

From: Alex S [REDACTED]
Sent: Wednesday, December 10, 2025 9:48 AM
To: Cynda Herrick <cherrick@valleycountyid.gov>
Cc: Lori Hunter <lhunter@valleycountyid.gov>; michael 2northhomes.com <michael@2northhomes.com>; [REDACTED]
Subject: Re: 4 Pleasant Acres Dr./ Lake Fork

Civil drawings and Parametrix letter attached.

These are our civil drawings. They were sent Parametrix to review, which they approved after a round of corrections.

This was done after you told us this was required for us to have in order for our building permit to be released.

On Dec 10, 2025, at 11:39 AM, Alex S [REDACTED] wrote:

No idea. We have literally never worked with Crestline.

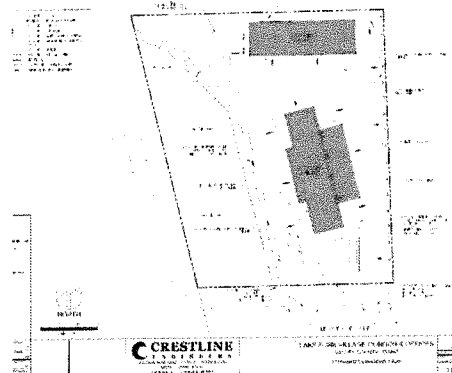
From: Alex S [REDACTED]
Sent: Wednesday, December 10, 2025 9:25 AM
To: Cynda Herrick <cherrick@valleycountyid.gov>
Cc: Lori Hunter <lhunter@valleycountyid.gov>; <michael@2northhomes.com>; [REDACTED]

Then why am I seeing the following in the packet given to the P&Z?

Cynda Herrick, AICP, CFM
Valley County
Planning and Zoning Director
Floodplain Coordinator
PO Box 1350
Cascade, ID 83611
(208)382-7116

"Live simply, love generously, care deeply, speak kindly, and leave the rest...."

Service **T**ransparent **A**ccountable **R**esponsive



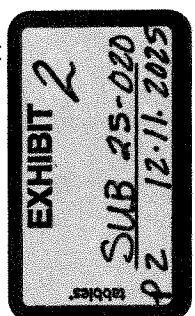
From: Alex S [REDACTED]
Sent: Wednesday, December 10, 2025 9:25 AM
To: Cynda Herrick <cherrick@valleycountyid.gov>
Cc: Lori Hunter <lhunter@valleycountyid.gov>; michael 2northhomes.com <michael@2northhomes.com>; [REDACTED]
Subject: Re: 4 Pleasant Acres Dr./ Lake Fork

Cynda

Good morning and happy Wednesday Regarding your request for additional information:

1. We didn't use Crestline for this project. Civil engineering was done by Ackerman-Estvold
2. Parametrix's analysis was done using the current civil drawings that were provided as part of our application for this project. It was one of the last things we did prior to applying for this hearing. No additional changes to the site plan have been made.

Can you help me understand what you are referencing so we can make sure we get you what you need?



Regards,

Alex Sawyer
2North
PO Box 140798
Garden City, ID 83714
[REDACTED]

On Wed, Dec 10, 2025 at 10:18 AM Cynda Herrick <cherrick@valleycountyid.gov> wrote:
Hello,

Can you get a statement from Crestline with approval from Parametrix for the change in the site plan with the adequacy of the stormwater plan?

Thanks, Cynda

Cynda Herrick, AICP, CFM
Valley County
Planning and Zoning Director
Floodplain Coordinator
PO Box 1350
Cascade, ID 83611
(208)382-7116

“Live simply, love generously, care deeply, speak kindly, and leave the rest....”

Service **T**ransparent **A**ccountable **R**esponsive

From: Lori Hunter <lhunter@valleycountyid.gov>

Sent: Wednesday, December 10, 2025 8:10 AM

To: michael [2northhomes.com](mailto:michael@2northhomes.com) <michael@2northhomes.com>; Cynda Herrick <cherrick@valleycountyid.gov>

Cc: [REDACTED]; Alex S [REDACTED]

Subject: Re: 4 Pleasant Acres Dr./ Lake Fork

This submittal will be labeled Exhibit 1, given to the PZ Commissioners and added to the website.

Lori Hunter
Valley County Planning & Zoning Planner II
208-382-7115
700 South Main Street • P.O. Box 1350
Cascade, ID 83611

Service **T**ransparent **A**ccountable **R**esponsive

From: michael [2northhomes.com](mailto:michael@2northhomes.com) <michael@2northhomes.com>

Sent: Tuesday, December 9, 2025 7:03 PM

To: Lori Hunter <lhunter@valleycountyid.gov>

Cc: [REDACTED]; Alex S [REDACTED]

Subject: 4 Pleasant Acres Dr./ Lake Fork

Hey Lori,

I read through staff comments and you are 100% correct on the elevations for the Live/Work Units. The Architect mislabeled the Elevations. We have these corrected and the blank wall to the North is facing the Storage Units, which will have little visual impact to surrounding neighbors for view.

Could you please add this to file for the upcoming meeting and I will mention this in my public hearing comments.

Thanks,
Michael

Parametrix No. 314-4875-001 – Task 02.134

Cynda Herrick, AICP, CFM
Valley County Planning and Zoning Director
219 North Main Street
PO Box 1350
Cascade, ID 83611

Re: Lake Fork Village – Revised Grading and Drainage Plans and Stormwater Analysis

Dear Cynda:

We have reviewed the above-referenced revised documents for the Lake Fork Village against the current Valley County (VC) Private and Public Road standards. Per our review and in coordination with the engineer, the plans and stormwater analysis meet the required standards; therefore, we are recommending approval of the documents.

Please contact me with any questions or comments.

Sincerely,

PARAMETRIX
Valley County Engineer



Paul Ashton, PE

cc: Jeff McFadden/Valley County Road Department

Antonio Conti P.E./Ackerman-Estvold

Tyler Arnold/ Ackerman-Estvold

Alex Sawyer



GENERAL NOTES:

- ALL WORK SHALL CONFORM TO THE PROJECT NOTES, DETAILS, SPECIFICATIONS, AND THE VALLEY COUNTY STANDARDS. WHERE NOT SPECIFIED, ALL WORK SHALL CONFORM TO THE 2020, OR MOST CURRENT, EDITION OF THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPMC) AND THE MOST CURRENT EDITION OF THE IDAHO TRANSPORTATION DEPARTMENT (ITD) SUPPLEMENTAL SPECIFICATIONS TO THE ISPMC. IN THE EVENT THAT ANY OF THESE STANDARDS CONFLICT, THE MORE STRINGENT SHALL BE THE CONTROLLING STANDARDS OR SPECIFICATIONS.
- ONLY PLAN SETS STAMPED "APPROVED FOR CONSTRUCTION" SHALL BE USED BY THE PROJECT CONTRACTOR(S). USE OF ANY PLANS ON THE JOB WITHOUT THE "APPROVED FOR CONSTRUCTION" STAMP SHALL BE GROUNDS FOR THE ISSUANCE OF A STOP WORK ORDER.
- THE CONTRACTOR SHALL KEEP ONSITE AT ALL TIMES A COPY OF THE APPROVED CONSTRUCTION PLANS. THESE PLANS SHALL BE USED TO RECORD THE ACTUAL LOCATIONS OF THE CONSTRUCTED PIPELINE(S) AND ANY OTHER UTILITIES ENCOUNTERED. THE CONTRACTOR SHALL PROVIDE THESE RECORDED LOCATIONS TO THE PROJECT ENGINEER FOR USE IN THE PRODUCTION OF RECORD DRAWINGS PRIOR TO FINAL APPROVAL/ACCEPTANCE OF THE PROJECT.
- EXISTING SITE INFORMATION INCLUDING THE LOCATION OF EXISTING SITE CONDITIONS AND SURFACE TOPOGRAPHY AS SHOWN ON THESE PLANS HAS BEEN PROVIDED BY DUNN LAND SURVEYS, INC. THE EXISTING SITE INFORMATION IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR'S CONSTRUCTION SURVEY PRIOR TO THE START OF ANY PROJECT CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL CONSTRUCTION STAKING.
- THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. THE PROJECT ENGINEER ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THE DELINEATION OF SUCH UNDERGROUND UTILITIES, OR THE EXISTENCE OF OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY EXACT LOCATIONS OF EXISTING UTILITIES PRIOR TO THE START OF ANY PROJECT CONSTRUCTION. ANY LOCATION WHICH MAY POSE A CONFLICT WITH THE PROPOSED CONSTRUCTION MUST BE REPORTED TO THE PROJECT ENGINEER PRIOR TO THE START OF ANY PROJECT CONSTRUCTION.
- THE CONTRACTOR SHALL CALL DIG LINE (800-342-1585) TO LOCATE ALL EXISTING UTILITIES AT LEAST THREE (3) DAYS PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO THE START OF PROJECT CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN A PERMIT TO EXCAVATE IN PUBLIC RIGHT OF WAY, FROM THE VALLEY COUNTY PRIOR TO THE START OF PROJECT CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL ASSOCIATED WITH THE PROJECT AND SHALL DEVELOP/SUBMIT A PLAN TO THE PROJECT ENGINEER FOR APPROVAL PRIOR TO THE START OR PROJECT CONSTRUCTION. PLAN TO BE IN ACCORDANCE WITH MUTCD, VALLEY COUNTY AND PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL MAINTAIN TRAFFIC ACCESS AT THE END OF EACH DAY AND PROVIDE DETOURS OR ONE-WAY TRAFFIC DURING CONSTRUCTION. WHEN CONSTRUCTION TECHNIQUES ALLOW, CONTRACTOR SHALL PROVIDE ACCESS THROUGH THE CONSTRUCTION ZONE TO PRIVATE PROPERTIES.
- CONTRACTOR SHALL SECURE A SHORT TERM ACTIVITY EXEMPTION FROM THE IDAHO DEPARTMENT OF ENVIRONMENTAL QUALITY (IDEQ) PRIOR TO THE START OF PROJECT CONSTRUCTION. IF TRENCH DEWATERING IS REQUIRED, CONTRACTOR SHALL SUBMIT A DEWATERING PLAN TO THE PROJECT ENGINEER PRIOR TO COMMENCEMENT OF DEWATERING OPERATIONS.
- DURING SERVICE CONNECTIONS, GROUNDWATER LEVELS SHALL BE MAINTAINED ONE (1') FOOT OR MORE BELOW PIPE INVERTS PER ISPMC. ONCE DEWATERING OPERATIONS CEASE, CONTRACTOR SHALL CLEAN AND RESTORE TO THEIR ORIGINAL STATE ANY DITCHES OR STORMDRAIN FACILITIES THAT ARE SILTED DUE TO THEIR DEWATERING EFFORTS.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING MONUMENTS, SURVEY MARKERS, STREET SIGNS, UTILITIES, IRRIGATION LINES, PAVEMENT, TREES, FENCES, AND ANY OTHER IMPORTANT OBJECTS ON/ADJACENT TO THE JOB SITE FROM DAMAGE AND REPAIR OR REPLACE DAMAGED FACILITIES AS REQUIRED BY THE OWNER AND THE PROJECT ENGINEER.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE STARTING WORK AND SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES.
- ANY CHANGES TO THE DESIGN AS SHOWN IN THESE CONSTRUCTION DRAWINGS MUST BE REVIEWED AND APPROVED BY THE PROJECT ENGINEER BEFORE CHANGES ARE MADE. THIS INCLUDES CHANGES REQUESTED BY THE OWNER AND SUBCONTRACTORS.
- CONTRACTOR SHALL PROVIDE THE PROJECT ENGINEER WITH ONE COPY OF REDLINED AS-BUILT DRAWINGS PRIOR TO PROJECT ACCEPTANCE IF DEEMED NECESSARY.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL WORK CONSTRUCTED BY THEIR WORK CREWS UNTIL THE WORK IS ACCEPTED BY THE OWNER FOR CONTINUOUS OPERATION AND MAINTENANCE.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE SAFETY LAWS OF ANY JURISDICTIONAL BODY INCLUDING, BUT NOT LIMITED TO, SAFE WORKING PRACTICES WITHIN AND AROUND THE CONSTRUCTION AREA. IN ADDITION, JURISDICTIONAL AGENCIES, THE OWNER, AND THE PROJECT ENGINEER SHALL NOT BE RESPONSIBLE FOR ENFORCING SAFETY REGULATIONS.
- THE CONTRACTOR IS TO OBTAIN ALL APPLICABLE PERMITS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ANY EXCESS ONSITE MATERIALS AS NECESSARY TO COMPLETE THE PROJECT.
- IF ANY ITEMS OF SUSPECTED HISTORICAL OR ARCHAEOLOGICAL VALUE ARE DISCOVERED DURING CONSTRUCTION, THE CONTRACTOR WILL BE REQUIRED TO STOP WORK AND CONTACT THE OWNER, PROJECT ENGINEER, AS WELL AS THE STATE HISTORICAL PRESERVATION OFFICE.
- IF DURING CONSTRUCTION OF THE PROJECT, AN UNDERGROUND STORAGE TANK, BURIED DRUM, OTHER CONTAINER, CONTAMINATED SOIL, OR DEBRIS NOT SCHEDULED FOR REMOVAL UNDER THE CONTRACT IS DISCOVERED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND THE PROJECT ENGINEER. NO ATTEMPT SHALL BE MADE TO EXCAVATE, OPEN, OR REMOVE SUCH MATERIAL WITHOUT WRITTEN APPROVAL.

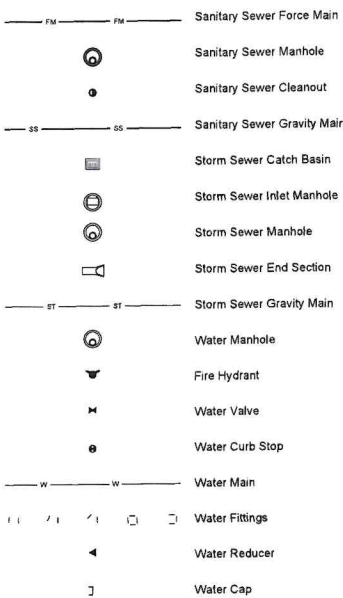
ROADWAY NOTES

- ALL ROADWAY CONSTRUCTION & WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL MEET THE MINIMUM REQUIREMENTS OF THE VALLEY COUNTY AND THE 2020 I.S.P.W.C.
- WHEN DISCREPANCIES OCCUR BETWEEN PLANS AND SPECIFICATIONS AND INFORMATION IN THE FIELD, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND VALLEY COUNTY. UNTIMELY NOTIFICATIONS SHALL NEGATE ANY CONTRACTORS' CLAIM FOR ADDITIONAL COMPENSATION.
- ALL TOPS OF VALVE BOXES AND SEWER MANHOLES SHALL BE SET FLUSH WITH THE SLOPE OF THE FINISHED GRADE OF THE STREET. THE ROADWAY CONTRACTOR SHALL INSTALL AND ADJUST ALL SPACER, GRADE RINGS, MANHOLE RINGS AND LIDS, AND CONCRETE COLLARS. CONCRETE COLLARS SHALL MEET I.S.P.W.C. STANDARD DWG NOS. SD 406 AND SD 508. THE CONTRACTOR SHALL NOTIFY VALLEY COUNTY 24-HOURS PRIOR TO POURING CONCRETE COLLARS.
- ALL WORK SHALL BE INSPECTED IN ACCORDANCE WITH THE 2020 I.S.P.W.C. AND VALLEY COUNTY STANDARD CONSTRUCTION SPECIFICATIONS.
- TRENCH REPAIRS IN PUBLIC ROADS AND PAVED ALLEYS SHALL MEET THE I.S.P.W.C. AND VALLEY COUNTY SUPPLEMENTAL SPECIFICATIONS.
- WHEN CONNECTING TO EXISTING ASPHALT, THE CONTRACTOR SHALL SAW CUT 2.0 FT. MINIMUM FROM THE EXISTING EDGE OF PAVEMENT OR AS REQUIRED BY VALLEY COUNTY TO PROVIDE A DECENT EDGE TO BIND NEW ASPHALT TO.

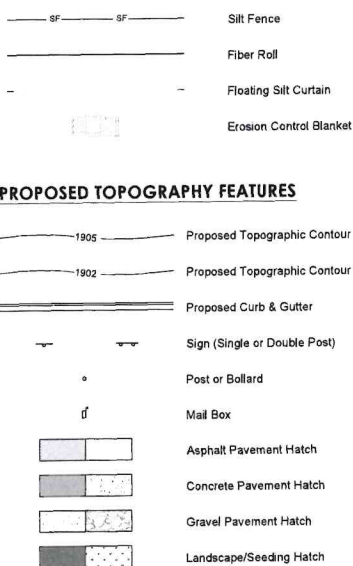
GRADING, DRAINAGE, AND EROSION CONTROL NOTES:

- ANY DISTURBED SOILS SHALL BE RECOMPACTED OR REMOVED AND REPLACED WITH CONTROLLED, COMPACTED FILL. LOOSE LIFT THICKNESS SHALL NOT EXCEED SIX (6) INCHES. FILL SHALL BE COMPACTED TO AT LEAST 98% OF ASTM D698 (STANDARD PROCTOR) WITHIN -3% TO +3% OF OPTIMUM MOISTURE CONTENT. COMPACTION IN TRENCHES SHALL BE OBTAINED USING A VIBRATORY SHEEPS FOOT COMPACTOR.
- SUBGRADE PREPARATION SHALL BE PERFORMED BENEATH ALL PROPOSED PAVEMENTS. THE SOIL SHALL BE SCARIFIED TO A DEPTH OF 12" BELOW SUBGRADE AND RECOMPACTED TO AT LEAST 98% OF ASTM D698 (STANDARD PROCTOR) WITHIN -3% TO +3% OF OPTIMUM MOISTURE CONTENT.
- ALL TOPSOIL IN CONSTRUCTION AREAS SHALL BE STRIPPED AND SEPARATED FROM OTHER INORGANIC SOIL MATERIALS. THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT THE MIXING OF TOPSOIL WITH OTHER MATERIALS. THE TOPSOIL SHALL BE RESPREAD TO A DEPTH OF AT LEAST SIX (6) INCHES. REFER TO NOTE 7 FOR SEEDING REQUIREMENTS.
- EXCESS MATERIAL (TOPSOIL/CLAY/GRAVEL, ETC.) SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF SITE.
- CONTRACTOR SHALL PLACE EROSION CONTROLS AS NECESSARY DURING CONSTRUCTION. FINAL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED WITHIN 30 DAYS OF COMPLETING UNDERGROUND UTILITY CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN SITE AND SHALL CORRECT ANY EROSION ISSUES IMMEDIATELY.
- SEEDING TYPE, LOCATION, AND APPLICATION RATES SHALL BE PER THE ISPMC. CONTRACTOR SHALL ONLY SEED BETWEEN MAY 1 AND JUNE 15 OR SEPTEMBER 1 TO OCTOBER 15.
- CONTRACTOR SHALL WARRANTY SEEDING UNTIL VEGETATION IS ESTABLISHED AT A RATE OF NOT LESS THAN 80% COVERAGE.

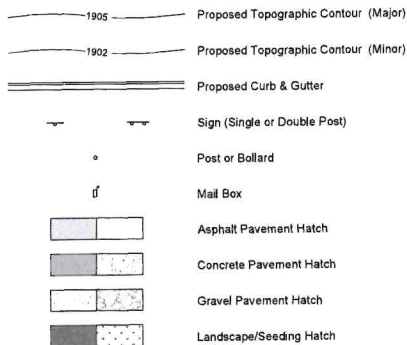
PROPOSED UTILITIES



PROPOSED EROSION CONTROL



PROPOSED TOPOGRAPHY FEATURES



NOTE:

THIS IS A GENERAL LIST OF SYMBOLS, LINES AND ABBREVIATIONS. NOT ALL ARE USED ON THIS PROJECT AND SOME MAY NOT BE SHOWN.

GENERAL ABBREVIATIONS

A/C	-Air Conditioning	NC	-Normally Closed
ARV	-Air Release Valve	NG	-Natural Gas
ASME	-American Society Of Mechanical Engineers	NO	-Normally Open
ASTM	-American Society Of Testing Materials	NPS	-Nominal Pipe Size
AVAR	-Air Vacuum And Air Release	NPT	-National Pipe Thread
		NTS	-Not To Scale
BF	-Blind Flange	OC	-On Center
BFP	-Backflow Preventer	OD	-Outside Diameter
BLDG	-Building	OF	-Overflow
BFV	-Butterfly Valve		
CB	-Catch Basin	P	-Pump
CF	-Cubic Foot	PG	-Pressure Gauge
CFS	-Cubic Feet Per Second	PI	-Point Of Intersection
CI	-Cast Iron	PRV	-Pressure Reducing Valve
CJ	-Construction Joint	PSI	-Pounds Per Square Inch
CL	-Centerline	PVC	-Polyvinyl Chloride
CLR	-Clear	QTY	-Quantity
CMP	-Corrugated Metal Pipe	R	-Rebar
CMU	-Concrete Masonry Unit	RCP	-Reinforced Concrete Pipe
CO	-Cleanout	RED	-Reducer
CONC	-Concrete	RJ	-Restrained Joint
CPLG	-Coupling		
CU	-Cubic		
CV	-Check Valve		
CY	-Cubic Yard		
DTL	-Detail	S	-Slope
DI	-Ductile Iron	SF	-Silt Fence
DIA	-Diameter	SHT	-Sheet
DIM	-Dimension	SIM	-Similar
DIP	-Ductile Iron Pipe	SPECS	-Specifications
DR	-Drain	SS	-Sanitary Sewer
DWG	-Drawing	SSMH	-Sanitary Sewer Manhole
EX	-Existing	ST	-Storm Sewer
ECC	-Eccentric	STA	-Station
EL	-Elevation	STD	-Standard
EP	-Edge Of Pavement	STL	-Steel
EJ	-Expansion Joint	STMH	-Storm Sewer Manhole
FCO	-Floor Clean Out	TBC	-Top Back Curb
FD	-Floor Drain	TEMP	-Temporary
FF	-Finish Floor	T&G	-Tongue And Groove
FG	-Finish Grade	TK	-Tank
FH	-Fire Hydrant	TOC	-Top Of Concrete
FL	-Flanged	TOG	-Top Of Grout
FT	-Feet	TOW	-Top Of Wall
FM	-Force Main	TYP	-Typical
GAL	-Gallon	U	-U Post
GL	-Glass	UV	-Ultra Violet
GPM	-Gallons Per Minute		
GV	-Gate Valve	VERT	-Vertical
GYP	-Gypsum	VCP	-Vitrified Clay Pipe
H/B	-Hose Bibb	W	-Water
HP	-Horsepower	W/	-With
HVAC	-Heating And Air Conditioning	W/O	-Without
HWL	-High Water Level	WS	-Water Surface
		WSP	-Welded Steel Pipe
ID	-Inside Diameter	X	-Chisel 'X'
IM	-Iron Monument		
IN	-Inch	Y	-Yard
INV	-Invert Elevation	YR	-Year
IP	-Iron Pin		
JT	-Joint	ZON	-Zoning
M	-Meter		
MFR	-Manufacturer		
MGD	-Million Gallons Per Day		
MH	-Manhole		
MISC	-Miscellaneous		
MJ	-Mechanical Joint		
MTR	-Motor		



VICINITY MAP

SCALE: 1" = 500'



Lake Fork Village - Mixed Use
4 Pleasant Acres Drive

Lake Fork, Idaho 83686

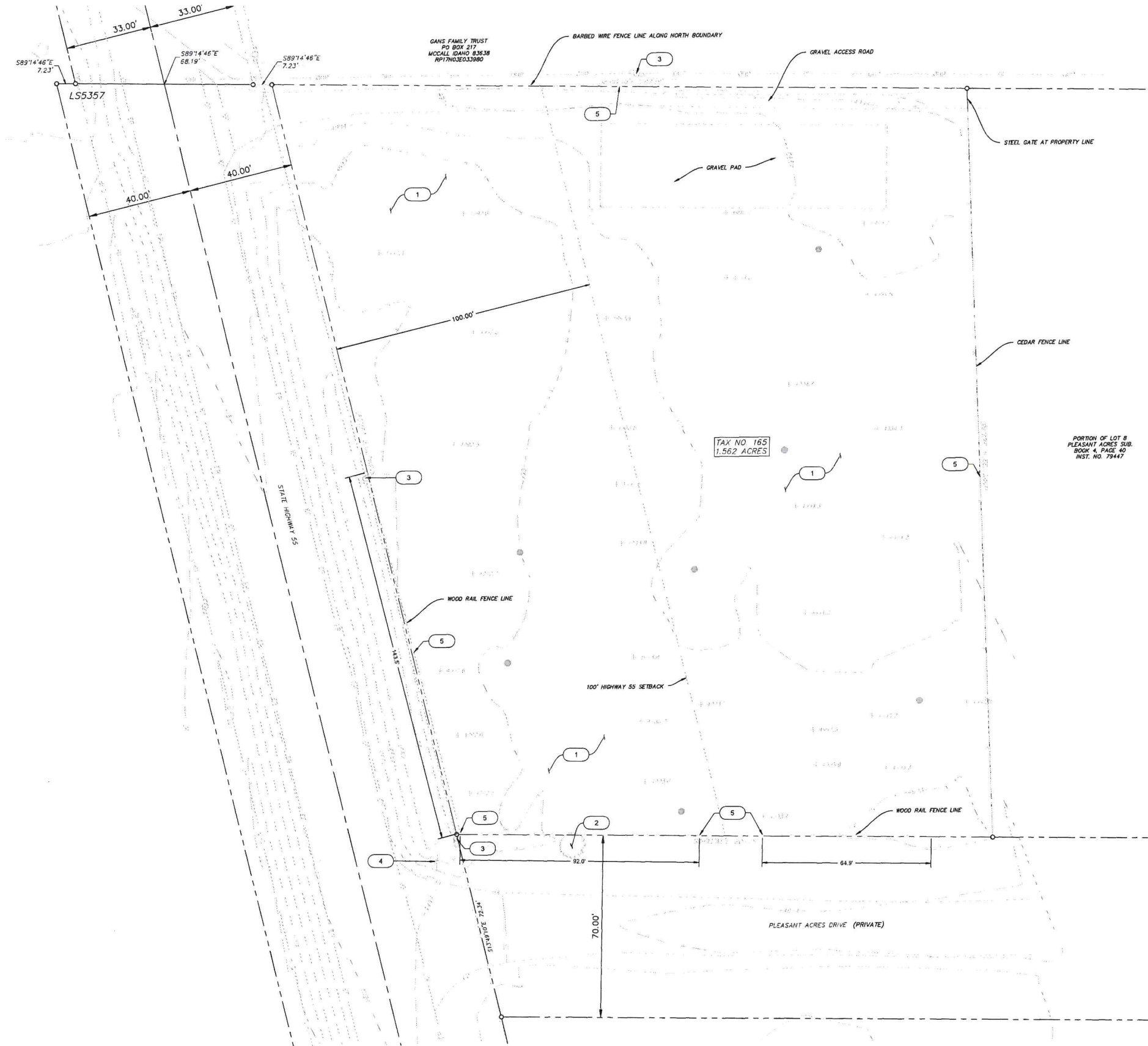
Valley County

ACKERMAN
ESTVOLD
7661 West Riverside Drive, Ste. 102 · Garden City, ID 83714
208.853.6470 · www.ackerman-estvold.com
Idaho, ND · Fargo, ND · Williston, ND · Boise, ID

SCALE (H) PER PLAN
SCALE (V) PER PLAN
DRAWN BY TRA
DESIGNED BY TRA
CHECKED BY: AMC
DATE: 9/4/25

PROJECT NO.
R25098
DRAWING NAME
NOTES & LEGEND

C1.0



Graphic Scale:
Attention is Drawn to the Fact That Drawing
Scales May be Altered During Reproduction
Processes. Scales Shown Herein are Based
on a Full Scale Sheet Size of 24" x 36".
Scale: 1" = 20'

BASIS OF BEARING
HORIZONTAL DATUM BASED ON IDAHO STATE
PLANE, IDAHO WEST ZONE 1103. DISTANCES
ARE GROUND DISTANCES AND ARE IN U.S.
SURVEY FEET. VERTICAL DATUM IS NAVD88,
GEOID. 18.

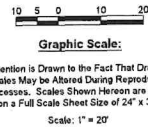
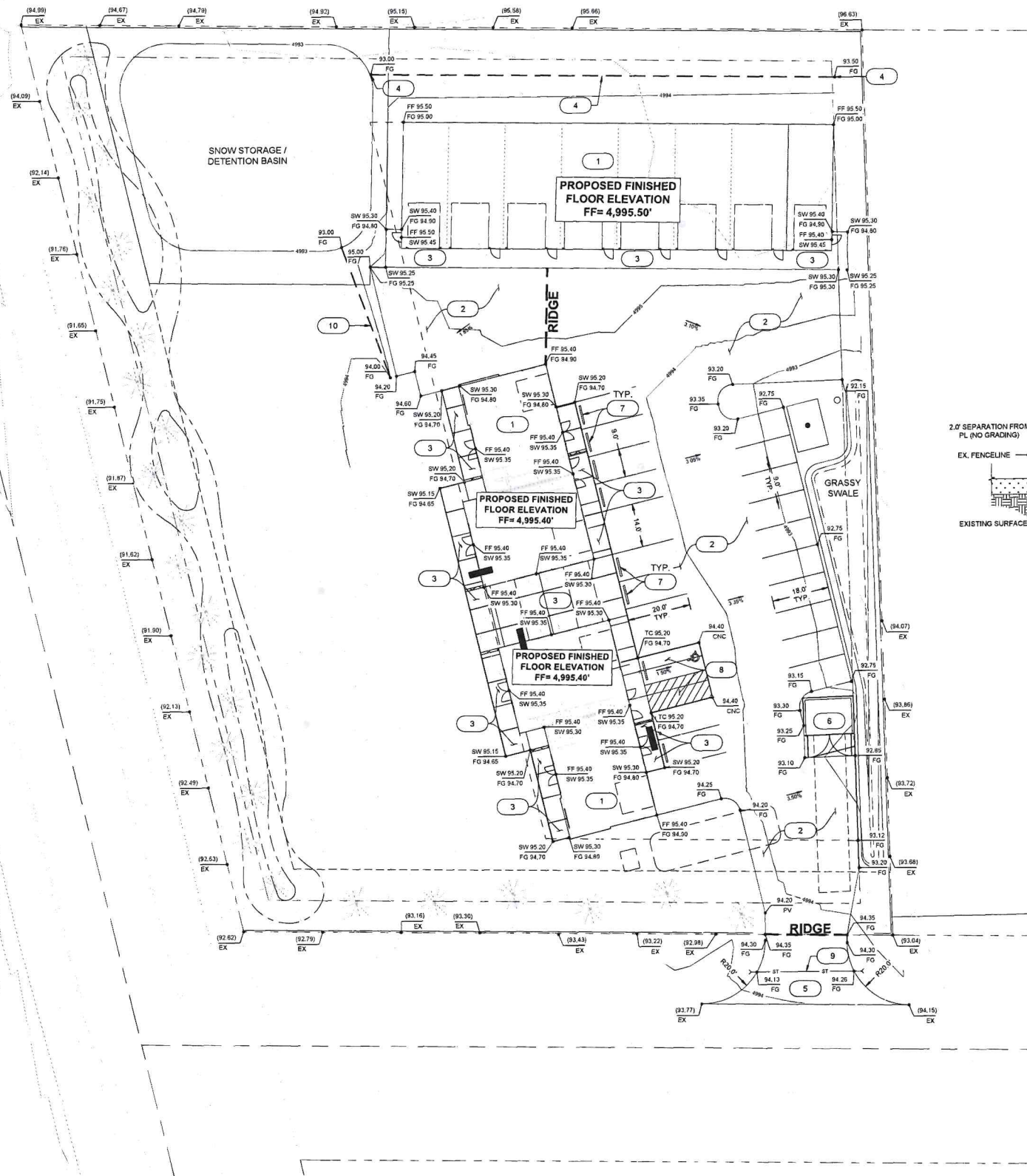
- LEGEND**
- BOUNDARY LINE
 - EXISTING LOT LINE
 - CENTERLINE
 - GRAVEL EDGE
 - EP EDGE OF PAVEMENT
 - OHP OVERHEAD POWER LINE
 - T OVERHEAD TELEPHONE LINE
 - POWER OR UTILITY POLE
 - SEPTIC GROUND MONITORING PIPE
 - SIGN
 - DECIDUOUS TREE
 - FOUND 1/2" REBAR

- GENERAL NOTES**
- ALL UTILITIES SHALL BE PROTECTED IN PLACE UNLESS OTHERWISE NOTED ON THIS PLAN. UPON COMPLETION OF CONSTRUCTION, ACCESS TO THE FOLLOWING STRUCTURES SHALL NOT BE HINDERED.
 - THE CONTRACTOR SHALL TAKE EVERY PRECAUTION TO PRESERVE AND PROTECT EXISTING FACILITIES NOT SCHEDULED FOR REMOVAL AND COORDINATE WITH THE PROJECT ENGINEER IF UNEXPECTED FACILITIES ARE ENCOUNTERED.
 - THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. ACTUAL LOCATIONS MAY VARY. CALL IDAHO DIGLINE AT 811 OR 1-800-342-1585 PRIOR TO ANY EXCAVATION OR DIGGING ACTIVITIES.
 - THIS TOPOGRAPHIC SURVEY DOES NOT NECESSARILY SHOW ALL OF THE PHYSICAL FEATURES OF THE PROPERTY AND THE PROPERTY IS SUBJECT TO ALL EASEMENTS, RIGHTS, RIGHTS-OF-WAY AND ALL OTHER ENCUMBRANCES OF RECORD OR IMPLIED.

- DEMOLITION PLAN KEY NOTES**
- CLEARING AND GRUBBING SHALL BE COMPLETED IN SUCH A MANNER AS TO MINIMIZE DISTURBANCE TO SURROUNDING VEGETATION AND SOIL NOT DESIGNATED FOR REMOVAL. GRUBBED AREAS SHALL BE PROPERLY GRADED AND STABILIZED TO PREVENT EROSION UNTIL FURTHER CONSTRUCTION ACTIVITIES COMMENCE.
 - RETAIN, PROTECT, AND PRESERVE EXISTING TREE WHERE POSSIBLE. ANY TREE DAMAGED/DESTROYED/REMOVED DURING CONSTRUCTION SHALL BE REPLACED/MITIGATED IN ACCORDANCE WITH APPLICABLE REGULATIONS.
 - RETAIN AND PROTECT EXISTING POWER POLES. COORDINATE WITH IDAHO POWER FOR ANY NECESSARY ADJUSTMENTS.
 - RETAIN AND PROTECT EXISTING SIGN. IF SIGN NEEDS TO BE ADJUSTED OR RELOCATED, COORDINATE WITH THE IDAHO TRANSPORTATION DEPARTMENT (ITD) BEFOREHAND.
 - RETAIN AND PROTECT EXISTING FENCE LINE. ANY DAMAGE TO THE EXISTING FENCE LINE SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.



ACKERMAN ESTVOLD		7661 West Riverside Drive, Ste. 102 · Garden City, ID 83714 208.853.6470 · www.ackerman-estvold.com Minot, ND Fargo, ND Williston, ND Boise, ID	
SCALE (H): PER PLAN SCALE (V): PER PLAN	DRAWN BY: TRA DESIGNED BY: TRA CHECKED BY: AMC	DATE: 9/4/25	Valley County
Lake Fork Village - Mixed Use		PROJECT NO. R25098	
4 Pleasant Acres Drive		DRAWING NAME DEMOLITION PLAN	
Lake Fork, Idaho 83686		C2.0	



GENERAL NOTES

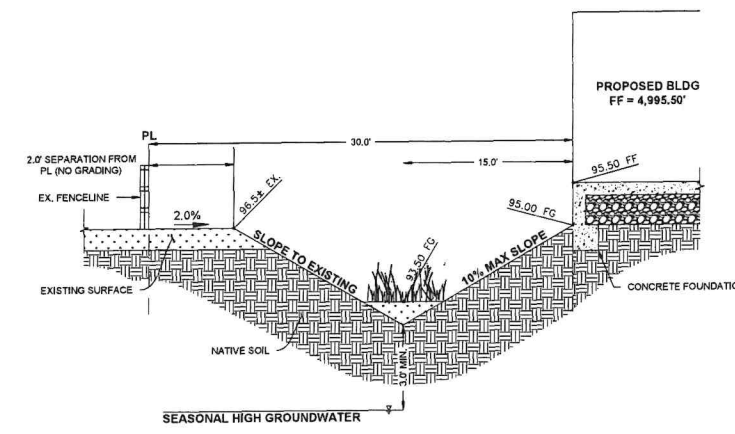
1. ALL ACCESSIBLE PARKING STALLS SHALL MAINTAIN A CROSS SLOPE LESS THAN 2% IN ANY DIRECTION. ALL ACCESSIBLE PATHS OF TRAVEL SHALL MAINTAIN A CROSS SLOPE LESS THAN 2% AND A LONGITUDINAL SLOPE LESS THAN 5%.
2. NO GRADING IS PERMITTED ACROSS PROPERTY LINES OR WITHIN TWO (2) FEET OF PROPERTY LINES. ALL SITE GRADING IS TO BE CONTAINED WITHIN THE DESIGNATED LIMITS TO AVOID ENCROACHMENT ON ADJACENT PROPERTIES.

GRADING PLAN KEY NOTES

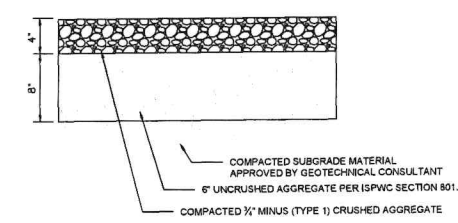
1. PROPOSED BUILDING LAYOUT. REFER TO ARCHITECTURAL PLANS FOR MORE DETAILS.
2. CONSTRUCT COMPACTED GRAVEL DRIVE PER TYPICAL PAVEMENT SECTION BELOW. REFER TO GEOTECHNICAL REPORT FOR MORE INFORMATION.
3. CONSTRUCT CONCRETE SIDEWALK PER ISPGW STANDARD DRAWING SD-709. TYPICAL CONCRETE SECTION BELOW. REFER TO GEOTECHNICAL REPORT FOR MORE INFORMATION.
4. CONSTRUCT A SHALLOW, LOW-LYING SWALE WITHIN THE PROPOSED LANDSCAPE. CONTRACTOR SHALL GRADE THE GROUND SURFACE TO SLOPE AWAY FROM THE PROPOSED BUILDING @ MIN. 10% SLOPE FOR 15 FEET, AND THEN GRADE TO THE EXISTING SURFACE TOWARD THE PROPERTY LINE.
5. CONSTRUCT RURAL DRIVEWAY APPROACH PER VALLEY COUNTY FIGURE 200 FOR DRIVEWAYS.
6. TRASH ENCLOSURE PER ARCHITECTURAL PLANS.
7. INSTALL CONCRETE WHEEL STOP.
8. INSTALL ADA CONCRETE PARKING. USE TYPICAL CONCRETE SECTION BELOW. SLOPE MIN. 1.0% TO DRAIN AWAY FROM FOUNDATION. PROVIDE CONTROL JOINTS AT MAX. 10' O.C. AND MOVEMENT JOINTS AT FOUNDATION PERIMETER.
9. INSTALL 15' DRIVEWAY CULVERT PER VALLEY COUNTY FIGURE 200 (PRIVATE/PUBLIC STANDARDS). REFER TO SHEET C4.0 FOR MORE INFORMATION.
10. CONSTRUCT A SHALLOW, LOW-LYING SWALE WITHIN THE PROPOSED LANDSCAPE. CONTRACTOR SHALL GRADE THE GROUND SURFACE TO SLOPE AWAY FROM THE GRAVEL ROADWAY @ MIN. 10% SLOPE FOR 2 FEET.

NOTES:

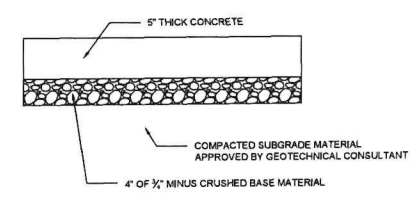
- IF FILL MATERIALS REMAIN AFTER OVER-EXCAVATION, THE EXPOSED SUBGRADE MUST BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698.
- CRUSHED AGGREGATE BASE COUSE SHALL MEET THE GRADING AND QUALITY REQUIREMENTS OF ITD 2018 STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, SECTION 703.04.
- SOILS CONTAINING ROOTS OR ORGANIC MATERIALS SHALL BE COMPLETELY REMOVED FROM THE PROPOSED PAVED AREAS PRIOR TO SUBGRADE CONSTRUCTION.
- REINFORCING REQUIREMENTS FOR CONCRETE PAVING SECTIONS SHALL INCLUDE #4 BARS @ 18-INCHES O/C.E.W.



CATCH SWALE DETAIL
N.T.S.



PAVEMENT SECTION
(PARKING LOT AND PRIVATE DRIVES)



NOTES:

- GEOTECHNICAL CONSULTANT TO VERIFY SUBGRADE COMPETENCY AT TIME OF CONSTRUCTION

CONCRETE SECTION

ACKERMAN ESTVOLD
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Lake Fork Village - Mixed Use
4 Pleasant Acres Drive

Valley County

Lake Fork, Idaho 83686



PROJECT NO.	R25098
DRAWING NAME	GRADING PLAN
C3.0	

No.	Revisions	By	Date	Appr.

