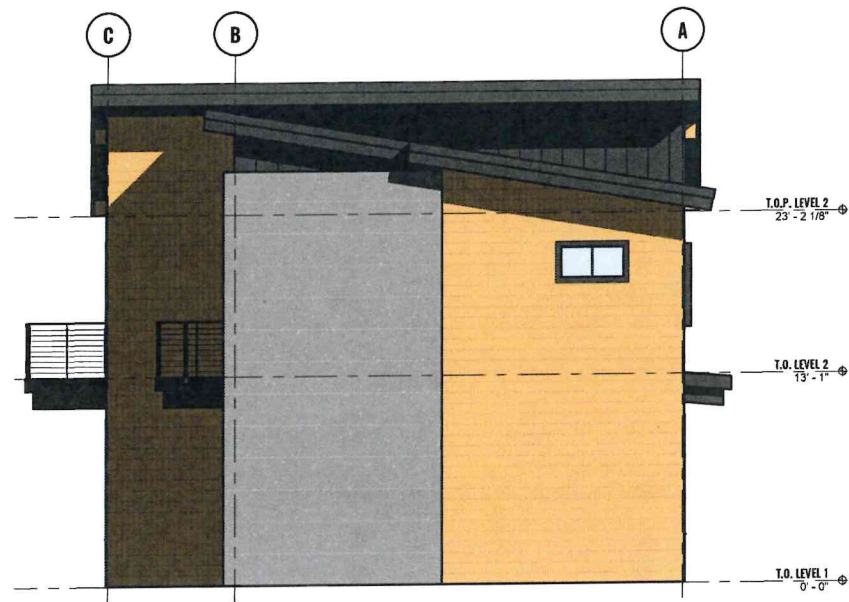


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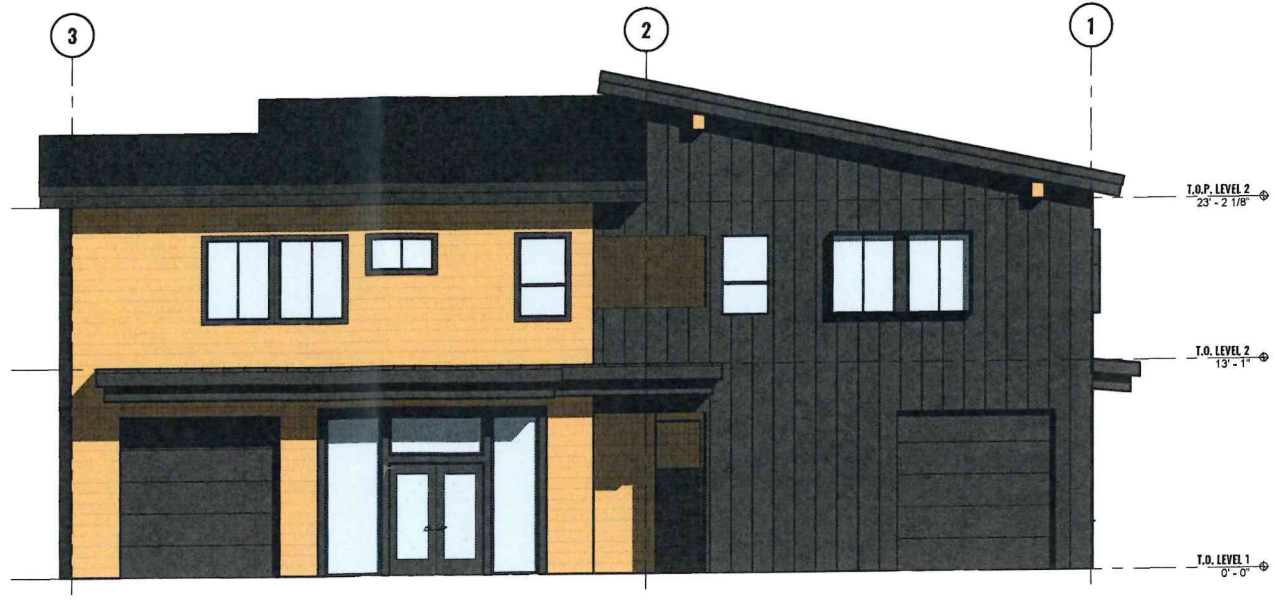


# LAKE FORK VILLAGE - MIXED USE BUILDING

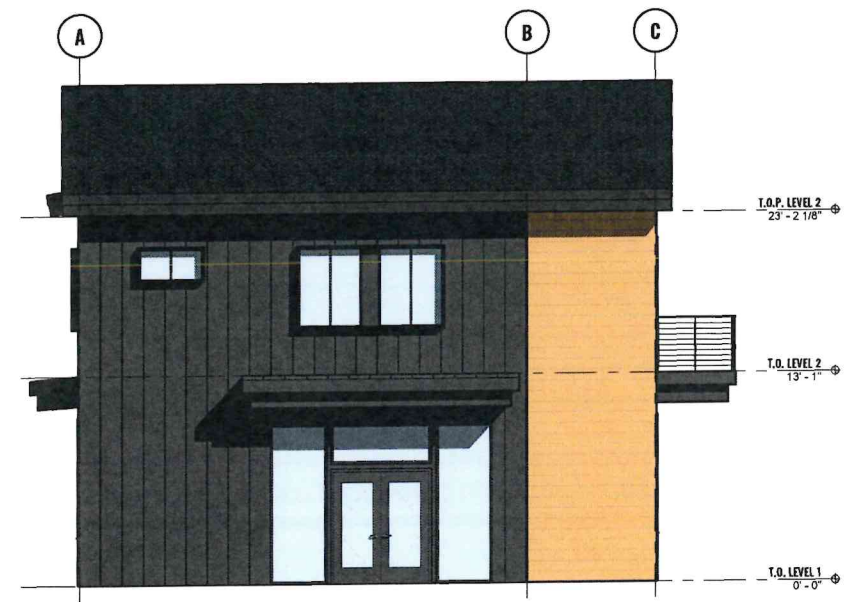




NORTH ELEVATION  
3/16" = 1'-0"



EAST ELEVATION  
3/16" = 1'-0"



SOUTH ELEVATION  
3/16" = 1'-0"





WEST ELEVATION  
3/16" = 1'-0"

#### EXTERIOR ELEVATION GENERAL NOTES

- DRAWINGS & SPECIFICATIONS ARE COMPLEMENTARY COMPONENTS OF THE CONTRACT DOCUMENTS. REVIEW ALL DRAWINGS AND SPECIFICATIONS FOR THE COMPLETE SCOPE OF WORK. NOTIFY ARCHITECT IMMEDIATELY FOR CLARIFICATION IF INCONSISTENCIES, CONTRADICTIONS OR OMISSIONS ARE DISCOVERED.
- DO NOT SCALE DRAWINGS. IF DIMENSIONAL INFORMATION IS REQUIRED & NOT FOUND, NOTIFY ARCHITECT IMMEDIATELY FOR CLARIFICATION.
- ALL DIMENSIONS ARE TO COLUMN CENTERLINES OR TO FACE OF FRAMING, U.N.O. CLEAR DIMENSIONS INDICATE DIMENSION BETWEEN FINISHES.
- ALL EXPOSED FOUNDATIONS AND FOOTINGS ARE TO BE PAINTED TO MATCH ADJACENT WALL FINISH OR COLOR AS SELECTED BY OWNER. PROVIDE NECESSARY SURFACE FILLER AS RECOMMENDED BY MANUFACTURER FOR PARTICULAR APPLICATION.
- PROVIDE 24 GAUGE PRE-FINISHED METAL FLASHING, DRIP EDGE, AND TRIM TO MATCH ROOFING COLOR, AS SELECTED BY OWNER.
- PROVIDE CONTINUOUS PRE-FINISHED 22 GAUGE METAL GUTTER TP MATCH FLASHING OR TRIM AT ALL ROOF EAVES. PROVIDE CHAIN LEADER TO 12"x12"x12" CONCRETE BALLAST WITH EMBED EYELET OF SAME TYPE AS CHAIN LEADER.

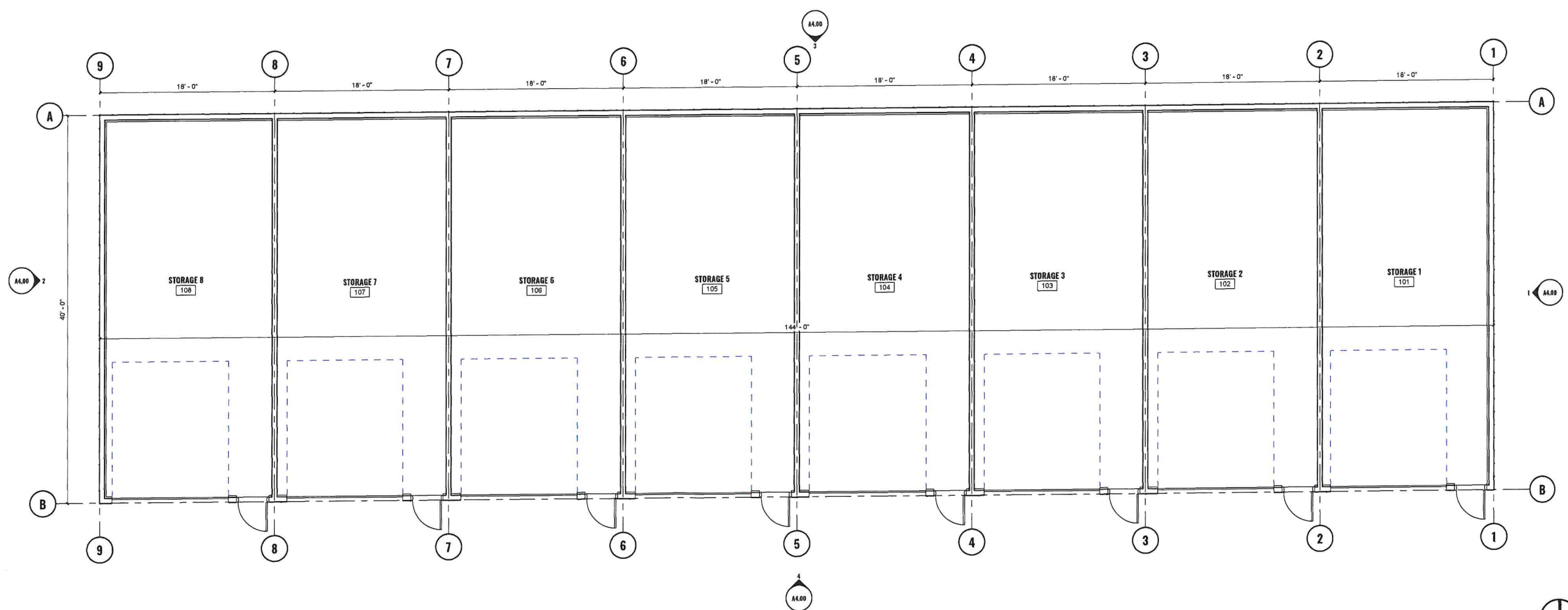
#### EXTERIOR ELEVATION MATERIAL NOTES

-  HORIZONTAL SIDING  
SHERWIN WILLIAMS STAIN -  
SW3513 SPICE CHEST
-  METAL STANDING SEAM  
SHERWIN WILLIAMS -  
SW6990 CAVIAR
-  \*METAL DOORS, AWNINGS,  
RAILINGS & TRIM IN SAME  
COLOR DIFFERENT SHEEN
-  CONCRETE PANEL / CONCRETE

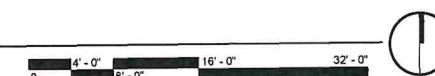
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## LAKE FORK VILLAGE - MIXED USE BUILDING



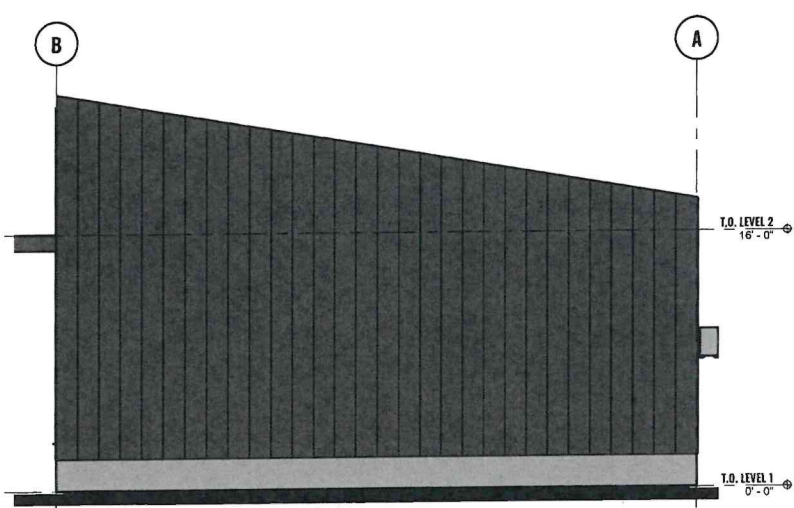
FLOOR PLAN  
 3/16" = 1'-0"



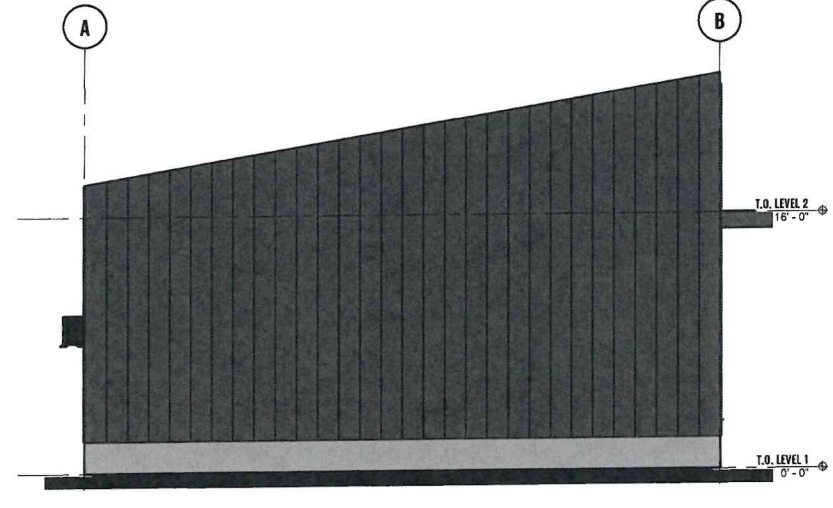
# LAKE FORK VILLAGE - STORAGE BUILDING



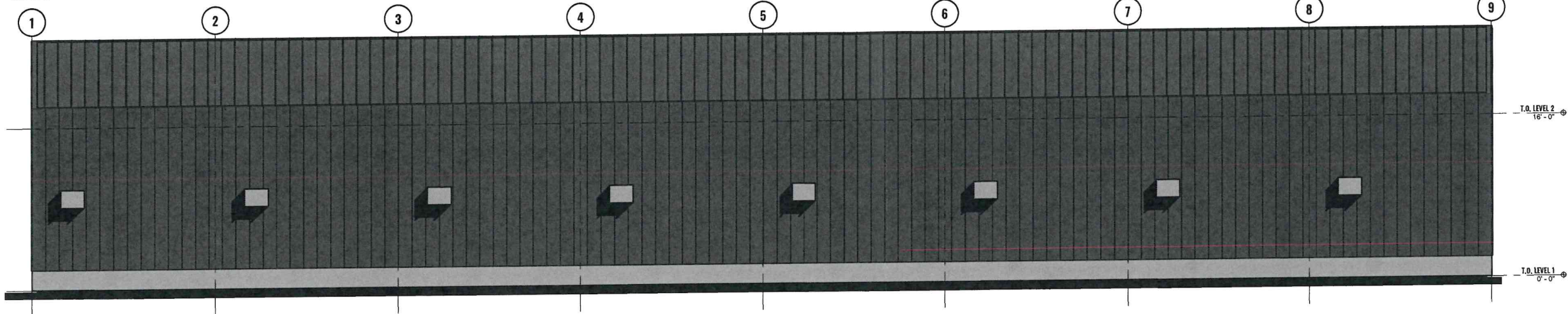
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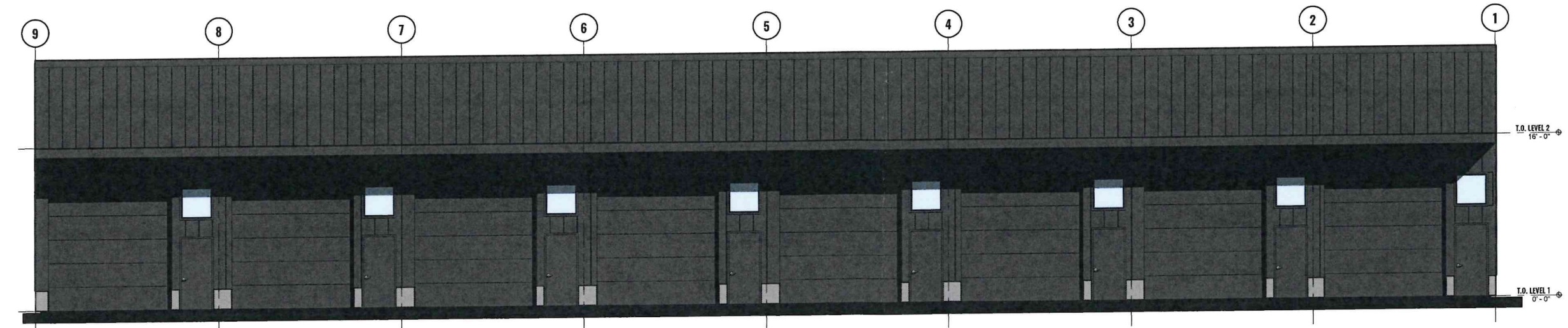
**EAST ELEVATION**  
 3/16" = 1'-0"



**WEST ELEVATION**  
 3/16" = 1'-0"



**NORTH ELEVATION**  
 3/16" = 1'-0"



**SOUTH ELEVATION**  
 3/16" = 1'-0"

**EXTERIOR ELEVATION MATERIAL NOTES**

- METAL STANDING SEAM  
 SHERWIN WILLIAMS -  
 SV6990 CAVIAR
- \*METAL DOORS, AWNINGS,  
 RAILINGS & TRIM IN SAME  
 COLOR DIFFERENT SHEEN
- CONCRETE PANEL / CONCRETE



**LAKE FORK VILLAGE - STORAGE BUILDING**



# Lake Fork Village

East of Hwy 55  
North of Pleasant Acres Dr.

Legend

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BY: \_\_\_\_\_

Google Earth

Image © 2024 Airbus

55

N

600 ft



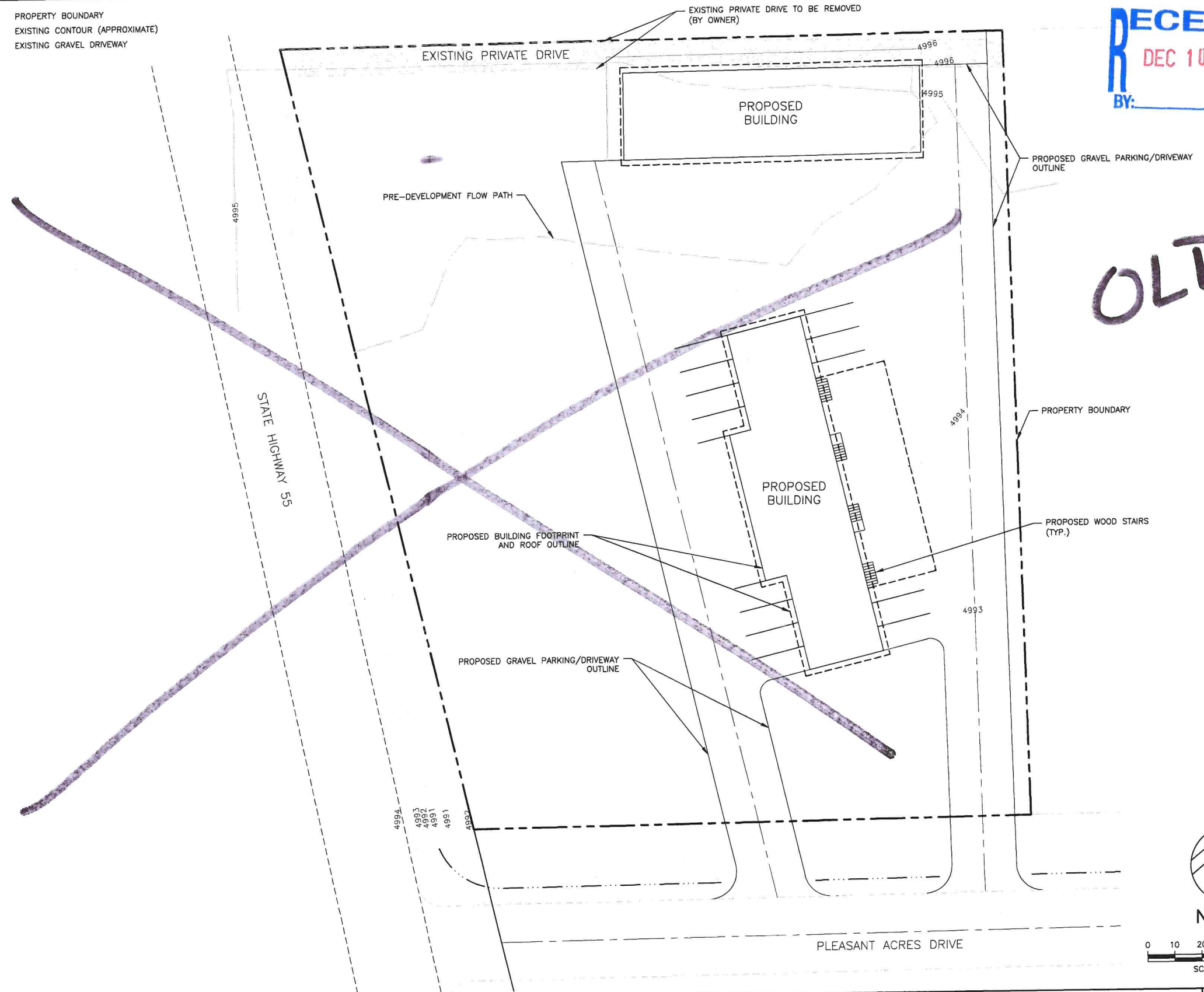


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LEGEND:

- PROPERTY BOUNDARY  
--- EXISTING CONTOUR (APPROXIMATE)  
□ EXISTING GRAVEL DRIVEWAY

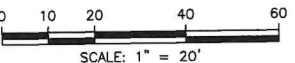


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OLD



NORTH



Path: C:\Users\jcrestline\OneDrive\Engineering\Projects\Lake Fork Village\Lake Fork Village Condos & Offices\Lake Fork Village Condos & Offices.dwg Plot Date: 8/17/2022 8:54 AM status

NO.	REVISION	BY	DATE	DESIGN
				GTT
				DRAWN
				SMR
				CHECKED
				RFP
				APPROVED

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323 DEINHARD LANE, SUITE C • PO BOX 2330  
McCALL, IDAHO 83638  
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LAKE FORK VILLAGE CONDOS & OFFICES  
VALLEY COUNTY, IDAHO  
EXISTING CONDITIONS WITH SITE PLAN

VERIFY SCALE BAR IS ONE INCH ON FULL SIZE DRAWING 0 1"	
PROJECT	22014
DATE	8/24/2022
DRAWING NO.	SHEET NO.
C-1	1 OF 2



# NOTES:

1. REFER TO THE IDAHO DEPARTMENT OF ENVIRONMENTAL QUALITY'S "IDAHO CATALOG OF STORMWATER BEST MANAGEMENT PRACTICES" AND THE VALLEY COUNTY STORMWATER ADDENDUM, AVAILABLE ON THE VALLEY COUNTY WEBSITE, FOR FURTHER DETAILS ON BMP IMPLEMENTATION, INSTALLATION, AND OPERATION & MAINTENANCE.
2. ALL EROSION AND SEDIMENT CONTROL BMP'S SHALL BE INSTALLED PRIOR TO THE START OF ANY PROJECT CONSTRUCTION OR EARTH DISTURBING ACTIVITIES AND SHOULD REMAIN IN PLACE UNTIL ALL DISTURBED/EXPOSED AREAS HAVE BEEN STABILIZED AND/OR REVEGETATED.
3. THE OWNER AND/OR THE SELECTED CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL BMP'S IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
4. THE IMPLEMENTATION OF THESE EROSION AND SEDIMENT CONTROL MEASURES INCLUDING INSTALLATION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THIS PLAN IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL PROJECT CONSTRUCTION IS COMPLETED AND APPROVED BY THE OWNER. THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AFTER THE PROJECT IS APPROVED.
5. WATTLES MAY BE USED IN PLACE OF SILT FENCE WHERE DETERMINED APPROPRIATE. SILT FENCE HAS BEEN SHOWN ON THE PROPERTY LINES IN SOME AREAS TO PREVENT ENCROACHMENT ONTO NEIGHBORING PROPERTIES.
6. WORK ACTIVITIES SHALL TAKE PLACE WITHIN THE CLEARING LIMITS AS SHOWN ON THIS PLAN. CONTRACTOR SHALL PRESERVE NATURAL VEGETATION OUTSIDE OF CLEARING LIMITS AT ALL TIMES.
7. STAGING AREA(S) TO BE LOCATED BY CONTRACTOR WITH PORTABLE TOILETS, GARBAGE RECEPTACLES, CONCRETE WASHOUT, AND ALL OTHER CONTRACTOR FACILITIES.
8. ALL SITE GRADING ADJACENT TO THE NEW STRUCTURES SHALL BE SLOPED TO DRAIN AWAY FROM THE BUILDINGS AT A MINIMUM OF 1.5% IN HARDSCAPE AREAS AND 4% IN LANDSCAPE AREAS.
9. DRIVEWAY GRADES SHALL BE SLOPED AWAY FROM THE BUILDING AND/OR GARAGE AT A MINIMUM SLOPE OF 2% AND A MAXIMUM SLOPE OF 6% FOR A DISTANCE OF NO LESS THAN TEN (10) FEET. GRADING OF THE DRIVEWAY SHALL BE IN ACCORDANCE WITH THE DIRECTION OF THE DRAINAGE FLOW DIRECTION ARROWS AS SPECIFIED IN THE STORMWATER MANAGEMENT PLAN.
10. AREAS BETWEEN NEW STRUCTURES AND PROPERTY BOUNDARIES SHALL BE SLOPED TO ENSURE RUNOFF IS KEPT ON-SITE. SWALES SHALL BE CONSTRUCTED ADJACENT TO/NEAR SIDE PROPERTY LINES TO TO PREVENT RUNOFF FROM FLOWING ONTO ADJOINING PROPERTIES. THESE SWALES ARE INTENDED TO BE FIELD FIT AND MEANDERED AROUND EXISTING VEGETATION AND SITE FEATURES AS NECESSARY.
11. REVEGETATION AND STABILIZATION OF ALL DISTURBED PROJECT AREAS SHALL BE IN ACCORDANCE WITH THE PROJECT'S LANDSCAPE DESIGN. IF A LANDSCAPE DESIGN/PLAN IS NOT AVAILABLE, DISTURBED AREAS SHALL BE REVEGETATED WITH A GRASS MIXTURE NATIVE TO THE PROJECT AREA.

## KEY NOTES:

1. INSTALL OVERFLOW PER CIVIL TYPICAL DETAIL C1012  
OVERFLOW ELEV. 4992.75

## LEGEND:

- PROPERTY BOUNDARY
- EXISTING CONTOUR (APPROXIMATE)
- PROPOSED CONTOUR
- PROPOSED ROOF AREA
- PROPOSED GRAVEL PARKING/DRIVEWAY
- PROPOSED DRAINAGE FLOW DIRECTION ARROW
- PROPOSED CULVERT
- PROPOSED DRAINAGE SWALE
- SILT FENCE
- CONSTRUCTION/CLEARING LIMITS
- PRESERVE EXISTING VEGETATION

PROPOSED DETENTION BERM 1' TALL  
WITH 6:1 SIDE SLOPES  
VOLUME: ±2,082 C.F.  
TOP ELEV: 4993.00  
OVERFLOW ELEV: 4992.75  
BOTTOM ELEV: 4992.00

PROPOSED 6' LANDSCAPING BUFFER

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STATE HIGHWAY 55

4994

4993

4992

4991

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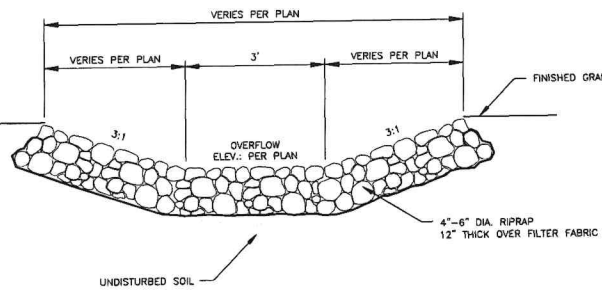
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C1012 TYPICAL OVERFLOW DETAIL  
TYP NOT TO SCALE



0 10 20 40 60  
SCALE: 1" = 20'

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LAKE FORK VILLAGE CONDOS & OFFICES  
VALLEY COUNTY, IDAHO  
STORMWATER MANAGEMENT PLAN

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C-2	2 OF 2