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Andrew Wheeler
Andrew@thelandarchitect.com
January 12, 2026

RE: Letter of Explanation for Vickery Court, Preliminary Plat
Valley County Planning & Zoning
700 S. Main Street
Cascade, ID 83611

Dear County Staff & Commission

On behalf of the property owner, JK Green Holdings LLC, we respectfully submit this Project Description in support of a Preliminary Plat/Conditional Use Permit for the **"Green Acres Subdivision."**

The proposal is for a 6-lot subdivision (4 buildable lots, 2 common lots) on the existing 1.76 acres located at 12850 Vickery Ct. (Parcel #RP16N03E279505). The purpose of the subdivision is to create the opportunity for the landowner to provide future building lots for family members and/or close friends whom wish to enjoy the beauty and interest of Valley County. Due to the number of buildable lots being 4 or less, no neighborhood meeting was required. However, there has not been any known objections to subdividing the subject lot received by the Applicant team.

The proposed subdivision is not anticipated to be phased but each lot would be constructed at the pace each lot is desired—not every lot will be constructed immediately. As construction occurs, all required mitigation steps will be taken to minimize construction noise, dust, and any additional potential negative impact to existing neighbors. Each single-family lot is intended to function as a normal single-family lot in this area.

Utilities – The subject development will connect to sewer services and will not utilize individual septic systems. To facilitate this, one of the proposed common lots is planned to contain a sewer lift station to pump sewer up Vickery Ct. and into existing infrastructure in Westwind Lane to the north. Water will be available via individual wells for each building lot.

Access – Access to each building lot is proposed via a new private drive, Green Acres Drive, that connects to Vickery Ct. at its southern terminus. Because of the additional sewer infrastructure proposed with this development, Vickery Ct. is proposed to be further improved for safer and more efficient access from the subject site up to Westwind Lane with new grading and road base to a requested 28' driving surface width.

We appreciate the County's thoughtful review of this proposal. The Green Acres Subdivision represents a meaningful and thoughtful project aimed at improving residential opportunity to a heavily sought area while maintaining existing neighborhood character. We look forward to further discussing this project and should any additional documentation be needed, please do not hesitate to contact us.

Sincerely,

Andrew Wheeler, The Land Architect
&
Joseph Dodson, AICP

www.thelandarchitect.com | 855-787-6636

www.thelandarchitect.com
855-787-6636

Valley County Planning and Zoning Department

219 N. Main
 PO Box 1350
 Cascade, ID 83611
www.co.valley.id.us
cherrick@co.valley.id.us
 208-382-7115



Subdivision Application

Includes Conditional Use Permit

TO BE COMPLETED BY THE PLANNING AND ZONING DEPARTMENT		<input checked="" type="checkbox"/> Check # <u> </u> or <input type="checkbox"/> Cash or <input type="checkbox"/> Card
FILE # SUB 26-004		FEE \$ <u>800.00</u>
ACCEPTED BY _____		DEPOSIT <u>\$1000.00</u>
CROSS REFERENCE FILE(S): _____		DATE _____
<input type="checkbox"/> ADMINISTRATIVE PLAT	COMMENTS: <u>4 buildable SF lots; 2 common lots</u>	
<input type="checkbox"/> SHORT PLAT	_____	
<input checked="" type="checkbox"/> FULL PLAT	_____	

When an application has been submitted, it will be reviewed in order to determine compliance with application requirements. A hearing date will be scheduled only after an application has been accepted as complete.

Applicant's Signature: Andrew R. Wheeler Date: 02/23/26

The following must be completed and submitted with the conditional use permit application:

- N/A Neighborhood Meeting Information and results if 5 or more lots. VCC 9-5H-1.D
 - A preliminary plat containing all of the necessary requirements according to the Valley County Subdivision Regulations, Title 10.
- N/A A phasing plan and construction timeline.
 - One 8½ x 11" – 300 scale drawing of the proposed subdivision showing only the street names and lots.
 - A plot plan, drawn to scale, showing existing utilities, streets, easements, ditches, and buildings.
- N/A A landscaping plan, drawn to scale, showing elements such as trees, shrubs, ground covers, and vines. Include a plant list, indicating the size, quantity, location, and name (both botanical and common) of all plant material to be used.
 - A site grading plan clearly showing the existing site topography and detailing the best management practices for surface water management, siltation, sedimentation, and blowing of dirt and debris caused by grading, excavation, open cuts, side slopes, and other site preparation and development.
- N/A A lighting plan.
 - A Wildfire Mitigation Plan.
 - Names and mailing addresses of property owners within 300 feet of the property boundary. Information can be obtained through the Valley County GIS maps. Only one list is required.
 - Ten (10) copies of the application and additional materials are required.**

We recommend you review Title 9 and Title 10 of the Valley County Code online at www.co.valley.id.us/planning-zoning or at the Planning and Zoning Office, 219 North Main, Cascade, Idaho.

Subject to Idaho Statute 55-22 Underground Facilities Damage Prevention.

Submittal List for Preliminary Plats

Not a Complete List. Applications are site specific. See Title 10 of Valley County Code for Complete Details

- Neighborhood Meeting – Required for proposed subdivision with 5 or more lots. VCC 9-5H-1.D
- CUP/Preliminary Plat Application Form
- Preliminary Plat (VCC 10-3-2-3 Contents of Preliminary Plat)
- Notes on Face of Plat (not a complete list):
 - Private Road Declaration _____ (If private roads proposed.)
 - Declaration of Installation of Utilities _____
 - All lighting must be dark sky compliant.
 - Only one wood burning device per lot.
 - The Valley County Board of Commissioners have the sole discretion to set the level of service for any public road; the level of service can be changed.
 - Surrounding Land Uses Are Subject to Change
- A plot plan, drawn to scale, showing:
 - existing utilities, streets, easements, buildings,
 - all watercourses, including ditches, high water elevation, & known Base Flood Elevations (BFE)
 - any significant natural features (e.g., rock outcroppings, marshes, or wooded areas)
 - wetland delineation (may be required)
 - Soil profiles and water table data when property has potential for high groundwater
 - location of existing and proposed sewers, water mains, culverts, drainpipes, and electric conduits or lines proposed to service the property to be subdivided,
 - and the location of adjacent streets or existing structures that would affect the proposed improvement program, including pathways.
- N/A *[Commercial Subdivision]* A landscaping plan, drawn to scale, showing elements such as trees, shrubs, ground covers, and vines. Include a plant list, indicating the size, quantity, location, and name (both botanical and common) of all plant material to be used.
- [Prior to any Construction - Can be a condition of approval]*. A site grading / storm water management plan detailing the best management practices for surface water management, siltation, sedimentation, and blowing of dirt and debris caused by grading, excavation, open cuts, side slopes, and other site preparation and development.
- [Administrative Request]* Existing site topography (contours with intervals of 5-ft or less)
- A phasing plan and construction timeline.
- A Wildland Urban Interface Fire Protection Plan (VCC 10-7)
- N/A Draft CCRs may be included or may be submitted with final plat package.
- Well logs of wells located in surrounding contiguous property.
- A current title search report of the property from a licensed title company (1 copy only)
- N/A Include written request of any variances (e.g., road width, length of cul-de-sac) and reasons why request is made.
- N/A Names and mailing addresses of property owners within 300 feet of the property boundary. Information can be obtained through the Valley County GIS maps. (1 copy only)
- Ten (10) copies of the application and additional materials are required, unless otherwise specified. (3 Full size plats and 7 – 11"x17")
- One 8½ x 11" – 300 scale drawing of the proposed subdivision

Submittal List for Final Plats to PZ Commission

- Transmittal Letter (7 Copies of Letter and Attachments, can be double-sided)
 - Describing Request
 - Statement that “Final Plat Substantially Complies with Approved Preliminary Plat”
 - Description of Financial Guarantees that Will Be Put in Place, if applicable
 - Implementation of Wildland Urban Interface Fire Protection Plan and/or Financial Guarantee
- List of Conditions of Approval from recorded C.U.P. and how each has been completed (7 copies)
- Final Plat – VCC 10-3-3-2
 - 3 copies of 18” x 24”, including signature page
 - 10 copies of 11” x 17”, including signature page
 - Lot and Subdivision Closure Sheets (2 copies)
 - List of Proposed Road Names
 - Declaration of Private Road – Draft version
 - Declaration of Utilities – Draft version
 - CCRs if proposed – Draft Version. Include the following if relevant:
 - Septic maintenance
 - Long-term maintenance of Wildland Urban Interface Fire Protection Plan
 - 1 wood-burning device per lot
 - Dark-Sky lighting compliance
 - Noxious Weed Control
 - Address posting on home and at driveway entrance
 - Approved Site Grading/Storm Water Management from Valley County Engineer
 - Wetland Delineation or Letter of Map Revision (if required)
 - Floodplain Determination Note

Plat Process

- Pre-Application Conference (Recommended):** Put on Notice Concerning Sewer/Septic Challenges and other issues such as....Hydrologist Report for Well Logs, Private Road Declaration, Declaration of Installation of Utilities, CCRs, Site Grading Plan, Topographic Map, Landscaping Plan, Lighting Plan, Fire Protection Plan (Fire Districts), Construction Plan, Central District Health Response (Must make application to CDH), Wetland Delineation, Idaho Power, Development Agreement – Must meet with Dan Counce, Valley County Engineer (208-382-7195)
- Submit Application:** Staff will review, place on agenda, and notice. Staff prepares a Staff Report.
- Public Hearing:** PZ Commission approves the conditional use permit and preliminary plat with conditions of approval.
- Construction or Financial Guarantees:** After CUP/preliminary plat approval and compliance with conditions of approval, the developer can start construction of the project. However, the developer may choose to financially guarantee the improvements prior to going to Board of County Commissioners.
- Final Plat – P&Z Commission:** Developer submits final plat information 30 days before public meeting. Include CCRs, Private Road Declaration, etc. The final plat must substantially comply with the approved preliminary plat.
- Development Agreement – Board of County Commissioners**
- Final Plat – Board of County Commissioners:** Developer submits plat and other documents that will be recorded. Prior to approval by the Board of County Commissioners, financial sureties must be in place. After approval of the Board, the plat can be recorded.

Valley County Planning and Zoning Department

219 N. Main
 PO Box 1350
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 208-382-7115



Subdivision Application

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TO BE COMPLETED BY THE PLANNING AND ZONING DEPARTMENT		<input type="checkbox"/> Check # _____ or <input type="checkbox"/> Cash or <input type="checkbox"/> Card
FILE # SUB <u>26-003 Green Acres</u>		FEE \$ <u>800 -</u>
ACCEPTED BY _____		DEPOSIT <u>1000 -</u>
CROSS REFERENCE FILE(S): _____		DATE _____
<input type="checkbox"/> ADMINISTRATIVE PLAT	COMMENTS: _____	
<input type="checkbox"/> SHORT PLAT	_____	
<input checked="" type="checkbox"/> FULL PLAT	_____	

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Applicant's Signature: _____ **Date:** _____

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- N/A A landscaping plan, drawn to scale, showing elements such as trees, shrubs, ground covers, and vines. Include a plant list, indicating the size, quantity, location, and name (both botanical and common) of all plant material to be used.
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Subject to Idaho Statute 55-22 Underground Facilities Damage Prevention.

CONTACT INFORMATION

PROPOSED SUBDIVISION NAME: Green Acres Subdivision

APPLICANT Andrew Wheeler **PHONE** 855-787-6636

Owner Option Holder Contract Holder

MAILING ADDRESS 9201 W. State St. Ste. 102 Boise, ID 83714 **ZIP** 83714

EMAIL support@thelandarchitect.com

PROPERTY OWNER Josh Green

(if not the applicant)

MAILING ADDRESS 3566 East 1830 South, Heber UT **ZIP** 83042

EMAIL [REDACTED]

Nature of Owner's Interest in this Development? Bought property to build homes for family members.

AGENT / REPRESENTATIVE Andrew, Wheeler - The Land Architect **PHONE** 855-787-6636

MAILING ADDRESS 9201 W. State St., Ste. 102, Boise, ID **ZIP** 83714

EMAIL support@thelandarchitect.com

ENGINEER Western Consulting Group (WCG)

MAILING ADDRESS 1452 W. Bannock St., Boise, ID **ZIP** 83702

EMAIL TAWNA.BARNES@WCGID.COM **PHONE** 208-391-3715

SURVEYOR HMH Engineering, LLC

MAILING ADDRESS 680 S. Progress Ave, Meridian, ID **ZIP** 83642

EMAIL RHODGE@HMH-LLC.COM **PHONE** 208-342-7957

PROPERTY INFORMATION

- 1. SIZE OF PROPERTY 1.76 Acres
- 2. AMOUNT OF ACREAGE OF ADJACENT LAND HELD BY THIS OWNER approx. 1.24 Acres
- 3. ANY RESTRICTIONS ON THIS PROPERTY? Must show all easements on plat.
 Easements N/A
 Deed Restrictions N/A
 Liens or encumbrances N/A
- 4. LEGAL DESCRIPTION _____
- 5. TAX PARCEL NUMBER(S) RP16N03E279505 & RP16N03E279491

Quarter SE 1/4 of SE 1/4 Section 27 Township 16N Range 3E

6. EXISTING LAND USES AND STRUCTURES ON THE PROPERTY:
Existing land use is vacant; existing structures on property are accessory shed buildings
and will be removed upon development of the subdivision.
-
7. ARE THERE ANY KNOWN HAZARDS ON OR NEAR THE PROPERTY (such as canals, hazardous material spills, soil or water contamination)? If so, describe and give location: None known or observed.
-
8. ADJACENT PROPERTIES HAVE THE FOLLOWING BUILDING TYPES AND/OR USES:
 North Single-family homes
 South BOR land; trails/lake
 East BOR land; trails/lake
 West Single-family homes
- 9a. TYPE OF TERRAIN: Mountainous Rolling Flat Timbered
 9b. DOES ANY PORTION OF THIS PARCEL HAVE SLOPES IN EXCESS OF 15%? Yes No
 9c. DESCRIBE ANY SIGNIFICANT NATURAL RESOURCES SUCH AS ROCK OUTCROPPING, MARSHES, WOODED AREAS: None
-
- 10a. WATER COURSE: None
- 10b. IS ANY PORTION OF THE PROPERTY LOCATED IN A FLOODWAY OR 100-YR FLOODPLAIN?
 (Information can be obtained from the Planning & Zoning Office) Yes No
 10c. ARE THERE WETLANDS LOCATED ON ANY PORTION OF THE PROPERTY? Yes No
 10d. WILL ANY PART OF THE PROPERTY BE SUBJECT TO INUNDATION FROM STORMWATER OVERFLOW OR SPRING MELTING RUN-OFF? no
- 11a. NUMBER OF EXISTING ROADS: 1 Width 70' ROW Public Private
 Are the existing road surfaces paved or graveled? Gravel Paved
 11b. NUMBER OF PROPOSED ROADS: 1 Proposed width: 26
 Will the proposed roads be Public Private
Proposed road construction: Gravel Paved
- 12a. EXISTING UTILITIES ON THE PROPERTY ARE AS FOLLOWS: Power, well, septic
-
- 12b. PROPOSED UTILITIES: Power, wells, sewer (collection, lift station, and connect to North Lake
Sewer system
-
- Proposed utility easement width 12' Locations front of lots

13. SOLID WASTE DISPOSAL METHOD: Individual Septic Central Sewage Treatment Facility
Connect to North Lake Sewer District
14. POTABLE WATER SOURCE: Public Water Association Individual
If individual, has a test well been drilled? _____ Depth _____ Flow _____ Purity Verified? _____
Nearest adjacent well _____ Depth _____ Flow _____
15. ARE THERE ANY EXISTING IRRIGATION SYSTEMS? Yes No
Are you proposing any alterations, improvements, extensions or new construction? Yes No
If yes, explain: _____

16. DRAINAGE (Proposed method of on-site retention): Individual on-site swales
Any special drains? no (Please attach map)
Soil type(s): sandy loam
(Information can be obtained from the Natural Resource Conservation Service: websoilsurvey.nrcs.usda.gov)
17. WILL STREETS AND OTHER REQUIRED IMPROVEMENTS BE CONSTRUCTED PRIOR TO THE RECORDING OF THE FINAL PLAT? _____
If not, indicate the type of surety that will be put up to ensure the construction of the improvements within one (1) year from the date of filing the plat: _____

18. OUTLINE OF PROPOSED RESTRICTIVE COVENANTS:
Setbacks: Front _____ feet Sides _____ feet Rear _____ feet
Mobile homes allowed? Yes No
Minimum construction value _____ Minimum square footage _____
Completion of construction required within _____ Days Months Years
Resubdivision permitted? Yes No
Other _____
19. LAND PROGRAM:
Open Areas and/or Common Areas Yes No
Acreage in subdivision 1.76 Number of lots in subdivision 6 total - 4 buildable,
128' x 93' 2 common
Typical width and depth of lots _____
Typical lot area 1/4 acre or more Minimum lot area 12,031 sf Maximum lot area 15,156 sf
Lineal footage of streets _____ Average street length per lot _____
Percentage of area in streets _____ %
Dedicating road right-of-way to Valley County? Yes No
Percentage of area of development to be public (including easements) _____ %
Maximum street gradient _____
Is subdivision to be completely developed at one time? Yes No - Attach phasing plan and timeline.
20. COMPLETE ATTACHED PLAN FOR IRRIGATION if you have water rights &/or are in an irrigation district.
Submit letter from Irrigation District, if applicable.
21. COMPLETE ATTACHED WEED CONTROL AGREEMENT.
22. COMPLETE ATTACHED IMPACT REPORT. It must address potential environmental, economic, and social impacts and how these impacts are to be minimized.

10. How do you plan to retain storm and excess water on each lot? _____

11. How do you plan to process this storm water and/or excess irrigation water prior to it entering the established drainage system? (i.e. oil, grease, contaminated aggregates)

Irrigation Plan Map Requirements

The irrigation plan **must be on a scalable map** and show all of the irrigation system including all supply and drainage structures and easements. Please include the following information on your map:

- All canals, ditches, and laterals with their respective names.
- Head gate location and/or point of delivery of water to the property by the irrigation entity.
- Pipe location and sizes, if any
- Rise locations and types, if any.
- Easements of all private ditches that supply adjacent properties (i.e. supply ditches and drainage ways).
- Slope of the property in various locations.
- Direction of water flow (use short arrows on your map to indicate water flow direction →).
- Direction of wastewater flow (use long arrows on your map to indicate wastewater direction →).
- Location of drainage ponds or swales, if any where wastewater will be retained on property
- Other information: _____

Also, provide the following documentation:

- Legal description of the property.
- Proof of ownership.
- A written response from the irrigation entity and/or proof of agency notification.
- Copy of any water users' association agreement which shows water schedules and maintenance responsibilities.
- Copy of all new easements ready for recording (irrigation supply and drainage).
- If you are in a city area of impact, please include a copy of the approvals by the city planning and zoning commission and city council of your irrigation plan.

=====Applicant Acknowledgement=====

I, the undersigned, agree that prior to the Planning and Zoning Department accepting this application, I am responsible to have all the required information and site plans.

I further acknowledge that the irrigation system, as approved by the Planning and Zoning Commission and ultimately the Board of County Commissioners, must be bonded and/or installed prior to the recording of the plat or building permit.

Signed: Andrew R. Whaler
Applicant

Date: 01 / 16 / 26



VALLEY COUNTY WEED CONTROL AGREEMENT

It shall be the duty and responsibility of all landowners to control noxious weeds on their land and property, in accordance with Idaho Statute 22-2407.

The purpose of this agreement is to establish a cooperative relationship between Valley County and the undersigned Cooperator to protect the natural and economic values in the Upper Payette River watershed from damages related to the invasion and expansion of infestations of noxious weeds and invasive plants. This is a cooperative effort to prevent, eradicate, contain and control noxious weeds and invasive plants on public and private lands in this area. Factors related to the spread of weeds are not related to ownership nor controllable at agency boundaries. This agreement formalizes the cooperative strategy for management of these weeds addressed in Valley County's Integrated Weed Management Plan.

In this continuing effort to control Noxious Weeds, Valley County Weed Control will consult with the undersigned Cooperator and outline weed identification techniques, present optional control methods and recommend proper land management practices.

The undersigned Cooperator acknowledges that he/she is aware of any potential or real noxious weed problems on his/her private property and agrees to control said weeds in a timely manner using proper land management principles.

Valley County Weed Department can be contacted at 208-382-7199.

By: Andrew R. Wheeler
Applicant

By: Valley County Weed Supervisor

Date: 01/16/26

IMPACT REPORT (from Valley County Code 9-5-3-D)

You may add information to the blanks below or attach additional sheets.

- ❖ An impact report shall be required for all proposed Conditional Uses.
- ❖ Thoroughly answer all questions. Mark N/A if the question is not applicable to your application.
- ❖ The impact report shall address potential environmental, economic, and social impacts and how these impacts are to be minimized as follows:

1. Traffic volume, character, and patterns including adequacy of existing or proposed street width, surfacing, alignment, gradient, and traffic control features or devices, and maintenance. Contrast existing with the changes the proposal will bring during construction and after completion, build-out, or full occupancy of the proposed development. Include pedestrian, bicycle, auto, and truck traffic.
The proposed subdivision will add four (4) new single-family homes to an existing private street that is frequented for BOR use. The additional traffic will be minimal due to the low number of lots being proposed. Construction traffic will be standard with an aim to impact existing neighbors as little as possible.
2. Provision for the mitigation of impacts on housing affordability.
Valley County is not immune to the housing affordability crisis throughout the state and northwest. The addition of 4 single-family lots on 1.76 acres will add additional housing where only one vacant lot exists today. The additional units help the supply side of the problem and will have a positive impact.
3. Noise and vibration levels that exist and compare to those that will be added during construction, normal activities, and special activities. Include indoor and outdoor, day and night variations.
No noise beyond standard construction noise is anticipated during the construction phase.
4. Heat and glare that exist and that might be introduced from all possible sources such as autos in parking areas, outdoor lights, water or glass surfaces, buildings or outdoor activities.
Nothing outside of a normal single-family residence with autos, outdoor lights, and windows is proposed or anticipated.
5. Particulate emissions to the air including smoke, dust, chemicals, gasses, or fumes, etc., both existing and what may be added by the proposed uses.
The addition of 4 single-family homes will bring additional vehicle traffic to the area which will increase the potential for these items. The increase is not anticipated to be noticed in such a sparsely populated area of the County.
6. Water demand, discharge, supply source, and disposal method for potable uses, domestic uses, and fire protection. Identify existing surface water drainage, wetlands, flood prone areas and potential changes. Identify existing ground water and surface water quality and potential changes due to this proposal.

See civil plans for preliminary grading.

7. Fire, explosion, and other hazards existing and proposed. Identify how activities on neighboring property may affect the proposed use.

Neighboring properties consist of single family residential and pose limited risk of fire hazard.

8. Removal of existing vegetation or effects thereon including disturbance of wetlands, general stability of soils, slopes, and embankments and the potential for sedimentation of disturbed soils.

N/A

9. Include practices that will be used to stabilize soils and restore or replace vegetation.

Standards (BMP) best management practices are to be followed by the General Contractor.

10. Soil characteristics and potential problems in regard to slope stability, embankments, building foundation, utility and road construction. Include suitability for supporting proposed landscaping.

Site is relatively flat.

11. Site grading or improvements including cuts and fills, drainage courses and impoundments, sound and sight buffers, landscaping, fencing, utilities, and open areas.

See civil grading plan.

12. Visibility from public roads, adjoining property, and buildings. Include what will be done to reduce visibility of all parts of the proposal but especially cuts and fills and buildings. Include the impacts of shadows from new features on neighboring property.

Limited neighbors with the lake on the South side and two story structures proposed.

13. Reasons for selecting the particular location including topographic, geographic and similar features, historic, adjoining land ownership or use, access to public lands, recreation, utilities, streets, etc., in order to illustrate compatibility with and opportunities presented by existing land uses or character.

Proposed project is aligned to nearby development of single family residential.

14. Approximation of increased revenue from change in property tax assessment, new jobs available to local residents, and increased local expenditures.

Applicants are not privy to specific property revenues to Cities and Counties. However, an increase in density on a singular parcel typically has a positive tax outcome for the jurisdiction and surrounding neighbors as developed land is more valuable than vacant land.

15. Approximation of costs for additional public services, facilities, and other economic impacts.

As the Owner / application this information is not available to us and should be provided by the County.

16. State how the proposed development will impact existing developments providing the same or similar products or services.

Proposed subdivision will not impact existing development beyond what any single-family home does to their neighbor.

17. State what natural resources or materials are available at or near the site that will be used in a process to produce a product and the impacts resulting from the depletion of the resource. Describe the process in detail and describe the impacts of each part.

N/A

18. What will be the impacts of a project abandoned at partial completion?

N/A

19. Number of residential dwelling units, other buildings and building sites, and square footage or gross non-residential floor space to be available.

Four (4) dwelling units are proposed with no other accessory structures proposed on each lot. Two (2) common lots are proposed to contain the private street for access and then a pump house for sewer--each lot will be connected to the sewer and not have individual septic systems.

20. Stages of development in geographic terms and proposed construction time schedule.

May 2026 construction start estimated with 12 month build out.

21. Anticipated range of sale, lease or rental prices for dwelling units, building or other site, or non-residential floor space in order to insure compatibility with adjacent land use and development.

The intent is that structures are to be retained by Ownership and not sold.

Property Tax Exemption

New and expanding business **may** qualify for a property tax exemption for up to 5 years by meeting the qualifications in accordance with Idaho Code§ 63-602NN

Application must be filed with the Valley County Assessor's office before construction begins.

Protocols for qualifying property exemption in Valley County, Idaho:

- Application must be received prior to the start of construction (ex. Building Permits, excavation)
- Term of exemption, not to exceed 5 years, will be up to the discretion of the Valley County Board of Commissioners
- Retail sales business do not qualify
- Multi use may qualify excluding retail sale area
- Housing
 - Multi-family housing must have 5 units or more per structure.
 - Multi-Family housing units may qualify if more than one structure is built totaling 5 or more units
 - For local housing only (workforce)
 - Short term rentals not allowed
 - Units cannot be individually sold (e.g., no condominiums)
- Remodel and/or additions to existing businesses
 - Only the area of remodel/addition may qualify for exemption
 - Retail sales additions/remodel will not qualify

For further information regarding the 63-602NN application process and instructions, please contact the Valley County Assessor's office at 208-382-7126.

USE TYPEWRITER OR BALL POINT PEN

State of Idaho
Department of Water Administration
WELL DRILLER'S REPORT

RECEIVED
JUL 13 1972

State law requires that this report be filed with the State Reclamation Engineer within 30 days after completion or abandonment of the well.

1. WELL OWNER
Name Melvin Vickery
Address Letha Ida 83634
Owner's Permit No. well at Donnelly

7. WATER LEVEL
Department of Water Administration
Static water level 17 feet below land surface
Flowing? Yes No G.P.M. flow _____
Temperature _____ ° F. Quality _____
Artesian closed-in pressure _____ p.s.i.
Controlled by Valve Cap Plug

2. NATURE OF WORK
 New well Deepened Replacement
 Abandoned (describe method of abandoning)

8. WELL TEST DATA
 Pump Bailer Other
Discharge G.P.M. 40 Draw Down none Hours Pumped 1

3. PROPOSED USE
 Domestic Irrigation Test
 Municipal Industrial Stock

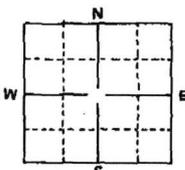
43605

4. METHOD DRILLED
 Cable Rotary Dug Other

9. LITHOLOGIC LOG

Hole Diam.	Depth		Material	Water	
	From	To		Yes	No
6	0	3	Soil		✓
	3	20	Sandy clay		✓
	20	35	Sand		✓
	35	50	Red sand		✓
	50	55	Clay		✓
	55	63	Sand & Gravel		✓

5. WELL CONSTRUCTION
Diameter of hole 6 inches Total depth 63 feet
Casing schedule: Steel Concrete
Thickness 2.50 inches Diameter 6 inches From 1 feet To 63 feet
_____ inches _____ inches _____ feet _____ feet
Was a packer or seal used? Yes No
Perforated? Yes No
How perforated? Factory Knife Torch
Size of perforation 1/4 inches by 3 inches
Number 32 perforations From 57 feet To 61 feet
_____ perforations _____ feet _____ feet
_____ perforations _____ feet _____ feet
Well screen installed? Yes No
Manufacturer's name _____
Type _____ Model No. _____
Diameter _____ Slot size _____ Set from _____ feet to _____ feet
Diameter _____ Slot size _____ Set from _____ feet to _____ feet
Gravel packed? Yes No Size of gravel _____
Placed from _____ feet to _____ feet
Surface seal? Yes No To what depth 18 feet
Material used in seal Cement grout Pudding clay

6. LOCATION OF WELL
Sketch map location must agree with written location.

County Valley
SE 1/4 SE 1/4 Sec. 27, T. 16 N., R. 3 E.

10. Work started 6-29-72 finished 6-30-72

11. DRILLER'S CERTIFICATION
This well was drilled under my supervision and this report is true to the best of my knowledge.
H.C. Nicholson 54
Driller's or Firm's Name Number
921 Letha Ave So, Payette
Address
H.C. Nicholson 7-7-72
Signed By Date



June 9, 2024

Jayson Foley, REHS
Central District Health
703 1st Street
McCall, ID 83638

**RE: JK Green Holdings, LLC Property – Spring 2024 Seasonal Groundwater Study
12850 Vickery Ct., Donnelly, Idaho – Valley County Parcel NO. RP16N03E279505**

Jayson,

Attached to this letter, please find the results of the Spring 2024 Seasonal Groundwater Study conducted at the ~1.3252-acre JK Green Holdings, LLC property located at 122850 Vickery Ct. in Donnelly, Idaho (also described as Valley County Parcel No. RP16N03E279505). Ten (10) monitoring pipes were assembled and installed by Landmark on March 4th, 2024 with property owner's excavation contractor Mike Place (P & M Excavation 2). The test holes/monitoring pipes were denoted as "MW-1 through MW-10" in the order they were installed at the site. The pipes installed were monitored from March 6th through May 22nd, 2024 as part of the Spring 2024 Seasonal Groundwater Study for this property. Please refer to *Exhibit A* of this report for the site plan including aerial imagery depicting the approximate locations of the monitoring pipes on the property.

At MW-1, a peak water level of sixty-seven (67") inches below ground surface (BGS) was observed on April 17th, 2024 and the normal high water level established for the six (6) highest, consecutive, weekly readings for this site was seventy-six (76") inches BGS. At MW-2, a peak water level of seventy (70") inches BGS was documented on April 17th, 2024. The normal high water level for MW-2 that was documented for the six (6) highest, consecutive, weekly readings was seventy-eight (78") inches BGS. At MW-3, a peak water level of seventy-five (75") inches was documented on April 24th, 2024 and the normal high water level for this monitoring location that was observed over the six (6) highest, consecutive, weekly readings was eighty-five (85") inches BGS. For the MW-4 site, a peak water level of one hundred (100") inches was recorded on April 24th, 2024 and the normal high level documented at MW-4 was one hundred six (106") inches BGS. At the MW-5, MW-6, MW-7, MW-8 and MW-9 sites, the pipes remained dry throughout the study and since there was no water present in these pipes, the pipe-depth-below-grade at each of these sites was established as being both the peak and normal high water levels at the MW-5 through MW-9 sites. For the MW-10 site, a peak of seventy-four (74") inches was recorded on April 17th, 2024 and the normal high level observed was eighty-three (83") inches BGS. Please refer to **Table 1** of this report for a summary of the peak and normal water levels observed, and the date/s that the peak water levels were documented at each of the monitoring sites.



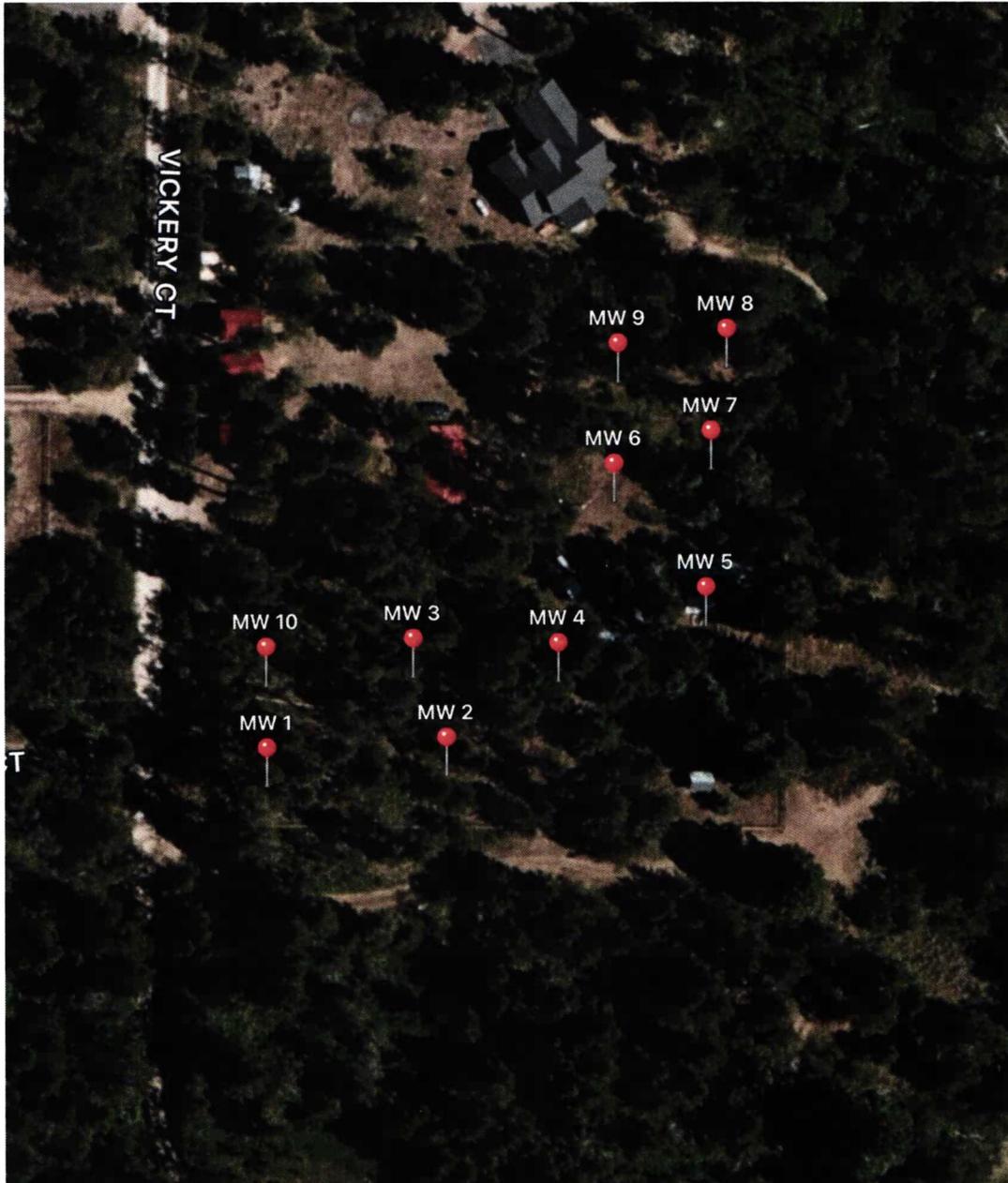
In summary, all of the sites monitored appear to meet the minimum standards to be capable of supporting installation of a septic system based on the water levels observed, soil characteristics evaluated by Landmark, and a review of the current rules and regulations regarding vertical separation requirements to seasonal peak and normal water levels as described in the *State of Idaho – Department of Environmental Quality – Technical Guidance Manual for Individual and Subsurface Sewage Disposal Systems (TGM)*. Soil evaluation of the sites monitored may be required by Central District Health (CDH). It is understood that CDH will determine if a septic permit may be issued for this property, and if eligible for permit/s, CDH will identify the specific system type/s that may be approved.

Please refer to *Table 1* below for results of the Groundwater Study:

Table 1.

Test Hole/Monitoring Well ID	Date Peak Observed (mm/dd/yy)	Peak Level (BGS) (in inches)	Normal High (BGS) (in inches)
MW-1	4/17/24	67"	76"
MW-2	4/17/24	70"	78"
MW-3	4/24/24	75"	85"
MW-4	4/24/24	100"	106"
MW-5	N/A (dry)	104"	104"
MW-6	N/A (dry)	93"	93"
MW-7	N/A (dry)	95"	95"
MW-8	N/A (dry)	92"	92"
MW-9	N/A (dry)	92"	92"
MW-10	4/17/24	74"	83"

Exhibit A – Approximate monitoring pipe locations on the property





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CLIENT: JK Green
 PROJECT: Spring 2024 GW Study
 LOCATION: TBD Vickery Ct., Donnelly
 DURATION: 3/6/24 through 5/22/24
 RECORDED BY: J. Kriz

GROUNDWATER OBSERVATION DATA

Test Hole ID:	MW 5	
Pipe Below Surface Depth:	8.67	
Pipe Above Ground Height:	1.33	
Seasonal/Normal High Level:	8.67	8.67
Date	Measure Down	Level
3/6/24	10.00	8.67
3/13/24	10.00	8.67
3/20/24	10.00	8.67
3/27/24	10.00	8.67
4/3/24	10.00	8.67
4/10/24	10.00	8.67
4/17/24	10.00	8.67
4/24/24	10.00	8.67
5/1/24	10.00	8.67
5/8/24	10.00	8.67
5/15/24	10.00	8.67
5/22/24	10.00	8.67
		No Data

Test Hole ID:	MW 6	
Pipe Below Surface Depth:	7.75	
Pipe Above Ground Height:	2.25	
Seasonal/Normal High Level:	7.75	7.75
Date	Measure Down	Level
3/6/24	10.00	7.75
3/13/24	10.00	7.75
3/20/24	10.00	7.75
3/27/24	10.00	7.75
4/3/24	10.00	7.75
4/10/24	10.00	7.75
4/17/24	10.00	7.75
4/24/24	10.00	7.75
5/1/24	10.00	7.75
5/8/24	10.00	7.75
5/15/24	10.00	7.75
5/22/24	10.00	7.75
		No Data

Test Hole ID:	MW 7	
Pipe Below Surface Depth:	7.92	
Pipe Above Ground Height:	2.08	
Seasonal/Normal High Level:	7.92	7.92
Date	Measure Down	Level
3/6/24	10.00	7.92
3/13/24	10.00	7.92
3/20/24	10.00	7.92
3/27/24	10.00	7.92
4/3/24	10.00	7.92
4/10/24	10.00	7.92
4/17/24	10.00	7.92
4/24/24	10.00	7.92
5/1/24	10.00	7.92
5/8/24	10.00	7.92
5/15/24	10.00	7.92
5/22/24	10.00	7.92
		No Data

Test Hole ID:	MW 8	
Pipe Below Surface Depth:	7.67	
Pipe Above Ground Height:	2.33	
Seasonal/Normal High Level:	7.67	7.67
Date	Measure Down	Level
3/6/24	10.00	7.67
3/13/24	10.00	7.67
3/20/24	10.00	7.67
3/27/24	10.00	7.67
4/3/24	10.00	7.67
4/10/24	10.00	7.67
4/17/24	10.00	7.67
4/24/24	10.00	7.67
5/1/24	10.00	7.67
5/8/24	10.00	7.67
5/15/24	10.00	7.67
5/22/24	10.00	7.67
		No Data

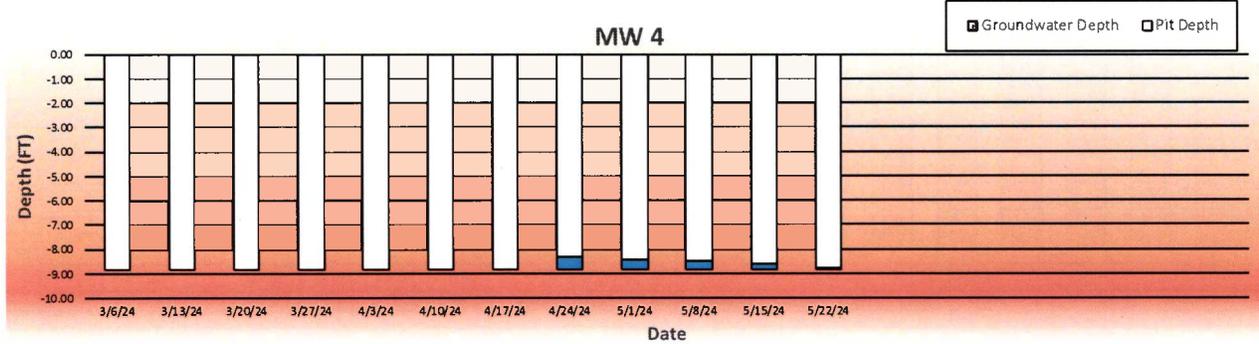
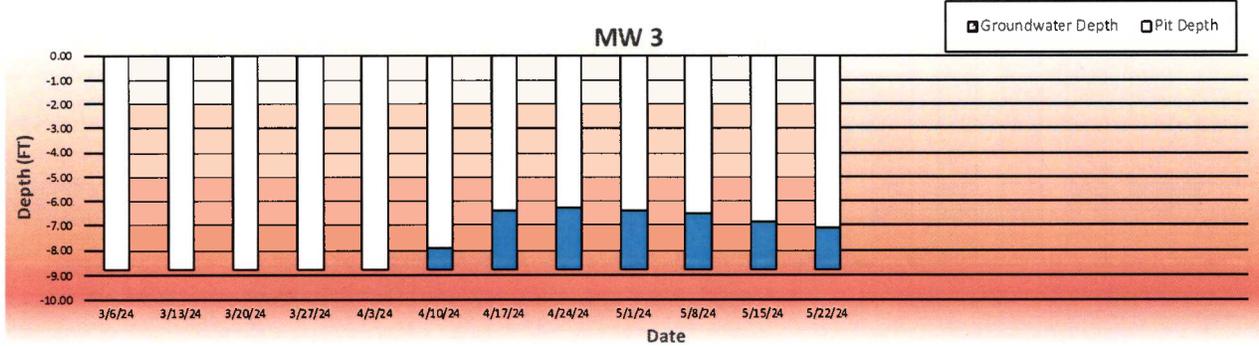
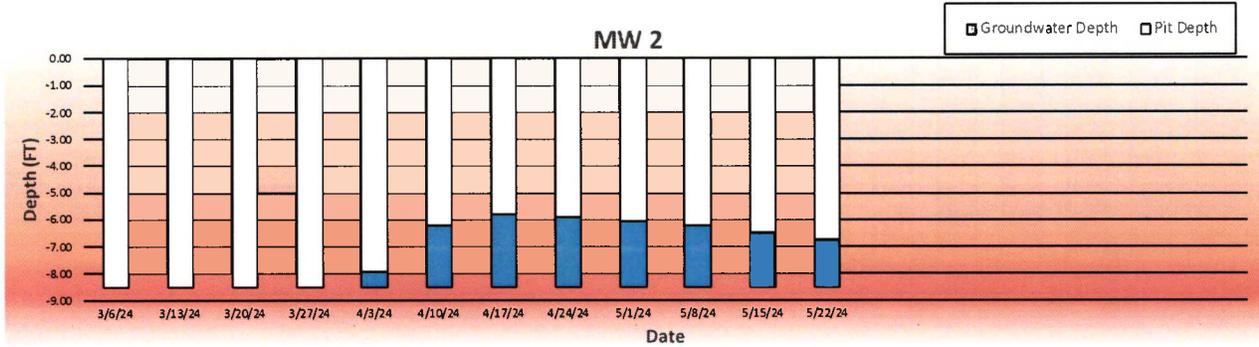
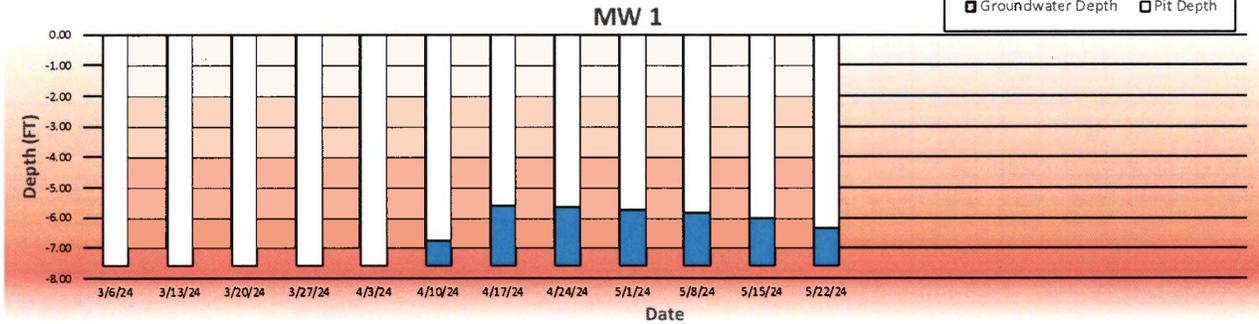




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GROUNDWATER OBSERVATION GRAPHS

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 LOCATION: TBD Vickery Ct., Donnelly
 DURATION: 3/6/24 through 5/22/24
 RECORDER: J. Kriz

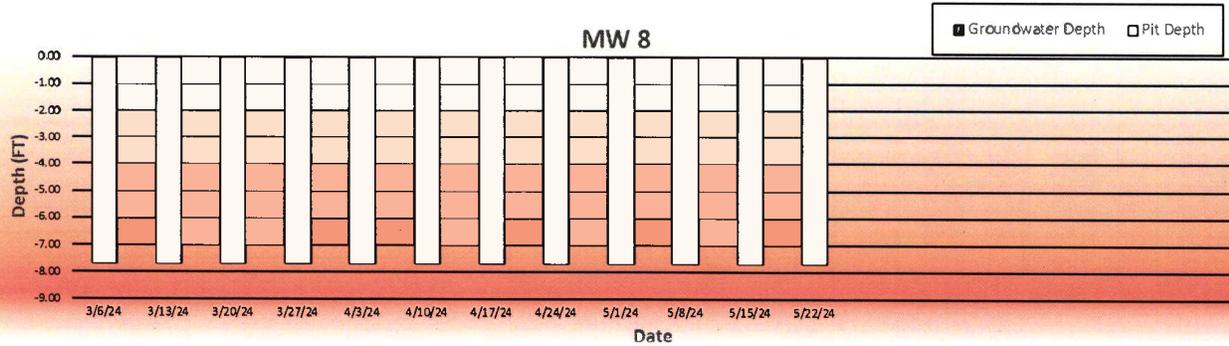
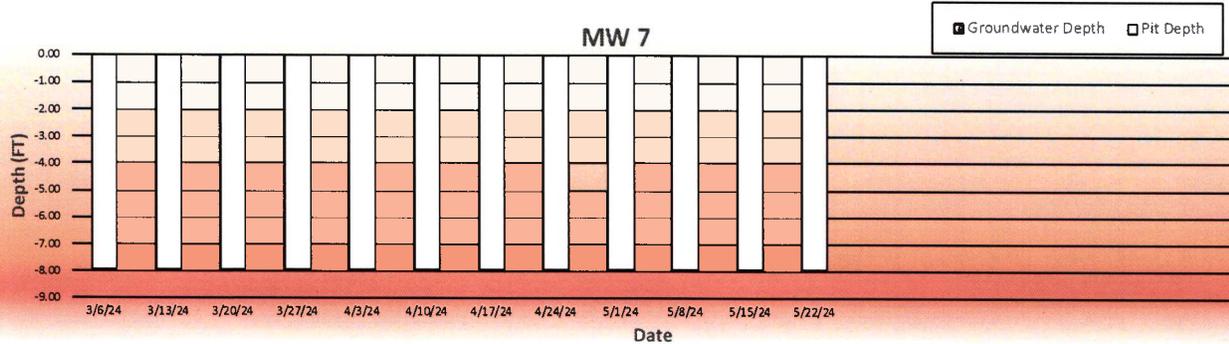
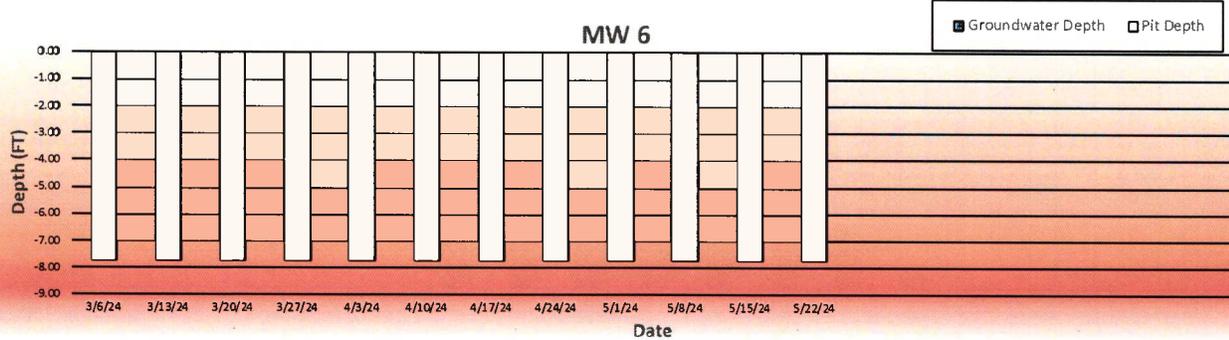
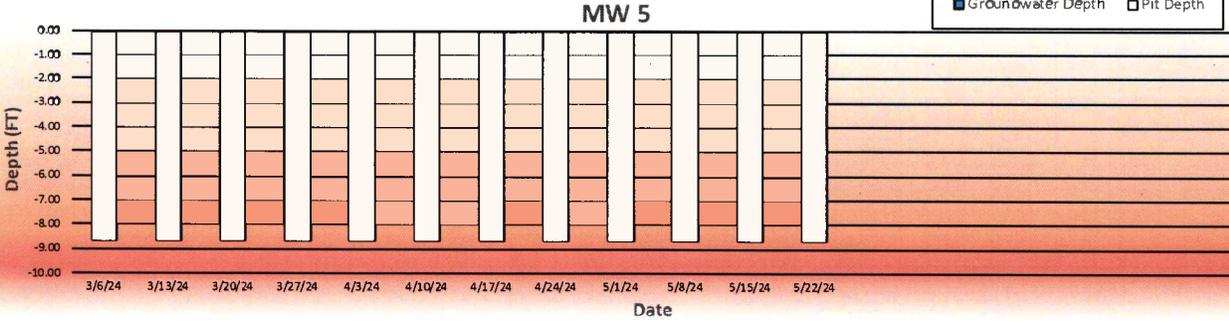




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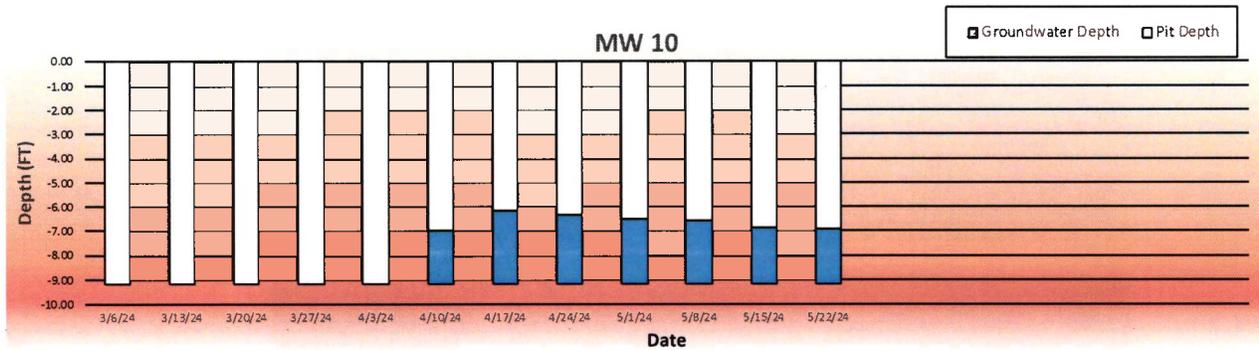
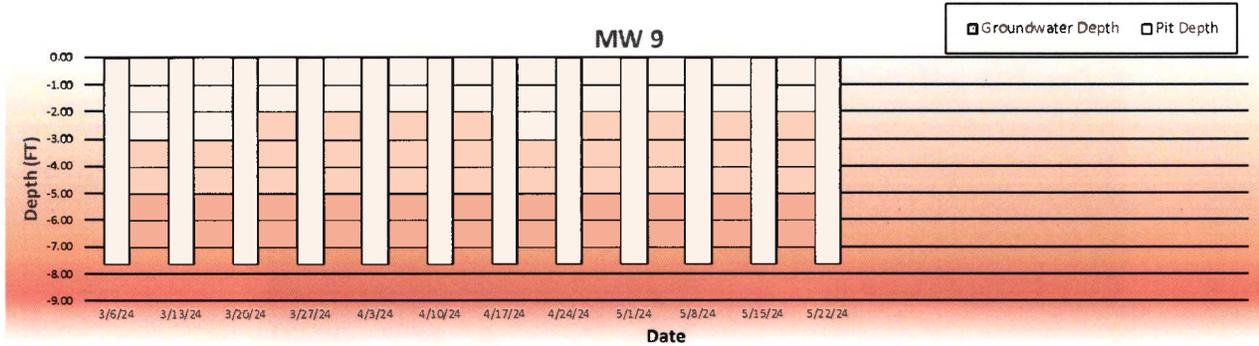


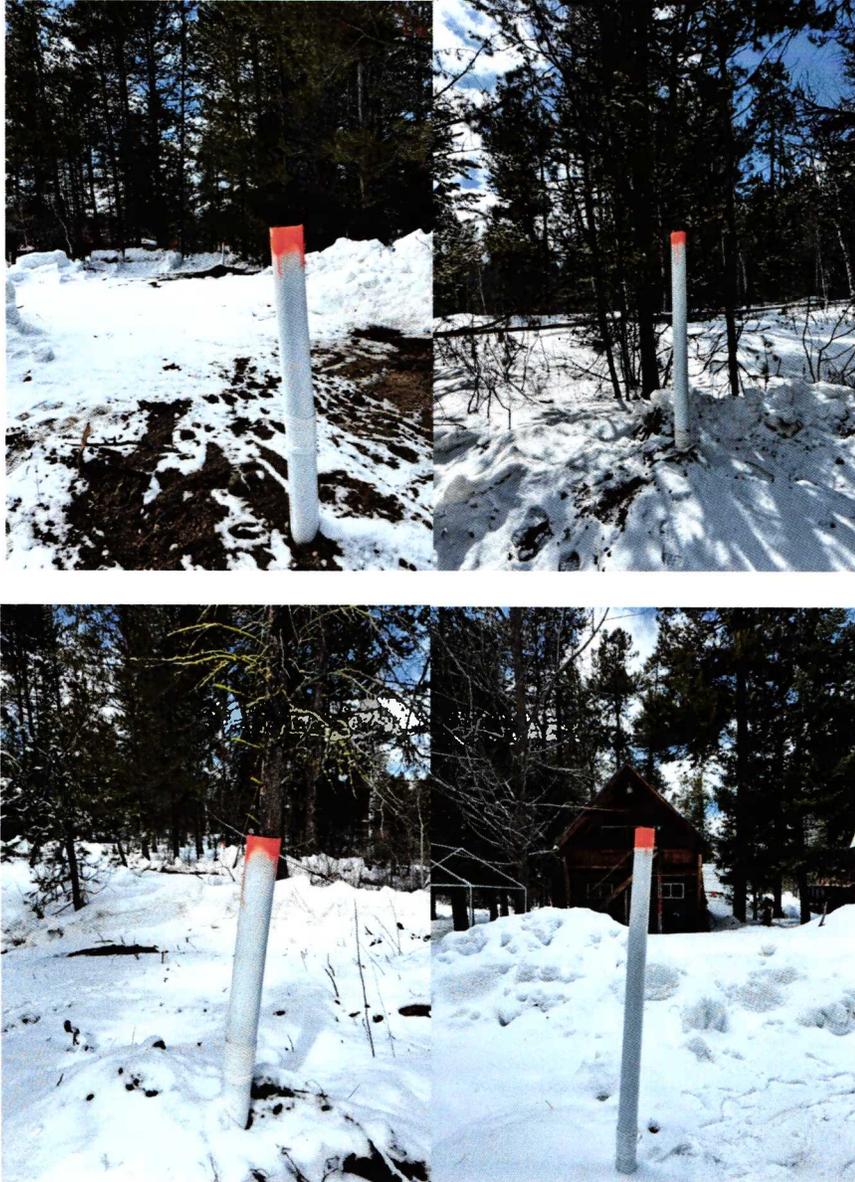


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Thank you for your attention to this submittal. Please feel free to contact Landmark if you have any questions, require additional information, or wish to discuss the results of this study further.

Respectfully submitted,

A handwritten signature in blue ink, appearing to read "Josh Kriz".

Josh Kriz, REHS
Principal Consultant
Landmark Environmental Consulting, LLC



MEMORANDUM

TO: Josh Green, cc. The Land Architect

FROM: Derek Risso, Ecosystem Sciences

DATE: July 21, 2025

SUBJECT: Wetland Investigation Summary

Dear Josh Green,

The purpose of this memo is to provide information to our client (Josh Green) and to any regulating agency or municipality as it pertains to Clean Water Act jurisdiction (CWA) and Waters of the United States (WOTUS) on two parcels located on the north side of Lake Cascade in Valley County, Idaho (Figure 1).

The two parcels are located in the SE $\frac{1}{4}$ of the SE $\frac{1}{4}$ of Section 27, Township 16, Range 3E of Valley County on the north side of Cascade Lake. The parcels are located on the east side of Vickery Lane, which runs north-south from Westwind Lane, near where Gold Fork River flows into Lake Cascade (see attached map in Figure 1).

Josh Green is the owner of the two parcels, and he is proposing to split the two parcels into four buildable lots and a lift station lot for a pressurized sewer system. In addition, Mr. Green and his project developers plan to pipe the sewer to an existing manhole located at the intersection of Westwind Lane and Northwind Lane. Regulating Municipalities may require that a wetland investigation be performed as a part of its submittal list for preliminary plots. For this reason, Mr. Green hired Ecosystem Sciences to determine if the parcels in this project contain wetlands that would require a 404 permit from the USACE.

Prior to a field investigation of the parcels, a desktop analysis was performed. Data from the following sources were reviewed: National Resource Conservation Service soil map unit mapping of Valley County, ID, historical aerial imagery from 2004 through 2023, U.S. Fish and Wildlife National Wetlands Inventory (NWI) mapping, and U.S. Geological Survey National Hydrography Dataset (NHD) mapping.

Following a review of pertinent data, a field survey of the site was performed on June 15, 2025. During the field survey, one surveyor traversed the project area searching for wetland indicators from the 1987 USACE Wetland Delineation manual and the 2016 regional supplement for the Western Mountains, Valleys, and Coast Region. The surveyor looked for signs of hydrophytic vegetation, wetland hydrology, and hydric soils to assess the overall extent to likely wetland and

WOTUS impacts of the project. Observation points were taken on a phone application feature service created with ESRI's ArcGIS Pro and published online. While data was being recorded in the field, a Juniper Systems Geode GPS unit was used to get data within half-foot accuracy. Images and field notes taken on the phone application were utilized to determine the likely extent of wetlands and/or WOTUS that occur within the project area. A total of 27 observation points were collected in and around the property during the June 15, 2025, field survey (Figure 1).

Upon review of the desktop analysis and on-site observations collected, we have determined that the two parcels do not contain any wetlands or waterways that could be impacted by the proposed development. No wetland determination forms were filled out in the project due to a lack of wetland indicators being found during the field survey.

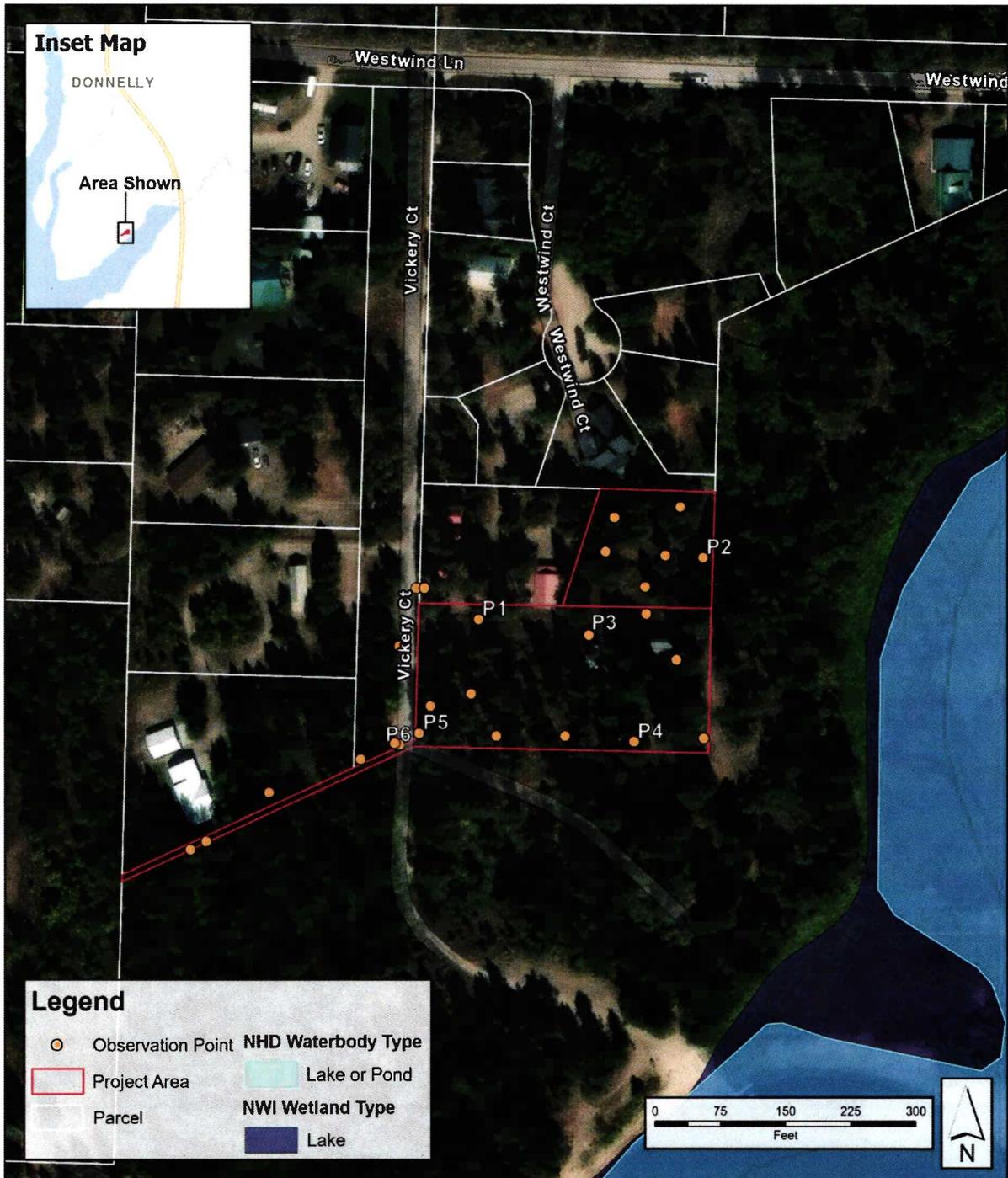
The site is on a relatively flat, forested terrace approximately 200 feet west of Lake Cascade at its closest point (Figure 1) Photo 1). The steepest slopes in the project are located along its eastern edge as it begins to descend towards Lake Cascade (Photo 2). The parcels contain existing residential buildings with a few outbuildings and dirt access roads into the property (Photo 3). Pine trees are the dominant plant type found in the project, with assorted herbaceous and shrub plant species typical of the region observed growing underneath the coniferous tree canopy (Photo 4). The site is covered by the Donnelly sandy loam, 0 to 2 percents, soil map unit which is not rated as hydric by the NRCS (attached below). The nearest NWI wetland area and NHD waterbody is Lake Cascade. No standing water, streams or waterways were found in the project; the only depressional areas observed were directly adjacent to Vickery Lane. There, small ditches or depressions approximately two feet wide and one foot deep run parallel to Vickery Lane and they appear to collect snowmelt and stormwater runoff; however, no hydrophytic plant species were observed growing in these depressions nor are they connected to any other depressions in the area and therefore are not likely wetland areas (Photo 5 and Photo 6).

If you require any additional information, please feel free to contact me.

Thank you,



Derek Risso
Principal
Ecosystem Sciences



Environmental Permitting

Field Survey, NWI, and NHD Data Display
Josh Green Property / Valley County, Idaho

Ecosystem Sciences, LLC
Science · Design · Planning

Disclaimer - This map or data product is for illustration purposes only. It is not intended to be used for jurisdiction, conveyance, authoritative definition of legal boundary, or property title. This is not a survey product. Users are encouraged to examine the documentation or metadata associated with the data on which this map is based for information relative to its accuracy, currentness, and limitations.

Figure 1. Project Location.



Photo 1. Looking east into the larger of the two parcels.



Photo 2. The eastern edge of both parcels slopes towards Lake Cascade. Many herbaceous plant species are growing in these areas of the project.



Photo 3. The project contains existing residential buildings and woody debris throughout both parcels.



Photo 4. This photo was taken from the southeast corner of the lower, larger parcel looking northwest into the center of the project.



Photo 5. This photo was taken between Vickery Road and the western edge of the lower, larger parcel, looking north at a small dirt depression that is in that area.



Photo 6. This photo was taken between Vickery Road and the eastern edge of a property across the street from the proposed project in the line of disturbance that would be impacted by the proposed sewer line connection. A small dirt depression is in this area. Note that there are no culverts, which indicates that this area likely only collects stormwater.



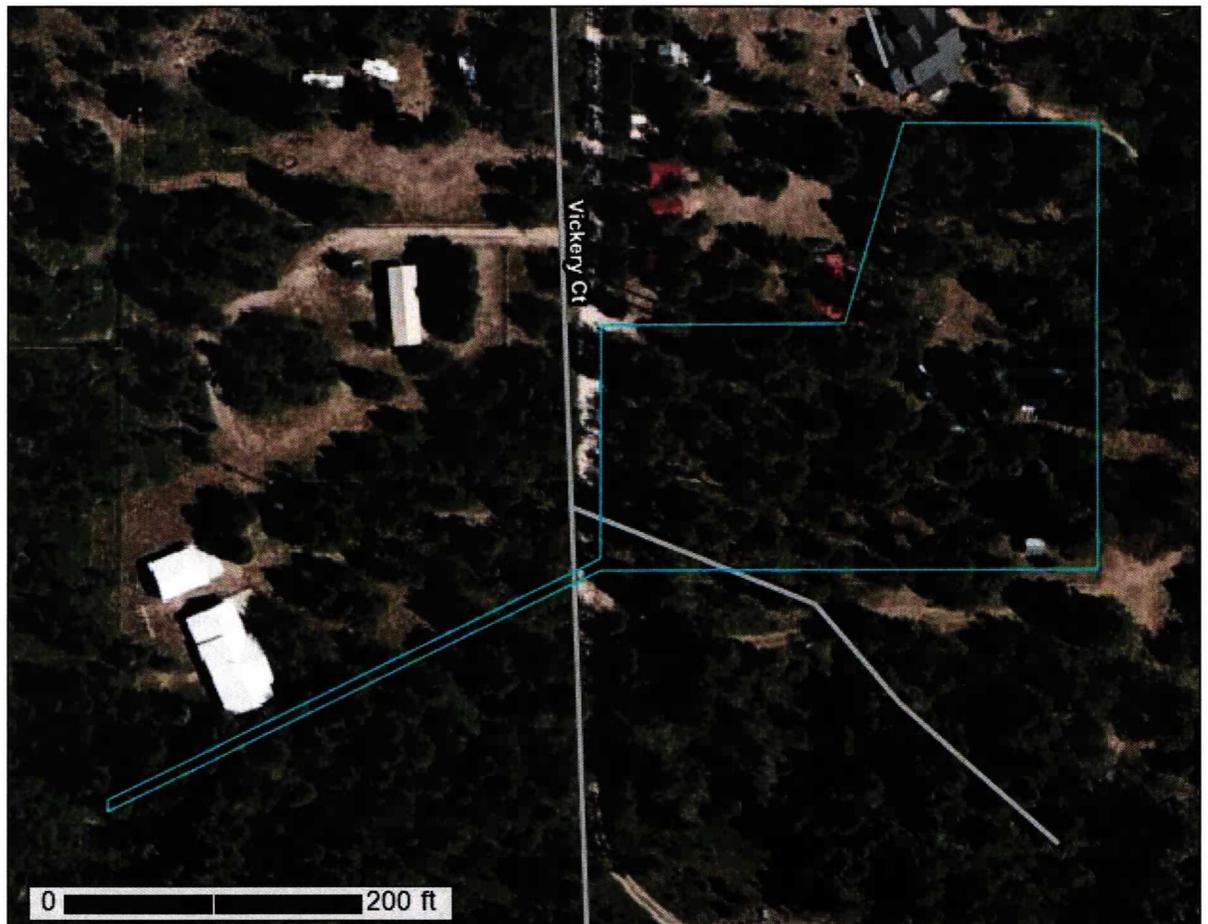
United States
Department of
Agriculture

NRCS

Natural
Resources
Conservation
Service

A product of the National
Cooperative Soil Survey,
a joint effort of the United
States Department of
Agriculture and other
Federal agencies, State
agencies including the
Agricultural Experiment
Stations, and local
participants

Custom Soil Resource Report for Valley Area, Idaho, Parts of Adams and Valley Counties



Preface

Soil surveys contain information that affects land use planning in survey areas. They highlight soil limitations that affect various land uses and provide information about the properties of the soils in the survey areas. Soil surveys are designed for many different users, including farmers, ranchers, foresters, agronomists, urban planners, community officials, engineers, developers, builders, and home buyers. Also, conservationists, teachers, students, and specialists in recreation, waste disposal, and pollution control can use the surveys to help them understand, protect, or enhance the environment.

Various land use regulations of Federal, State, and local governments may impose special restrictions on land use or land treatment. Soil surveys identify soil properties that are used in making various land use or land treatment decisions. The information is intended to help the land users identify and reduce the effects of soil limitations on various land uses. The landowner or user is responsible for identifying and complying with existing laws and regulations.

Although soil survey information can be used for general farm, local, and wider area planning, onsite investigation is needed to supplement this information in some cases. Examples include soil quality assessments (<http://www.nrcs.usda.gov/wps/portal/nrcs/main/soils/health/>) and certain conservation and engineering applications. For more detailed information, contact your local USDA Service Center (<https://offices.sc.egov.usda.gov/locator/app?agency=nrcs>) or your NRCS State Soil Scientist (http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/contactus/?cid=nrcs142p2_053951).

Great differences in soil properties can occur within short distances. Some soils are seasonally wet or subject to flooding. Some are too unstable to be used as a foundation for buildings or roads. Clayey or wet soils are poorly suited to use as septic tank absorption fields. A high water table makes a soil poorly suited to basements or underground installations.

The National Cooperative Soil Survey is a joint effort of the United States Department of Agriculture and other Federal agencies, State agencies including the Agricultural Experiment Stations, and local agencies. The Natural Resources Conservation Service (NRCS) has leadership for the Federal part of the National Cooperative Soil Survey.

Information about soils is updated periodically. Updated information is available through the NRCS Web Soil Survey, the site for official soil survey information.

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How Soil Surveys Are Made

Soil surveys are made to provide information about the soils and miscellaneous areas in a specific area. They include a description of the soils and miscellaneous areas and their location on the landscape and tables that show soil properties and limitations affecting various uses. Soil scientists observed the steepness, length, and shape of the slopes; the general pattern of drainage; the kinds of crops and native plants; and the kinds of bedrock. They observed and described many soil profiles. A soil profile is the sequence of natural layers, or horizons, in a soil. The profile extends from the surface down into the unconsolidated material in which the soil formed or from the surface down to bedrock. The unconsolidated material is devoid of roots and other living organisms and has not been changed by other biological activity.

Currently, soils are mapped according to the boundaries of major land resource areas (MLRAs). MLRAs are geographically associated land resource units that share common characteristics related to physiography, geology, climate, water resources, soils, biological resources, and land uses (USDA, 2006). Soil survey areas typically consist of parts of one or more MLRA.

The soils and miscellaneous areas in a survey area occur in an orderly pattern that is related to the geology, landforms, relief, climate, and natural vegetation of the area. Each kind of soil and miscellaneous area is associated with a particular kind of landform or with a segment of the landform. By observing the soils and miscellaneous areas in the survey area and relating their position to specific segments of the landform, a soil scientist develops a concept, or model, of how they were formed. Thus, during mapping, this model enables the soil scientist to predict with a considerable degree of accuracy the kind of soil or miscellaneous area at a specific location on the landscape.

Commonly, individual soils on the landscape merge into one another as their characteristics gradually change. To construct an accurate soil map, however, soil scientists must determine the boundaries between the soils. They can observe only a limited number of soil profiles. Nevertheless, these observations, supplemented by an understanding of the soil-vegetation-landscape relationship, are sufficient to verify predictions of the kinds of soil in an area and to determine the boundaries.

Soil scientists recorded the characteristics of the soil profiles that they studied. They noted soil color, texture, size and shape of soil aggregates, kind and amount of rock fragments, distribution of plant roots, reaction, and other features that enable them to identify soils. After describing the soils in the survey area and determining their properties, the soil scientists assigned the soils to taxonomic classes (units). Taxonomic classes are concepts. Each taxonomic class has a set of soil characteristics with precisely defined limits. The classes are used as a basis for comparison to classify soils systematically. Soil taxonomy, the system of taxonomic classification used in the United States, is based mainly on the kind and character of soil properties and the arrangement of horizons within the profile. After the soil

Custom Soil Resource Report

scientists classified and named the soils in the survey area, they compared the individual soils with similar soils in the same taxonomic class in other areas so that they could confirm data and assemble additional data based on experience and research.

The objective of soil mapping is not to delineate pure map unit components; the objective is to separate the landscape into landforms or landform segments that have similar use and management requirements. Each map unit is defined by a unique combination of soil components and/or miscellaneous areas in predictable proportions. Some components may be highly contrasting to the other components of the map unit. The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The delineation of such landforms and landform segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, onsite investigation is needed to define and locate the soils and miscellaneous areas.

Soil scientists make many field observations in the process of producing a soil map. The frequency of observation is dependent upon several factors, including scale of mapping, intensity of mapping, design of map units, complexity of the landscape, and experience of the soil scientist. Observations are made to test and refine the soil-landscape model and predictions and to verify the classification of the soils at specific locations. Once the soil-landscape model is refined, a significantly smaller number of measurements of individual soil properties are made and recorded. These measurements may include field measurements, such as those for color, depth to bedrock, and texture, and laboratory measurements, such as those for content of sand, silt, clay, salt, and other components. Properties of each soil typically vary from one point to another across the landscape.

Observations for map unit components are aggregated to develop ranges of characteristics for the components. The aggregated values are presented. Direct measurements do not exist for every property presented for every map unit component. Values for some properties are estimated from combinations of other properties.

While a soil survey is in progress, samples of some of the soils in the area generally are collected for laboratory analyses and for engineering tests. Soil scientists interpret the data from these analyses and tests as well as the field-observed characteristics and the soil properties to determine the expected behavior of the soils under different uses. Interpretations for all of the soils are field tested through observation of the soils in different uses and under different levels of management. Some interpretations are modified to fit local conditions, and some new interpretations are developed to meet local needs. Data are assembled from other sources, such as research information, production records, and field experience of specialists. For example, data on crop yields under defined levels of management are assembled from farm records and from field or plot experiments on the same kinds of soil.

Predictions about soil behavior are based not only on soil properties but also on such variables as climate and biological activity. Soil conditions are predictable over long periods of time, but they are not predictable from year to year. For example, soil scientists can predict with a fairly high degree of accuracy that a given soil will have a high water table within certain depths in most years, but they cannot predict that a high water table will always be at a specific level in the soil on a specific date.

After soil scientists located and identified the significant natural bodies of soil in the survey area, they drew the boundaries of these bodies on aerial photographs and

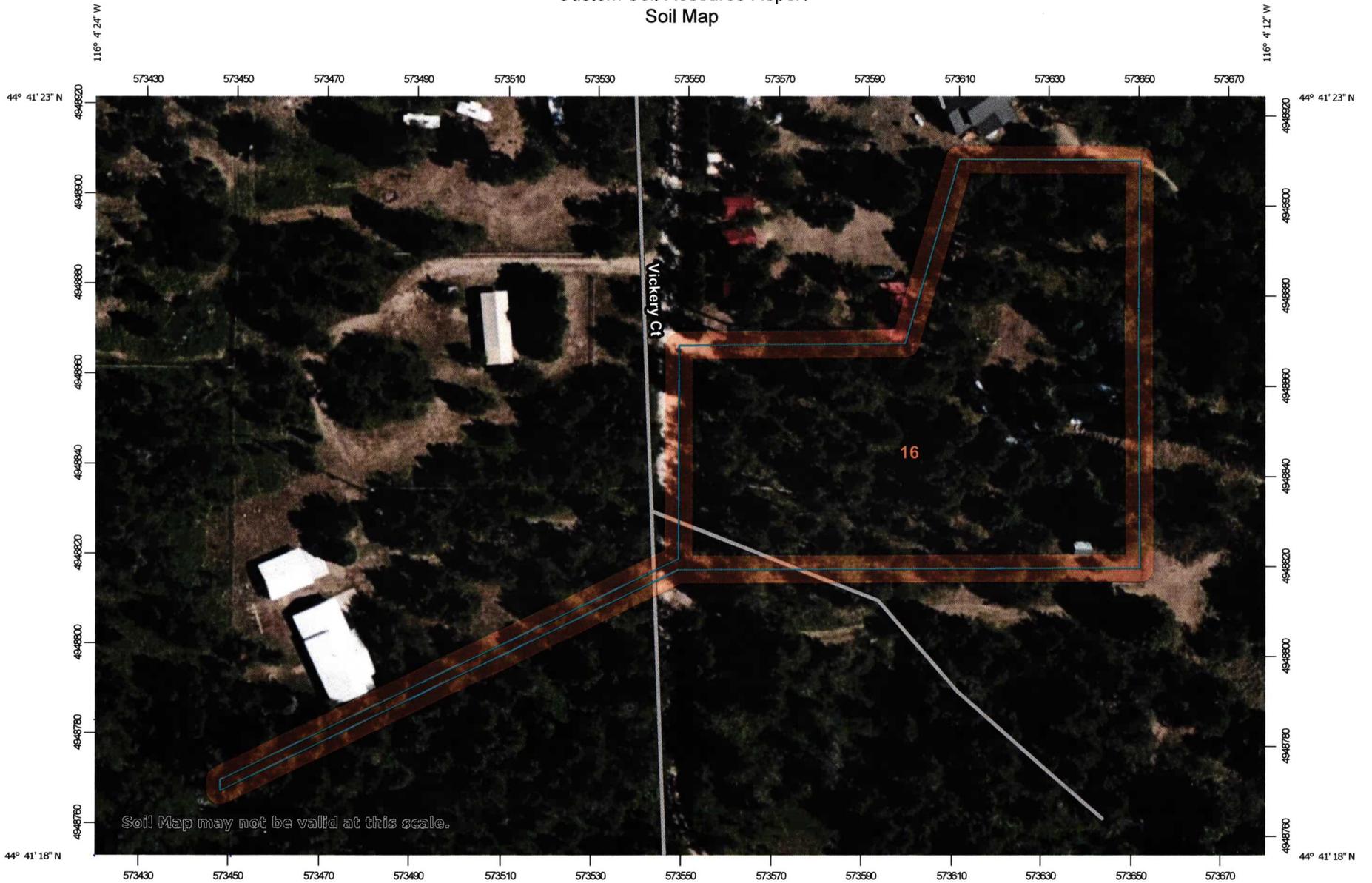
Custom Soil Resource Report

identified each as a specific map unit. Aerial photographs show trees, buildings, fields, roads, and rivers, all of which help in locating boundaries accurately.

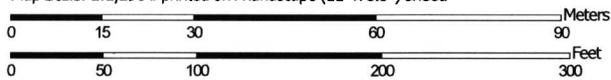
Soil Map

The soil map section includes the soil map for the defined area of interest, a list of soil map units on the map and extent of each map unit, and cartographic symbols displayed on the map. Also presented are various metadata about data used to produce the map, and a description of each soil map unit.

Custom Soil Resource Report Soil Map



Map Scale: 1:1,190 if printed on A landscape (11" x 8.5") sheet.



Map projection: Web Mercator Comer coordinates: WGS84 Edge tics: UTM Zone 11N WGS84

Custom Soil Resource Report

MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

Water Features



Streams and Canals

Transportation



Rails



Interstate Highways



US Routes



Major Roads



Local Roads

Background



Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL:
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Valley Area, Idaho, Parts of Adams and Valley Counties
Survey Area Data: Version 22, Aug 22, 2024

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jul 25, 2020—Jul 26, 2020

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background

Custom Soil Resource Report

MAP LEGEND

MAP INFORMATION

imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
16	Donnel sandy loam, 0 to 2 percent slopes	1.8	100.0%
Totals for Area of Interest		1.8	100.0%

Map Unit Descriptions

The map units delineated on the detailed soil maps in a soil survey represent the soils or miscellaneous areas in the survey area. The map unit descriptions, along with the maps, can be used to determine the composition and properties of a unit.

A map unit delineation on a soil map represents an area dominated by one or more major kinds of soil or miscellaneous areas. A map unit is identified and named according to the taxonomic classification of the dominant soils. Within a taxonomic class there are precisely defined limits for the properties of the soils. On the landscape, however, the soils are natural phenomena, and they have the characteristic variability of all natural phenomena. Thus, the range of some observed properties may extend beyond the limits defined for a taxonomic class. Areas of soils of a single taxonomic class rarely, if ever, can be mapped without including areas of other taxonomic classes. Consequently, every map unit is made up of the soils or miscellaneous areas for which it is named and some minor components that belong to taxonomic classes other than those of the major soils.

Most minor soils have properties similar to those of the dominant soil or soils in the map unit, and thus they do not affect use and management. These are called noncontrasting, or similar, components. They may or may not be mentioned in a particular map unit description. Other minor components, however, have properties and behavioral characteristics divergent enough to affect use or to require different management. These are called contrasting, or dissimilar, components. They generally are in small areas and could not be mapped separately because of the scale used. Some small areas of strongly contrasting soils or miscellaneous areas are identified by a special symbol on the maps. If included in the database for a given area, the contrasting minor components are identified in the map unit descriptions along with some characteristics of each. A few areas of minor components may not have been observed, and consequently they are not mentioned in the descriptions, especially where the pattern was so complex that it was impractical to make enough observations to identify all the soils and miscellaneous areas on the landscape.

The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The objective of mapping is not to delineate pure taxonomic classes but rather to separate the landscape into landforms or landform segments that have similar use and management requirements. The delineation of such segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, however, onsite investigation is needed to define and locate the soils and miscellaneous areas.

Custom Soil Resource Report

An identifying symbol precedes the map unit name in the map unit descriptions. Each description includes general facts about the unit and gives important soil properties and qualities.

Soils that have profiles that are almost alike make up a *soil series*. Except for differences in texture of the surface layer, all the soils of a series have major horizons that are similar in composition, thickness, and arrangement.

Soils of one series can differ in texture of the surface layer, slope, stoniness, salinity, degree of erosion, and other characteristics that affect their use. On the basis of such differences, a soil series is divided into *soil phases*. Most of the areas shown on the detailed soil maps are phases of soil series. The name of a soil phase commonly indicates a feature that affects use or management. For example, Alpha silt loam, 0 to 2 percent slopes, is a phase of the Alpha series.

Some map units are made up of two or more major soils or miscellaneous areas. These map units are complexes, associations, or undifferentiated groups.

A *complex* consists of two or more soils or miscellaneous areas in such an intricate pattern or in such small areas that they cannot be shown separately on the maps. The pattern and proportion of the soils or miscellaneous areas are somewhat similar in all areas. Alpha-Beta complex, 0 to 6 percent slopes, is an example.

An *association* is made up of two or more geographically associated soils or miscellaneous areas that are shown as one unit on the maps. Because of present or anticipated uses of the map units in the survey area, it was not considered practical or necessary to map the soils or miscellaneous areas separately. The pattern and relative proportion of the soils or miscellaneous areas are somewhat similar. Alpha-Beta association, 0 to 2 percent slopes, is an example.

An *undifferentiated group* is made up of two or more soils or miscellaneous areas that could be mapped individually but are mapped as one unit because similar interpretations can be made for use and management. The pattern and proportion of the soils or miscellaneous areas in a mapped area are not uniform. An area can be made up of only one of the major soils or miscellaneous areas, or it can be made up of all of them. Alpha and Beta soils, 0 to 2 percent slopes, is an example.

Some surveys include *miscellaneous areas*. Such areas have little or no soil material and support little or no vegetation. Rock outcrop is an example.

Valley Area, Idaho, Parts of Adams and Valley Counties

16—Donnel sandy loam, 0 to 2 percent slopes

Map Unit Setting

National map unit symbol: 55dk
Elevation: 3,800 to 5,100 feet
Mean annual precipitation: 22 to 24 inches
Mean annual air temperature: 37 to 43 degrees F
Frost-free period: 65 to 75 days
Farmland classification: Farmland of statewide importance, if irrigated

Map Unit Composition

Donnel and similar soils: 80 percent
Minor components: 5 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Donnel

Setting

Landform: Fan remnants
Down-slope shape: Linear
Across-slope shape: Linear
Parent material: Mixed alluvium

Typical profile

A - 0 to 15 inches: sandy loam
Bw - 15 to 20 inches: coarse sandy loam
C - 20 to 60 inches: stratified loamy sand to sandy loam

Properties and qualities

Slope: 0 to 2 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Well drained
Capacity of the most limiting layer to transmit water (Ksat): High (1.98 to 5.95 in/hr)
Depth to water table: More than 80 inches
Frequency of flooding: None
Frequency of ponding: None
Available water supply, 0 to 60 inches: Low (about 5.8 inches)

Interpretive groups

Land capability classification (irrigated): 6c
Land capability classification (nonirrigated): 6c
Hydrologic Soil Group: A
Ecological site: R043BY003ID - Loamy 22+ PZ FEID-PSSPS
Hydric soil rating: No

Minor Components

Melton

Percent of map unit: 5 percent
Landform: Flood plains
Hydric soil rating: Yes

Custom Soil Resource Report

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January 28, 2026

Dear Neighbor,

Prior to the submittal of our Green Acres Subdivision, Valley County requires a meeting between the applicant and neighbors. A Neighborhood Meeting is intended to allow residents, property owners, businesses, and organizations in the area surrounding a proposed development an early opportunity to learn about the project details and to provide feedback to the applicant before significant resources have been expended on project design and engineering. Note that this is not a public hearing, and public officials will not be present.

When

Monday, February 9th at 6pm *(The meeting shall be a minimum of 10 days after the invitation is mailed.)*

Where

Virtually, via Zoom – Simply go to the webpage, www.zoom.us/join and enter the following information as prompted:

Join Meeting

Meeting ID: 816 6808 0878

Passcode: 394696

Meeting ID or Personal Link Name

816 6808 0878

Then, just click "Join"

By clicking "Join", you agree to our [Terms of Services](#) and [Privacy Statement](#)

Join

Who

Andrew Wheeler and Joseph Dodson

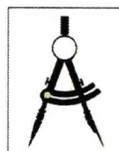
Andrew@thelandarchitect.com

If you have questions about the meeting or proposed development project, please contact the representative of the proposed development.

Project Description

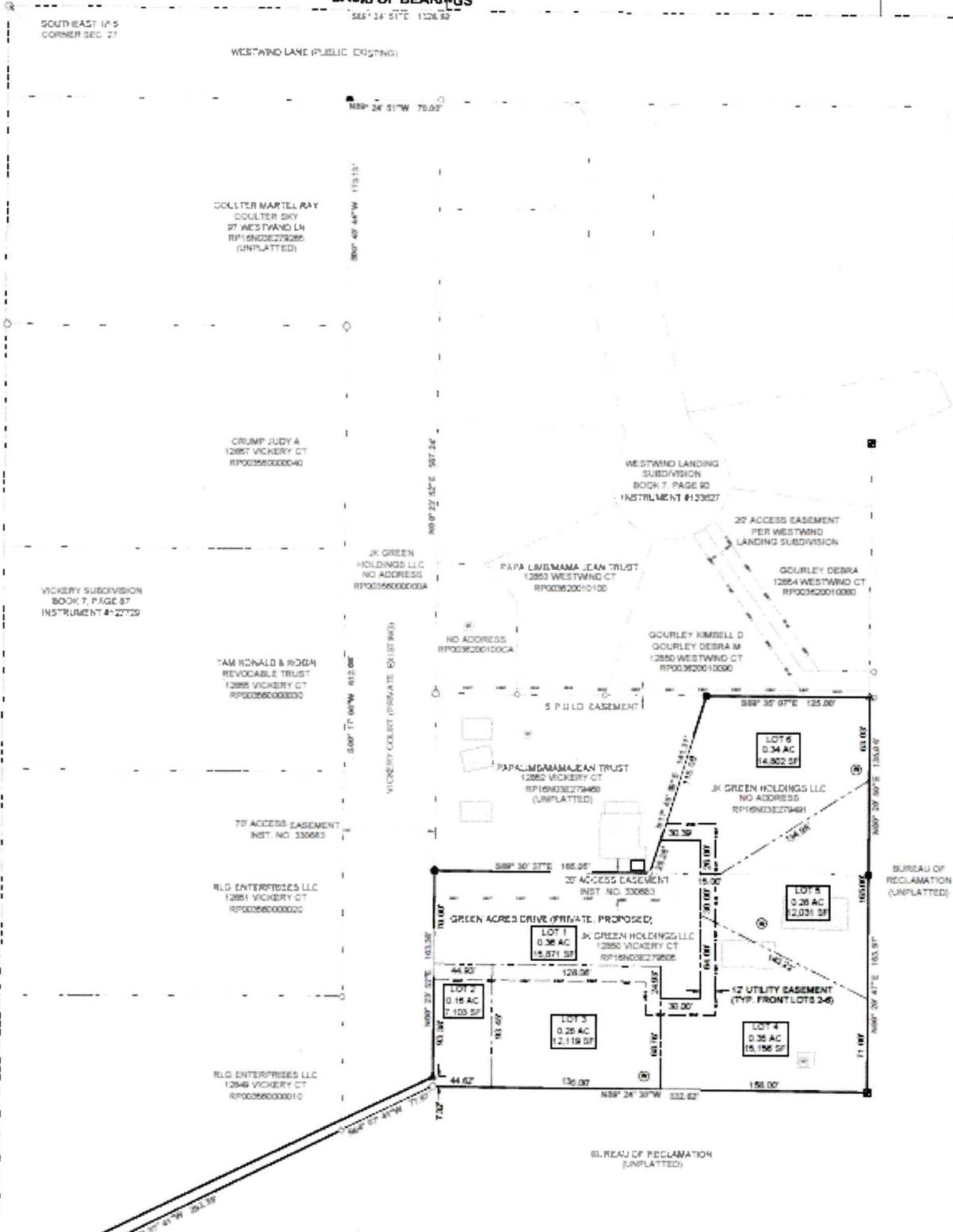
The proposal is for a 6-lot subdivision (4 buildable lots, 2 common lots) on the existing 1.76 acres located at **12850 Vickery Ct. (Parcel #RP16N03E279505)**. The purpose of the subdivision is to create the opportunity for the landowner to provide future building lots for family members and/or close friends whom wish to enjoy the beauty and interest of Valley County. This proposed project will include the following applications: **Conditional Use Permit for the purpose of a Preliminary Plat.**

Please note: To track attendance and certify that a meeting was held, an attendance sheet will be created for this meeting. We will submit this sign-in sheet with our application to comply with development code; the sign-in sheet will also be used to notify you of when the application was submitted.



**THE LAND
ARCHITECT**
DESIGN | ENTITLE | DEVELOP
THELANDARCHITECT.COM

BASIS OF BEARINGS



300' Mailing list – 12850 Vickery Ct.

Mailing Address	Property Address
CHURCH OF JESUS CHRIST OF LATTER DAY SAINTS C/O CHURCH TAX ADMIN #531-1896 #512-8951 50 E NORTH TEMPLE ST ROOM 2225 SALT LAKE CITY UT 84150-0022	12850 NORTHWIND RD
CUTTER ROBERT C III 5001 SHIRLEY CIR ZEPHYRHILLS FL 33542	12850 B NORTHWIND RD
HENRY JOHN 101 WESTWIND B DONNELLY ID 83615	101 B WESTWIND LN
CRUMP JUDY A 4721 W CLARK ST BOISE ID 83705	12857 VICKERY CT
TAM RONALD & ROBIN REVOCABLE TRUST 5890 STARRY LN NAMPA ID 83686	12855 VICKERY CT
RLG ENTERPRISES LLC 1145 QUAIL HOLLOW LN EMMETT ID 83617	12851 VICKERY CT
RLG ENTERPRISES LLC 1145 QUAIL HOLLOW LN EMMETT ID 83617	12849 VICKERY CT
GLYNN JEFFREY 2229 S CROSSCREEK LN BOISE ID 83706	12857 WESTWIND CT
PAPA LIMB/MAMA JEAN TRUST 2421 W SADDLEHORN CT BLUFFDALE UT 84065	12853 WESTWIND CT
PAPALIMB/MAMAJEAN TRUST 2421 SADDLEHORN CT RIVERTON UT 84065	12852 VICKERY CT
GOURLEY KIMBELL D 1731 E STONYBROOK CT EAGLE ID 83616	12850 WESTWIND CT
GOURLEY DEBRA 1731 E STONYBROOK CT EAGLE ID 83616	12854 WESTWIND CT
YALLALY BRANDON C 125 E HEARTHSTONE DR BOISE ID 83702	12856 WESTWIND CT
BREEN KELLY C TRUST 544 W ELWOOD DR BOISE ID 83706	85 WESTWIND LN

Green Acres Neighborhood Meeting – February 9, 2026

Attendee List

Clark Limb

Ronald Tam

Robin Tam

Kimbell Gourley

Debra Gourley

Michael (did not give last name)

Ralph Gurney

Judy Crump (her spouse attended on her behalf)

Customer Reference No. 34602336404
File No. 581467AM



128 E Main St., Weiser, ID 83672
Phone: (208)414-1792 Fax: (208)414-1794

TITLE COMMITMENT ATTACHED

Date: September 18, 2023 **File No.:** 581467AM
Property: 12850 Vickery Court, Donnelly, ID 83615
Buyer/Borrower: Joshua Todd Green and Karee Green
Seller: Jim W Garner and Susan M Garner

In connection with the above referenced transaction, we are delivering copies of the Title Commitment to the following parties:

Listing Agent:

Silvercreek Realty Group
1099 S Wells St., Ste. 200
Meridian, ID 83642
Attn: Lucinda McClain

Selling Agent:

Silvercreek Realty Group
1099 S Wells St., Ste. 200
Meridian, ID 83642
Attn: Darcelle Sander

Lender:

TBD

Attn:

Seller:

Jim W Garner and Susan M Garner
916 E 1st St
Emmett, ID 83617

Buyer/Borrower:

Joshua Todd Green and Karee Green

Customer Reference No. 34602336404
File No. 581467AM



128 E Main St., Weiser, ID 83672
Phone: (208)414-1792 Fax: (208)414-1794

Commitment for Title Insurance

Subject to conditions and stipulations contained therein

Your contacts for this transaction are as follows:

Escrow Officer:

Fidelity National Title
April Lane
3715 E Overland Rd., Ste. 100
Meridian, ID 83642
april.lane@fnf.com

Title Officer

Molly Landers
700 S Main St.,
Cascade, ID 83611
molly.landerson@amerititle.com
(208) 382-4206

Email escrow closing documents to:

april.lane@fnf.com

Customer Reference No. 34602336404
File No. 581467AM



128 E Main St., Weiser, ID 83672
Phone: (208)414-1792 Fax: (208)414-1794

In an effort to assure that your transaction goes smoothly, please review the following checklist and contact your Escrow Officer or Title Officer if you answer "Yes" to any of the following:

- ❖ **Will you be using a Power of Attorney?**
- ❖ **Are any of the parties in title incapacitated or deceased?**
- ❖ **Has a change in marital status occurred for any of the principals?**
- ❖ **Will the property be transferred into or from a trust, partnership, corporation or Limited Liability Company?**
- ❖ **Has there been any construction on the property in the last six months?**

Remember, all parties signing documents must have a current driver's license or other valid, government issued photo I.D.



Fidelity National Title Insurance Company

ALTA COMMITMENT FOR TITLE INSURANCE issued by FIDELITY NATIONAL TITLE INSURANCE COMPANY

NOTICE

IMPORTANT—READ CAREFULLY: THIS COMMITMENT IS AN OFFER TO ISSUE ONE OR MORE TITLE INSURANCE POLICIES. ALL CLAIMS OR REMEDIES SOUGHT AGAINST THE COMPANY INVOLVING THE CONTENT OF THIS COMMITMENT OR THE POLICY MUST BE BASED SOLELY IN CONTRACT.

THIS COMMITMENT IS NOT AN ABSTRACT OF TITLE, REPORT OF THE CONDITION OF TITLE, LEGAL OPINION, OPINION OF TITLE, OR OTHER REPRESENTATION OF THE STATUS OF TITLE. THE PROCEDURES USED BY THE COMPANY TO DETERMINE INSURABILITY OF THE TITLE, INCLUDING ANY SEARCH AND EXAMINATION, ARE PROPRIETARY TO THE COMPANY, WERE PERFORMED SOLELY FOR THE BENEFIT OF THE COMPANY, AND CREATE NO EXTRACONTRACTUAL LIABILITY TO ANY PERSON, INCLUDING A PROPOSED INSURED.

THE COMPANY'S OBLIGATION UNDER THIS COMMITMENT IS TO ISSUE A POLICY TO A PROPOSED INSURED IDENTIFIED IN SCHEDULE A IN ACCORDANCE WITH THE TERMS AND PROVISIONS OF THIS COMMITMENT. THE COMPANY HAS NO LIABILITY OR OBLIGATION INVOLVING THE CONTENT OF THIS COMMITMENT TO ANY OTHER PERSON.

COMMITMENT TO ISSUE POLICY

Subject to the Notice; Schedule B, Part I—Requirements; Schedule B, Part II—Exceptions; and the Commitment Conditions, Fidelity National Title Insurance Company, a Florida corporation (the "Company"), commits to issue the Policy according to the terms and provisions of this Commitment. This Commitment is effective as of the Commitment Date shown in Schedule A for each Policy described in Schedule A, only when the Company has entered in Schedule A both the specified dollar amount as the Proposed Amount of Insurance and the name of the Proposed Insured.

If all of the Schedule B, Part I—Requirements have not been met within 180 days after the Commitment Date, this Commitment terminates and the Company's liability and obligation end.

Fidelity National Title Insurance Company

Issuing Agent: AmeriTitle, LLC

Molly Landers
Authorized Signatory

By: *Michael J. Nolan*
Michael J. Nolan
President

ATTEST: *Marjorie Nemzura*
Marjorie Nemzura
Secretary

This page is only a part of a 2021 ALTA Commitment for Title Insurance issued by Fidelity National Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I—Requirements; and Schedule B, Part II—Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

27C170B

ALTA Commitment for Title Insurance (7-1-21)

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Fidelity National Title Insurance Company

COMMITMENT CONDITIONS

1. DEFINITIONS

- a. "Discriminatory Covenant": Any covenant, condition, restriction, or limitation that is unenforceable under applicable law because it illegally discriminates against a class of individuals based on personal characteristics such as race, color, religion, sex, sexual orientation, gender identity, familial status, disability, national origin, or other legally protected class.
- b. "Knowledge" or "Known": Actual knowledge or actual notice, but not constructive notice imparted by the Public Records.
- c. "Land": The land described in Item 5 of Schedule A and improvements located on that land that by State law constitute real property. The term "Land" does not include any property beyond that described in Schedule A, nor any right, title, interest, estate, or easement in any abutting street, road, avenue, alley, lane, right-of-way, body of water, or waterway, but does not modify or limit the extent that a right of access to and from the Land is to be insured by the Policy.
- d. "Mortgage": A mortgage, deed of trust, trust deed, security deed, or other real property security instrument, including one evidenced by electronic means authorized by law.
- e. "Policy": Each contract of title insurance, in a form adopted by the American Land Title Association, issued or to be issued by the Company pursuant to this Commitment.
- f. "Proposed Amount of Insurance": Each dollar amount specified in Schedule A as the Proposed Amount of Insurance of each Policy to be issued pursuant to this Commitment.
- g. "Proposed Insured": Each person identified in Schedule A as the Proposed Insured of each Policy to be issued pursuant to this Commitment.
- h. "Public Records": The recording or filing system established under State statutes in effect at the Commitment Date under which a document must be recorded or filed to impart constructive notice of matters relating to the Title to a purchaser for value without Knowledge. The term "Public Records" does not include any other recording or filing system, including any pertaining to environmental remediation or protection, planning, permitting, zoning, licensing, building, health, public safety, or national security matters.
- i. "State": The state or commonwealth of the United States within whose exterior boundaries the Land is located. The term "State" also includes the District of Columbia, the Commonwealth of Puerto Rico, the U.S. Virgin Islands, and Guam.
- j. "Title": The estate or interest in the Land identified in Item 3 of Schedule A.

2. If all of the Schedule B, Part I—Requirements have not been met within the time period specified in the Commitment to Issue Policy, this Commitment terminates and the Company's liability and obligation end.

3. The Company's liability and obligation is limited by and this Commitment is not valid without:

- a. the Notice;
- b. the Commitment to Issue Policy;
- c. the Commitment Conditions;
- d. Schedule A;
- e. Schedule B, Part I—Requirements; and
- f. Schedule B, Part II—Exceptions; and
- g. a counter-signature by the Company or its issuing agent that may be in electronic form.

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AMERICAN
LAND TITLE
ASSOCIATION





Fidelity National Title Insurance Company

4. COMPANY'S RIGHT TO AMEND

The Company may amend this Commitment at any time. If the Company amends this Commitment to add a defect, lien, encumbrance, adverse claim, or other matter recorded in the Public Records prior to the Commitment Date, any liability of the Company is limited by Commitment Condition 5. The Company is not liable for any other amendment to this Commitment.

5. LIMITATIONS OF LIABILITY

- a. The Company's liability under Commitment Condition 4 is limited to the Proposed Insured's actual expense incurred in the interval between the Company's delivery to the Proposed Insured of the Commitment and the delivery of the amended Commitment, resulting from the Proposed Insured's good faith reliance to:
 - i. comply with the Schedule B, Part I—Requirements;
 - ii. eliminate, with the Company's written consent, any Schedule B, Part II—Exceptions; or
 - iii. acquire the Title or create the Mortgage covered by this Commitment.
- b. The Company is not liable under Commitment Condition 5.a. if the Proposed Insured requested the amendment or had Knowledge of the matter and did not notify the Company about it in writing.
- c. The Company is only liable under Commitment Condition 4 if the Proposed Insured would not have incurred the expense had the Commitment included the added matter when the Commitment was first delivered to the Proposed Insured.
- d. The Company's liability does not exceed the lesser of the Proposed Insured's actual expense incurred in good faith and described in Commitment Condition 5.a. or the Proposed Amount of Insurance.
- e. The Company is not liable for the content of the Transaction Identification Data, if any.
- f. The Company is not obligated to issue the Policy referred to in this Commitment unless all of the Schedule B, Part I—Requirements have been met to the satisfaction of the Company.
- g. The Company's liability is further limited by the terms and provisions of the Policy to be issued to the Proposed Insured.

6. LIABILITY OF THE COMPANY MUST BE BASED ON THIS COMMITMENT; CHOICE OF LAW AND CHOICE OF FORUM

- a. Only a Proposed Insured identified in Schedule A, and no other person, may make a claim under this Commitment.
- b. Any claim must be based in contract under the State law of the State where the Land is located and is restricted to the terms and provisions of this Commitment. Any litigation or other proceeding brought by the Proposed Insured against the Company must be filed only in a State or federal court having jurisdiction.
- c. This Commitment, as last revised, is the exclusive and entire agreement between the parties with respect to the subject matter of this Commitment and supersedes all prior commitment negotiations, representations, and proposals of any kind, whether written or oral, express or implied, relating to the subject matter of this Commitment.
- d. The deletion or modification of any Schedule B, Part II—Exception does not constitute an agreement or obligation to provide coverage beyond the terms and provisions of this Commitment or the Policy.
- e. Any amendment or endorsement to this Commitment must be in writing and authenticated by a person authorized by the Company.
- f. When the Policy is issued, all liability and obligation under this Commitment will end and the Company's only liability will be under the Policy.

This page is only a part of a 2021 ALTA Commitment for Title Insurance issued by Fidelity National Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I—Requirements; and Schedule B, Part II—Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

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ALTA Commitment for Title Insurance (7-1-21)

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Fidelity National Title Insurance Company

7. IF THIS COMMITMENT IS ISSUED BY AN ISSUING AGENT

The issuing agent is the Company's agent only for the limited purpose of issuing title insurance commitments and policies. The issuing agent is not the Company's agent for closing, settlement, escrow, or any other purpose.

8. PRO-FORMA POLICY

The Company may provide, at the request of a Proposed Insured, a pro-forma policy illustrating the coverage that the Company may provide. A pro-forma policy neither reflects the status of Title at the time that the pro-forma policy is delivered to a Proposed Insured, nor is it a commitment to insure.

9. CLAIMS PROCEDURES

This Commitment incorporates by reference all Conditions for making a claim in the Policy to be issued to the Proposed Insured. Commitment Condition 9 does not modify the limitations of liability in Commitment Conditions 5 and 6.

10. CLASS ACTION

ALL CLAIMS AND DISPUTES ARISING OUT OF OR RELATING TO THIS COMMITMENT, INCLUDING ANY SERVICE OR OTHER MATTER IN CONNECTION WITH ISSUING THIS COMMITMENT, ANY BREACH OF A COMMITMENT PROVISION, OR ANY OTHER CLAIM OR DISPUTE ARISING OUT OF OR RELATING TO THE TRANSACTION GIVING RISE TO THIS COMMITMENT, MUST BE BROUGHT IN AN INDIVIDUAL CAPACITY. NO PARTY MAY SERVE AS PLAINTIFF, CLASS MEMBER, OR PARTICIPANT IN ANY CLASS OR REPRESENTATIVE PROCEEDING. ANY POLICY ISSUED PURSUANT TO THIS COMMITMENT WILL CONTAIN A CLASS ACTION CONDITION.

11. ARBITRATION

The Policy contains an arbitration clause. All arbitrable matters when the Proposed Amount of Insurance is \$2,000,000 or less may be arbitrated at the election of either the Company or the Proposed Insured as the exclusive remedy of the parties. A Proposed Insured may review a copy of the arbitration rules at <http://www.alta.org/arbitration>.

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Transaction Identification Data, for which the Company assumes no liability as set forth in Commitment Condition 5.e.:

Issuing Agent: AmeriTitle, LLC
Issuing Office: 700 S Main St., Cascade, ID 83611
Customer Reference No.: 34602336404
Issuing Office File Number: 581467AM
Property Address: 12850 Vickery Court, Donnelly, ID 83615
Commitment No.: 5

SCHEDULE A

1. Commitment date: **September 13, 2023 at 7:30 A.M.**

2. Policy to be issued:

(a) 2021 ALTA Owner's Policy Standard Coverage Extended Coverage

Proposed Policy Amount: \$1,000,000.00
Premium: \$3,183.00

Proposed Insured:
Joshua Todd Green and Karee Green

(b) 2021 ALTA Loan Policy Standard Coverage Extended Coverage

Proposed Policy Amount: \$750,000.00
Premium: \$804.00

Endorsements: ALTA 8.1-06, 9-06 and 22-06
Premium: \$50.00

Proposed Insured:
Lender with contractual obligations under a loan agreement with the Proposed Insured identified at Schedule A, Item 2(a)

3. The estate or interest in the Land at the Commitment Date is:

FEE SIMPLE

4. The Title is, at the Commitment Date, vested in:

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Jim W. Garner and Susan M. Garner, co-trustees of the Jim W. and Susan M. Garner Trust u/t/a 5-2-94 and The heirs or devisees of Jim W. Garner, deceased, their interest being subject to the administration of the estate of said decedent and Susan M. Garne

5. The Land is described as follows:

See attached Exhibit 'A'

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SCHEDULE B, PART I REQUIREMENTS

All of the following Requirements must be met:

1. The Proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.
2. Pay the agreed amount for the estate or interest to be insured.
3. Pay the premiums, fees, and charges for the Policy to the Company.
4. Documents satisfactory to the Company that convey the Title or create the Mortgage to be insured, or both, must be properly authorized, executed, delivered, and recorded in the Public Records.
5. Additional requirements and/or exceptions may be added as details of the transaction are disclosed to, or become known by the Company.
6. The company will require completion of an Owners Affidavit and Indemnity by the owners of the property herein described.

NOTES

- A. Any map or sketch enclosed as an attachment herewith is furnished for informational purposes only to assist in property location with reference to streets and other parcels. No representation is made as to accuracy and the company assumes no liability for any loss occurring by reason of reliance thereon.
- B. In the event this transaction fails to close and this commitment is cancelled a fee will be charged complying with the state insurance code.
- C. According to the available County Assessor's Office records, the purported address of said land is: 12850 Vickery Court, Donnelly, ID 83615
- D. We find the following activity in the past 24 months regarding transfer of title to subject property:
Warranty Deed:
Grantor: Mary Ellen Walker as PR of Edna Loraine Vickery aka Lorraine Vickery and George Melvin Vickery deceased
Grantee: Jim W. Garner and Susan M. Garner, husband and wife
Recorded: 21st day of March, 2023
Instrument No.: 456034
- E. As of the date hereof there are no matters against Joshua Todd Green which would appear as exceptions in the policy to issue, except as shown herein.

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**SCHEDULE B, PART II
EXCEPTIONS**

Some historical land records contain Discriminatory Covenants that are illegal and unenforceable by law. This Commitment and the Policy treat any Discriminatory Covenant in a document referenced in Schedule B as if each Discriminatory Covenant is redacted, repudiated, removed, and not republished or recirculated. Only the remaining provisions of the document will be excepted from coverage.

The Policy will not insure against loss or damage resulting from the terms and provisions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

1. Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I—Requirements are met.
2. Rights or claims of parties in possession not shown by the public records.
3. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land.
4. Easements, or claims of easements, not shown by the public records.
5. Any lien, or right to a lien, for services, labor, or material heretofore or hereafter furnished, imposed by law and not shown by the public records.
6. Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights or easements appurtenant to water rights, claims or title to water, whether or not the matters excepted under (a), (b), or (c) are shown by the public records.
7. Taxes or special assessments which are not shown as existing liens by the public records of any taxing authority that levies taxes or assessments on real property or by the public records. Proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the public records.
8. General Taxes, including any assessment collected therewith. The first installment is not delinquent until after December 20th of the tax year, the second installment is not delinquent until after June 20th of the subsequent year.

Amounts shown do not include interest or penalty if delinquent.

Parcel Number: RP16N03E279491

Year: 2022

Annual Taxes billed: \$554.02

First Half Taxes Payment Status: Paid

First Half Tax Amount: \$277.01

Second Half Taxes Payment Status: Due

Second Half Tax Amount: \$277.01

Taxes as billed include the following exemptions: None

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9. General Taxes, including any assessment collected therewith. The first installment is not delinquent until after December 20th of the tax year, the second installment is not delinquent until after June 20th of the subsequent year.

Amounts shown do not include interest or penalty if delinquent.

Parcel Number: RP16N03E279505

Year: 2022

Annual Taxes billed: \$1,275.38

First Half Taxes Payment Status: Paid

First Half Tax Amount: \$568.40

Second Half Taxes Payment Status: Due

Second Half Tax Amount: \$568.40

Taxes as billed include the following exemptions: None

10. The Land described in this commitment/policy shall not be deemed to include any house trailer or mobile home standing on the premises.

11. General Taxes, including any assessment collected therewith. The first installment is not delinquent until after December 20th of the tax year, the second installment is not delinquent until after June 20th of the subsequent year.

Amounts shown do not include interest or penalty if delinquent.

Parcel Number: RP00356000000A

Year: 2022

Annual Taxes billed: \$109.18

First Half Taxes Payment Status: Paid

First Half Tax Amount: \$54.59

Second Half Taxes Payment Status: Due

Second Half Tax Amount: \$54.59

Taxes as billed include the following exemptions: None

12. Taxes, including any assessments collected therewith, for the year 2023 which are a lien not yet due and payable.

13. Reservations or exceptions as disclosed in Patent from the United States of America, more particularly described as follows

A. The reservations of a perpetual easement and flowage right, including the permanent right to construct, reconstruct, operate, and maintain a reservoir thereon and to flood the same with the water of said reservoir and to seep, erode, or otherwise damage the Land by action of the existing Cascade Reservoir.

B. The reservation of the covenant or burden running with the above described Land of the subordination of all claims for damages against the United States sustained by such Land or structures thereon by reason of the operation and maintenance of the Cascade Dam and Reservoir as presently constructed.

C. The reservation of a right of way for ditches or canals constructed or to be constructed by the authority of the United States, this reservation being of the same character and scope as that created with respect to certain public lands by the Act of August 30, 1890 (26 Stat. 371, 391), as it has been or may hereafter be amended.

D. The reservation of presently used rights of way for canals, ditches, flumes, pipelines, railroads, highways, roads, telephone, and power transmission lines, created in favor of the public or public utilities.

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14. Easements, reservations, notes and/or dedications as shown on the official plat of Vickery Subdivision.
15. The provisions contained in Declaration of Private Road,
Recorded: May 9, 1983,
Instrument No.: 127730.
16. The provisions contained in Judgment,
Recorded: January 29, 2002,
Instrument No.: 260065.
As follows: Quiet title to easement.
17. Easements reservations and dedications, as shown on record of survey.
Recorded: August 7, 2007
Instrument No.: 323962
18. Access to forever right-of-way for pedestrian and vehicular ingress and egress, including the terms and provisions thereof, affecting the portion of said premises and for the purposes stated therein as set forth in instrument:
Granted To: Owners of lot #RP16N03E279491A
Recorded: April 11, 2008
Instrument No.: 330683

END OF SCHEDULE B

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EXHIBIT 'A'

File No. 581467AM

PARCEL 1:
RP16N03E279491

A tract of land in the SE1/4 of Section 27, Township 16 North, Range 3 East, Boise Meridian, Valley County, Idaho more particularly described as follows:

Beginning at the Northeast corner of SE1/4 SE1/4, Section 27, Township 16 North, Range 3 East, Boise Meridian, Valley County, Idaho; Thence, West on the North line of SE1/4 SE1/4 a distance of 990 feet; Thence South parallel to the East line of said SE1/4 SE1/4, a distance of 660 feet; Thence East a distance of 165 feet to the REAL POINT OF BEGINNING; Thence continuing East a distance of 190 feet; Thence North a distance of 135 feet; Thence West a distance of 150 feet; Thence Southwesterly to the REAL POINT OF BEGINNING.

Aka easterly portion of tax #5B

Together with easement as described on official plat of Vickery Subdivision as filed for record in the office of the Recorder of Valley County, Idaho as Instrument No. 127729; AND the 20 foot easement for ingress and egress, as filed for record in the office of the Recorder of Valley County, Idaho on April 11, 2008 as Instrument No. 330683.

PARCEL 2:
RP16N03E279505

Commencing at the Northwest corner of the Southeast Quarter of the Southeast Quarter of Section 27, Township 16 North, Range 3 East. Boise Meridian, Valley County, Idaho, the Real Point of Beginning; thence East 330 feet; thence South 660 feet; thence East 330 feet; thence South 165 feet; thence West 330 feet; thence on a diagonal line to a point which is 990 feet South of the Real Point of Beginning; thence North 990 feet to the POINT OF BEGINNING.

SAVE AN EXCEPT Vickery Subdivision, including roads and access, utility and drainage easement.

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FURTHER SAVE AND EXCEPT a parcel of land in the SE1/4 SE1/4 of Section 27, Township 16 North, Range 3 East, Boise Meridian, Valley County, Idaho more particularly described as follows: Beginning at the NW corner of said SE1/4 SE1/4, Section 27, thence South 70 feet to the Real Point of Beginning; thence southerly along the West side of said SE1/4 SE1/4 a distance of 167.5 feet; thence easterly parallel to the North side of said SE1/4 SE1/4 a distance of 260.0 feet; thence northerly parallel to the West side of said SE1/4 SE1/4 a distance of 167.5 feet; thence westerly parallel to the North side of said SE1/4 SE1/4 a distance of 260.0 feet to the Real Point of Beginning.

FURTHER SAVE AND EXCEPT THE COUNTY ROAD

Together with easement as described on official plat of Vickery Subdivision, as filed for record in the office of the Recorder of Valley County, Idaho as Instrument No. 127729.

Parcel 3

RP00356000000A

All that parcel shown and described as Vickery Lane on the official plat of Vickery Subdivision, as filed for record in the office of the Recorder of Valley County, Idaho as Instrument No. 127729

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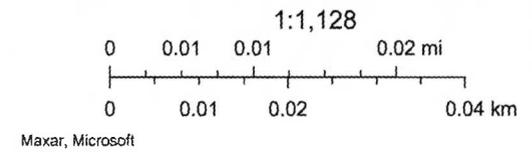
Assessor's Map & Parcel Viewer

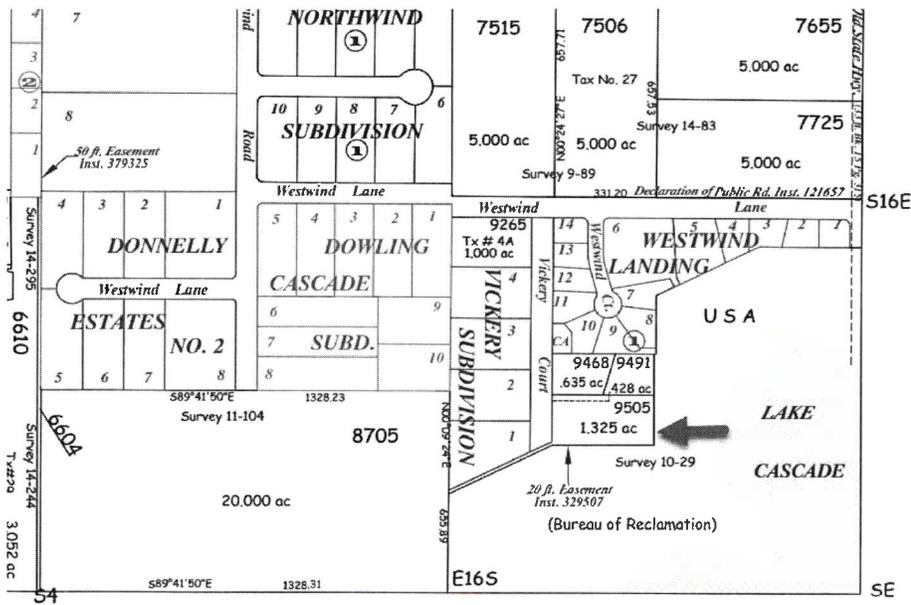


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• Address Points

▭ Parcel Summary & Improvement Report





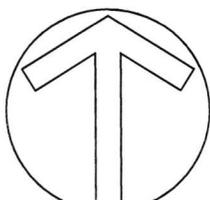
27

VALLEY COUNTY
 Cartography Dept.
 Assessor's Office
 Cascade, ID 83611

Filename:
 Valley County Base Map
 Scale: 1" = 400 ft.
 Date: 7/27/2023
 Drawn by: L Frederick

For Reference Purposes ONLY. The County is NOT Responsible for Any Inaccuracies Contained Herein.

PROJECT LOCATION

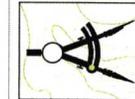


VICINITY MAP

SCALE: 1 IN = 300' FT

REVISION DATE

THE LAND ARCHITECT
DESIGN | ENTITLE | DEVELOP
THELANDARCHITECT.COM



TLA 23-46
DONNELLY

VICKERY CT - LOT
SPLITS

ENTITLEMENT APPLICATION
08 / 20 / 2025

LICENSED
ARCHITECT
AR-985897

ANDREW R. WHEELER
STATE OF IDAHO

VICINITY MAP

WILDLAND URBAN INTERFACE FIRE PROTECTION PLAN

10-7-1: PURPOSE:

Valley County's community wildfire protection plan acknowledges that wildfire hazard areas exist throughout the county. Therefore, wildfire mitigation actions are prudent to enable safe habitation in these fire environments. The Valley County fire working group recommends that a requirement for the development and approval of a wildland urban interface fire protection plan be added as an addendum to the Valley County subdivision regulations ordinance. The existence of said plan will assist the Valley County planning and zoning commission and the structural fire districts in satisfying the current subdivision regulation, subsection [10-3-2-6D7](#) of this title. (Ord. 10-07, 8-26-2010)

10-7-2: DEFINITIONS:

APPROVED: Refers to approval as the result of review, inspection or tests by reason of accepted principles.

ASPECT: Generally, refers to the direction to which a mountain slope faces. For example: A slope that faces the sun in the afternoon has a westerly aspect or is a west facing slope.

DEFENSIBLE SPACE: Refers to that area between a building and an oncoming wildfire where the vegetation has been modified to reduce the wildfire threat and to provide an opportunity for firefighters to effectively defend the building.

FORESTED: Idaho Code title 38, chapter 1 (Idaho forestry act) defines "forestland" as meaning "any land which has upon it sufficient brush or flammable forest growth of any kind or size, living or dead, standing or down, including debris or growth following a fire or removal of forest products, to constitute a fire menace to life (including animal) or property".

FUEL BREAK: An area, strategically located for fighting anticipated wildfires, where the vegetation has been modified or removed so that fires burning into it can be more easily controlled. Fuel breaks may divide fire prone areas into smaller areas for easier fire control and to provide access for firefighting.

PROFESSIONAL: Can include qualified professional forester, fire ecologist, or comparable experience. Professionals can be prequalified by the commission or recommended by the Valley County fire working group and kept on record at the planning and zoning office.

PROFESSIONAL FORESTER: An individual holding at least a Bachelor of Science degree in forestry from an accredited four (4) year institution. (This is consistent with Idaho state tax commission rule 960 of the Idaho administrative code, Idaho state tax commission, PDAPA 35.01.03, section 04.)

SLOPE: The variation of terrain from the horizontal; the number of feet of rise or fall per one hundred feet (100') measured horizontally, expressed as a percentage.

STRUCTURE: That which is built or constructed, an edifice or building of any kind or any piece of work artificially built up or composed or parts joined together in some manner.

VALLEY COUNTY FIRE WORKING GROUP: This group is given charter by the Valley County board of commissioners and is tasked with oversight of the community wildfire protection plan. This group is represented by local fire departments, SITPA, public land managers (USFS, IDL, BOR), bureau of homeland security, West Central Highlands RC&D, Valley County Natural Resource Consultants, etc.

WILDFIRE: An uncontrolled fire spreading through vegetative fuels, exposing and possibly consuming structures.

WILDLAND URBAN INTERFACE AREA: That geographical area where structures and other human development meets or intermingles with wildland or vegetative fuels. (Ord. 10-07, 8-26-2010)

10-7-3: BASIS FOR RECOMMENDATION:

Valley County adopted the 2006 international fire code, which references the international wildland urban interface when dealing with wildlands. The following addendum's structure set out in section [10-7-4](#) of this chapter is based on the 2006 wildland urban interface area requirements section 405. (Ord. 10-07, 8-26-2010)

10-7-4: SUBMISSION REQUIREMENTS:

- A. General: All developers of proposed subdivisions shall provide a wildland urban interface fire protection plan (the plan) for review and approval by the planning and zoning commission with their preliminary plat application or planned unit development submittal.
- B. Content: The plan shall be based upon a site-specific wildfire risk assessment that includes consideration of location, topography, aspect, flammable vegetation, climatic conditions and fire history. The plan shall address water supply, access, fire protection systems and equipment, defensible space, and vegetation management.
- 1. Preparation: The plan shall be developed by a "professional" (see definition in section 10-7-2 of this chapter). Professionals can be prequalified by the commission and a list will be maintained at the Valley County planning and zoning office.
- 2. Format: The plan shall consist of two (2) sections:

a. Wildfire Risk Assessment: This portion of the plan includes a map and narrative describing the status of the land to be developed. At a minimum, the following must be included:

- (1) Topographic map. Use blank map format included on the last page.
- (2) Site description including discussion of slope(s), aspect(s), and significant topographic features.

The Vickery Court project area consists of gently to moderately sloping terrain typical of

- (3) Narrative describing existing vegetation and fuel hazards, distribution, and continuity. +

Existing vegetation on the site consists primarily of mixed native grasses, shrubs, and scattered coniferous trees common to the Donnelly area. Fuels are generally continuous in undeveloped portions of the site, particularly within understory grasses and low brush.

- (4) Fire history, including historical occurrence, causes, typical wind and climatic conditions which influence fire behavior. +

The Donnelly area has experienced periodic wildland fire activity consistent with forested regions of Valley County. Fires in the region are typically influenced by dry summer conditions, seasonal drought, and wind events. Common ignition sources include lightning.

(5) Existing roads and bridges, including a description of widths, grade percentages and weight limits.

Access to the site is provided by existing local roadways designed to accommodate residential traffic. Road widths are generally sufficient for passenger vehicles and emergency access, though grades vary slightly with natural terrain. No bridges with known weight

(6) Location of existing structures and an estimate of the proposed density, types and sizes of planned structures.

Existing structures in the vicinity consist primarily of low-density residential homes typical of rural Valley County development. Proposed development will introduce additional residential structures at a density consistent with county zoning requirements. Structures

(7) Infrastructure that may affect wildland fire risk (i.e., existing power lines, railroad lines, propane tanks, etc.).

Existing infrastructure within and near the site includes overhead and/or underground utility lines serving nearby residences. These utilities represent potential ignition sources during wind or storm events if not properly maintained. No railroad lines or major industrial

(8) Description of existing features that may assist in controlling a wildfire (i.e., fuel breaks, water sources, etc.).

Existing features that may assist wildfire control include cleared road corridors and previously disturbed areas with reduced vegetation density. These features can act as informal fuel breaks during a wildfire event. Nearby open spaces and road intersections may

(9) Current structural and wildland fire jurisdictional agencies.

The project site falls within the service area of the appropriate Valley County rural fire protection district. Wildland fire response may also involve Idaho Department of Lands (IDL) and other cooperating agencies depending on fire size and conditions. Coordination

(10) Effect of proposed development on current wildland fire risk within the development area and to adjacent landowners.

Proposed development may increase wildfire exposure due to the introduction of structures within a wildland setting. However, implementation of defensible space, fuel reduction, and access improvements is expected to reduce overall wildfire risk. Proper mitigat

b. Wildfire Risk Mitigation: This portion of the plan includes a map(s) and narrative detailing planned wildfire hazard mitigation actions to be taken by the developer prior to individual lot development to mitigate risks to life and property from wildland fire. Specific items to be addressed include:

(11) Access - planned ingress and egress routes.

The development will provide clearly defined ingress and egress routes designed to accommodate emergency vehicles. Road layouts will allow for safe evacuation and fire apparatus access during wildfire events. Turnarounds and intersections will be designed to

(12) Water supply for structural and wildland fire response.

Water for fire protection will be provided through a combination of on-site water systems and approved fire suppression resources. This may include wells, storage tanks, or other approved water sources depending on final engineering design. Water supply system

(13) Estimated response time and distances for jurisdictional fire agencies.

Estimated response times for structural fire services are consistent with rural Valley County standards. Travel distances from the serving fire station reflect typical response conditions for the Donnelly area. Response times may vary based on weather, road condi

(14) Planned internal fire protection systems and/or equipment, including buried tanks, wells, hydrants, drylines, etc., along with protective measures for systems and/or equipment.

Planned fire protection measures may include hydrants, drylines, buried water tanks, or other approved systems as required. All systems will be clearly marked and protected from damage or obstruction. Equipment placement will prioritize accessibility for emerge

(5) Proposed infrastructure, including bridge standards, road widths, grades, signage, aboveground/belowground power lines, etc.

Roads will be constructed to meet required widths, grades, and surface standards for er

(6) Safety zone locations.



Safety zones will be designated in open areas with reduced vegetation and adequate clearance. These zones will provide refuge areas for occupants and firefighters during emergency conditions. Locations will be selected based on accessibility and fuel condition

(7) Planned live and dead fuel treatment actions, including modification through thinning, pruning, piling, chipping, and fuel break construction; and removal through commercial harvest, chipping and hauling or prescribed burning.

Fuel reduction measures will include thinning of trees, removal of dead vegetation, and pruning of lower branches. Grasses and shrubs will be managed to reduce fuel continuity near structures and roads. Mechanical treatment methods such as chipping or hauling

(8) Long term maintenance schedule to sustain fuel treatment effectiveness.

Long-term maintenance will include periodic inspection and treatment of vegetation to maintain defensible space standards. Property owners will be responsible for ongoing fuel management within designated areas. Maintenance activities will be scheduled seasonally

(9) Analysis of the overall change in wildland fire risk within the development and to adjacent landowners once the planned mitigation actions are implemented.

With the implementation of proposed mitigation measures, overall wildfire risk within the development is expected to decrease. Reduced fuel loads, improved access, and reliable water supplies will enhance firefighting effectiveness. Adjacent landowners may also

3. Submittal, Implementation and Verification:

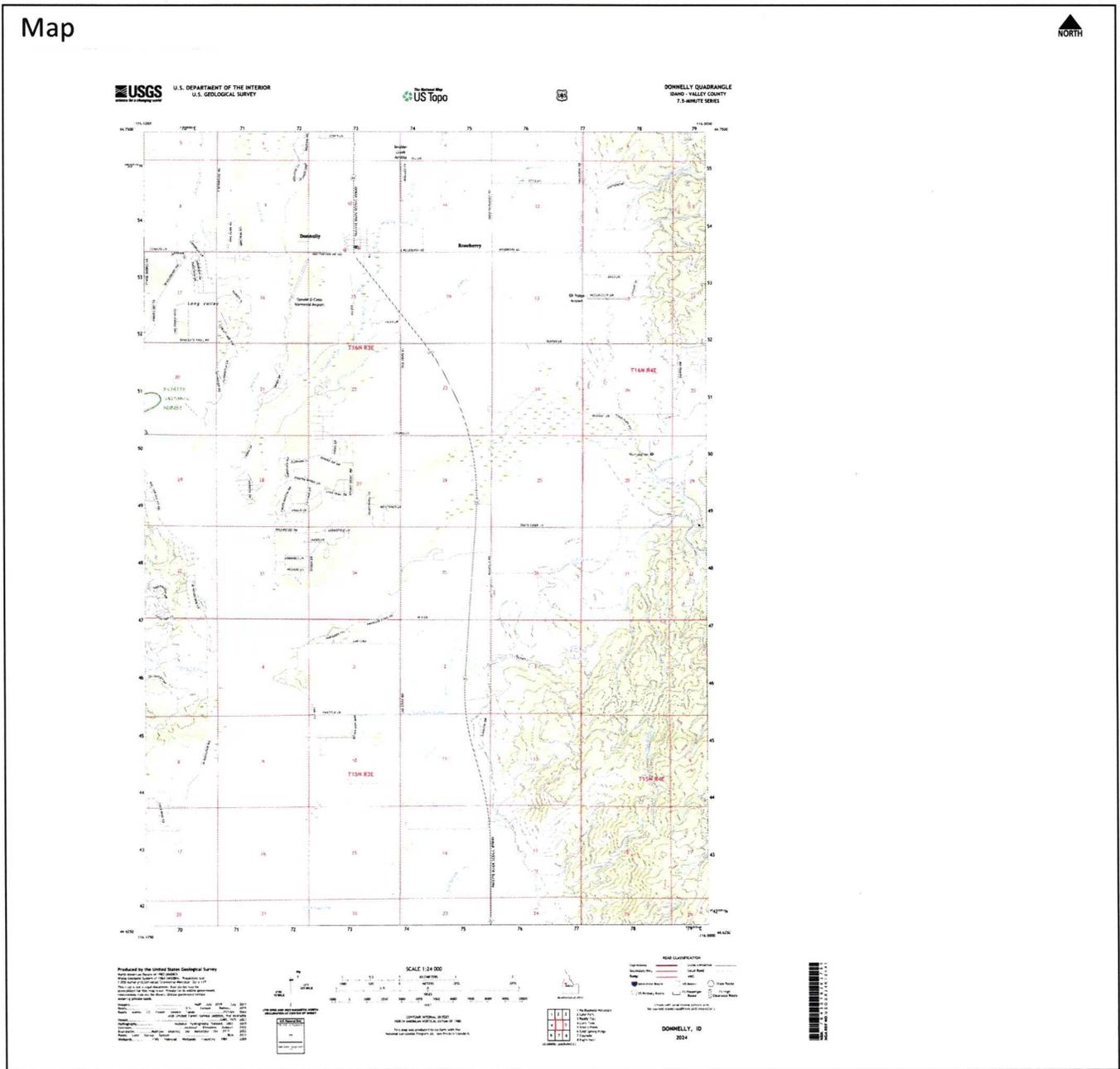
- a. The plan shall be submitted with the preliminary plat application to the Valley County planning and zoning office.
- b. Planned mitigation work must be completed or financially guaranteed prior to the recordation of the final plat. A schedule for the phased completion of mitigation work may be approved in conjunction with recordation of final plats.
- c. Verification of completed implementation of mitigation actions will be the responsibility of the jurisdictional structural fire district. Where no structural fire district exists, the Valley County sheriff shall appoint a county representative.

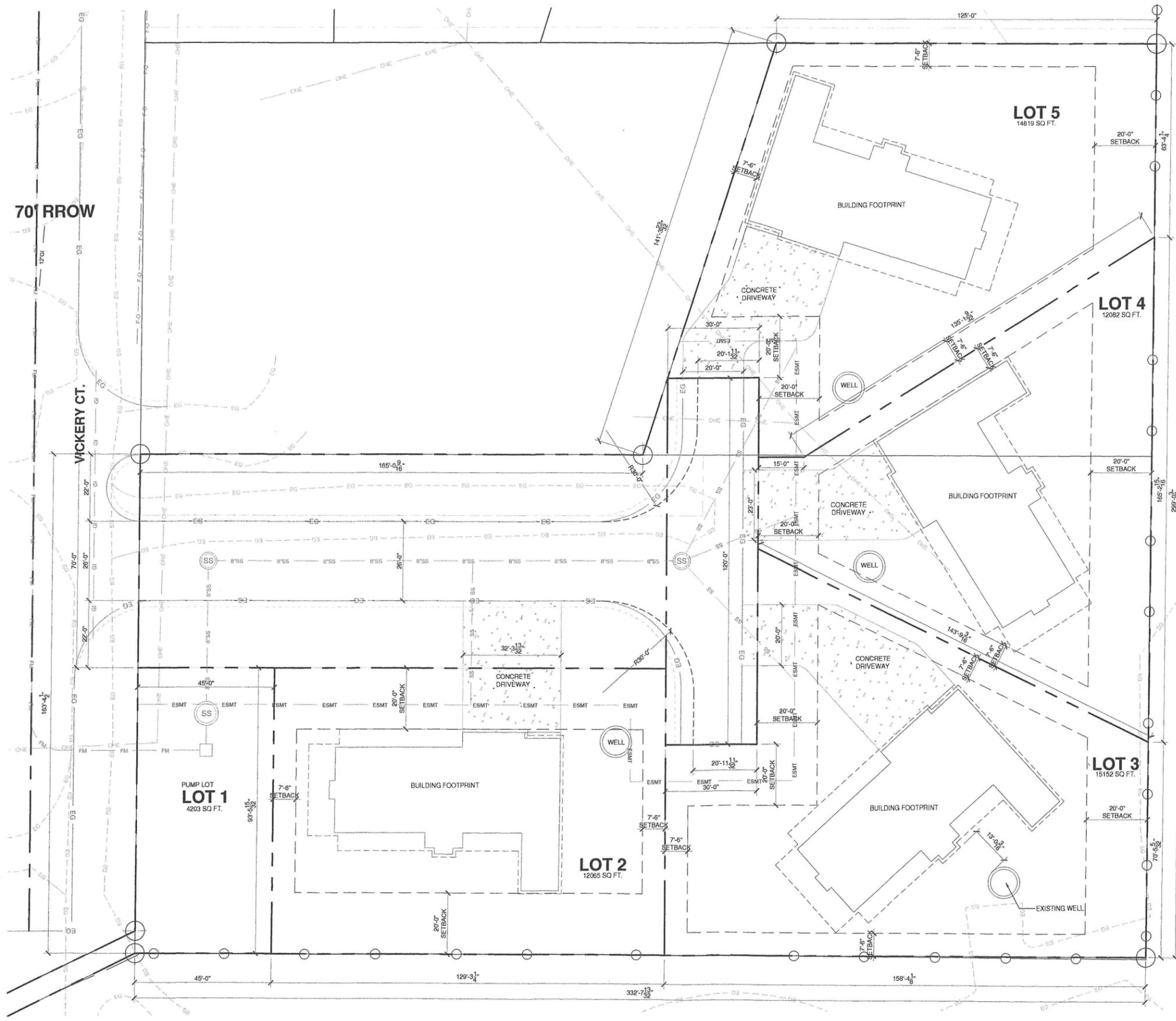
4. Exceptions: Proposed administrative plats of less than five (5) lots and proposed subdivisions with lands less than twenty percent (20%) "forested" (see definition in section 10-7-2 of this chapter) are exempt from the **professional requirement**. For proposed subdivisions fitting these descriptions, the developer may complete the plan (see the fire protection form). The plan for an administrative plat can be approved by the administrator upon receiving an approval letter from the fire district.

5. Cost: The cost and implementation of the plan preparation shall be the responsibility of the applicant.

6. Plan Retention: The approved plan shall be retained at the Valley County planning and zoning office and the jurisdictional fire district or designated agency where no fire district exists. (Ord. 10-07, 8-26-2010)

Use additional pages as necessary. If you have map already constructed, it may be used instead.





PLAN PREPARED BY APPLICANT

ANDREW WHEELER
THE LAND ARCHITECT
9201 W. STATE ST.
BOISE, ID 83714
855-787-6636
ANDREW@THELANDARCHITECT.COM

PROJECT SITE

TOTAL AREA : APPROXIMATELY 77,082 SF

SUMMARY:

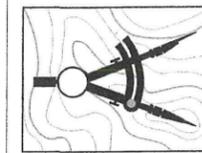
PROPOSED LOT SIZE

LOT 1 = 4,203 SF
LOT 2 = 12,065 SF
LOT 3 = 15,152 SF
LOT 4 = 12,082 SF
LOT 5 = 14,819 SF

PROPOSED BUILDINGS

SHIPPY RESIDENCE UNIT = APPROX. 2,525 SF

THE LAND ARCHITECT
DESIGN | ENTITLE | DEVELOP
THELANDARCHITECT.COM



TLA 23-46
DONNELLY

VICKERY CT - LOT SPLITS
6725 W. SAXTON BOISE, ID 83714

ENTITLEMENT APPLICATION
08 / 20 / 2025

LICENSED ARCHITECT
AR-985897

ANDREW R. WHEELER
STATE OF IDAHO

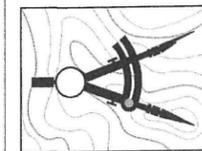
SHEET NAME

A100



SITE PLAN
SCALE: 1/16" = 1'-0"

VICINITY MAP
SCALE: N.T.S.

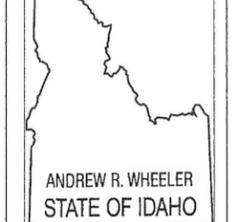


TLA 23-46
DONNELLY

VICKERY CT - LOT
SPLITS
6725 W. SAXTON BOISE, ID 83714

ENTITLEMENT APPLICATION
08 / 20 / 2025

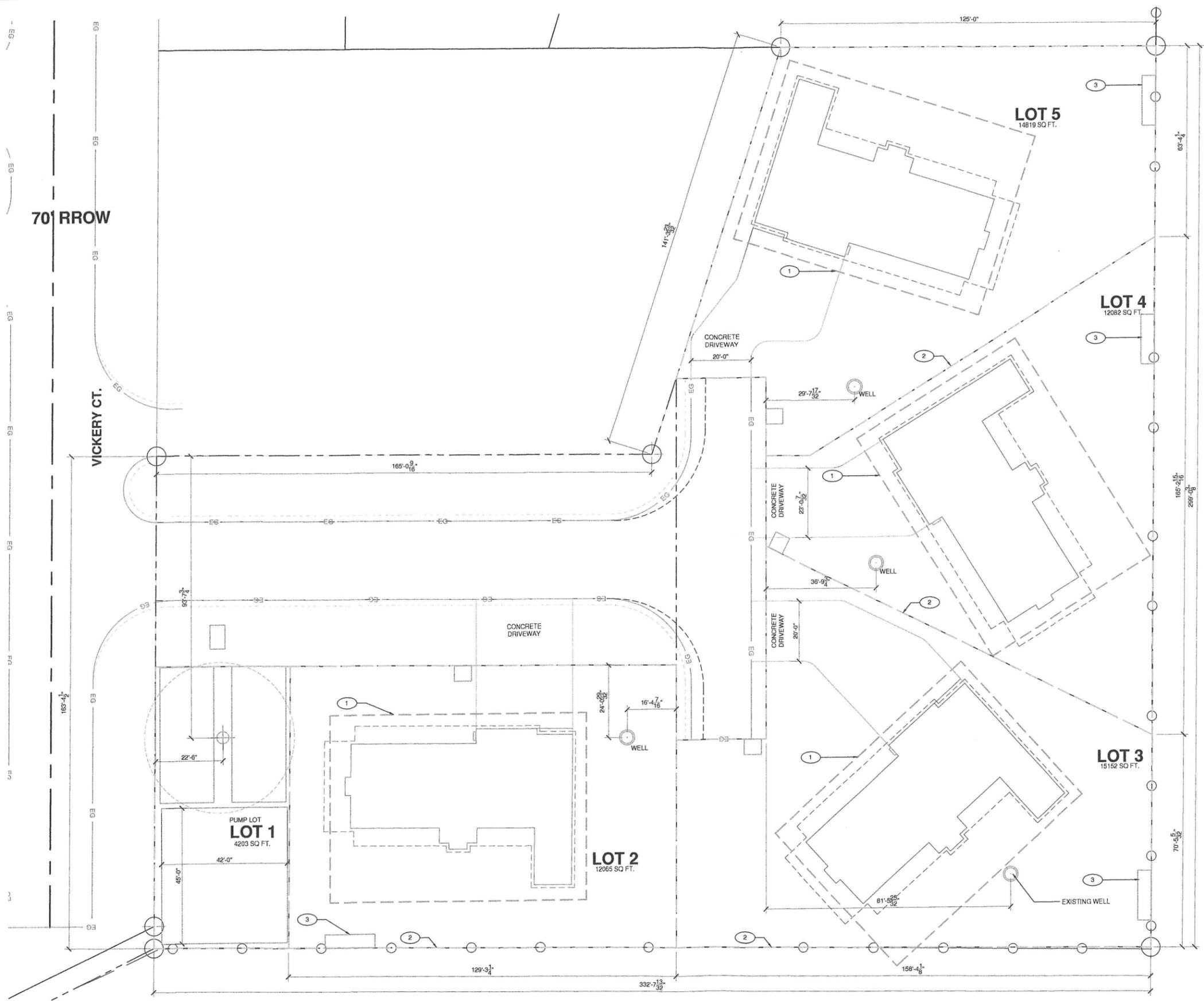
LICENSED
ARCHITECT
AR-985897



ANDREW R. WHEELER
STATE OF IDAHO

WILD FIRE
PROTECTION
PLAN

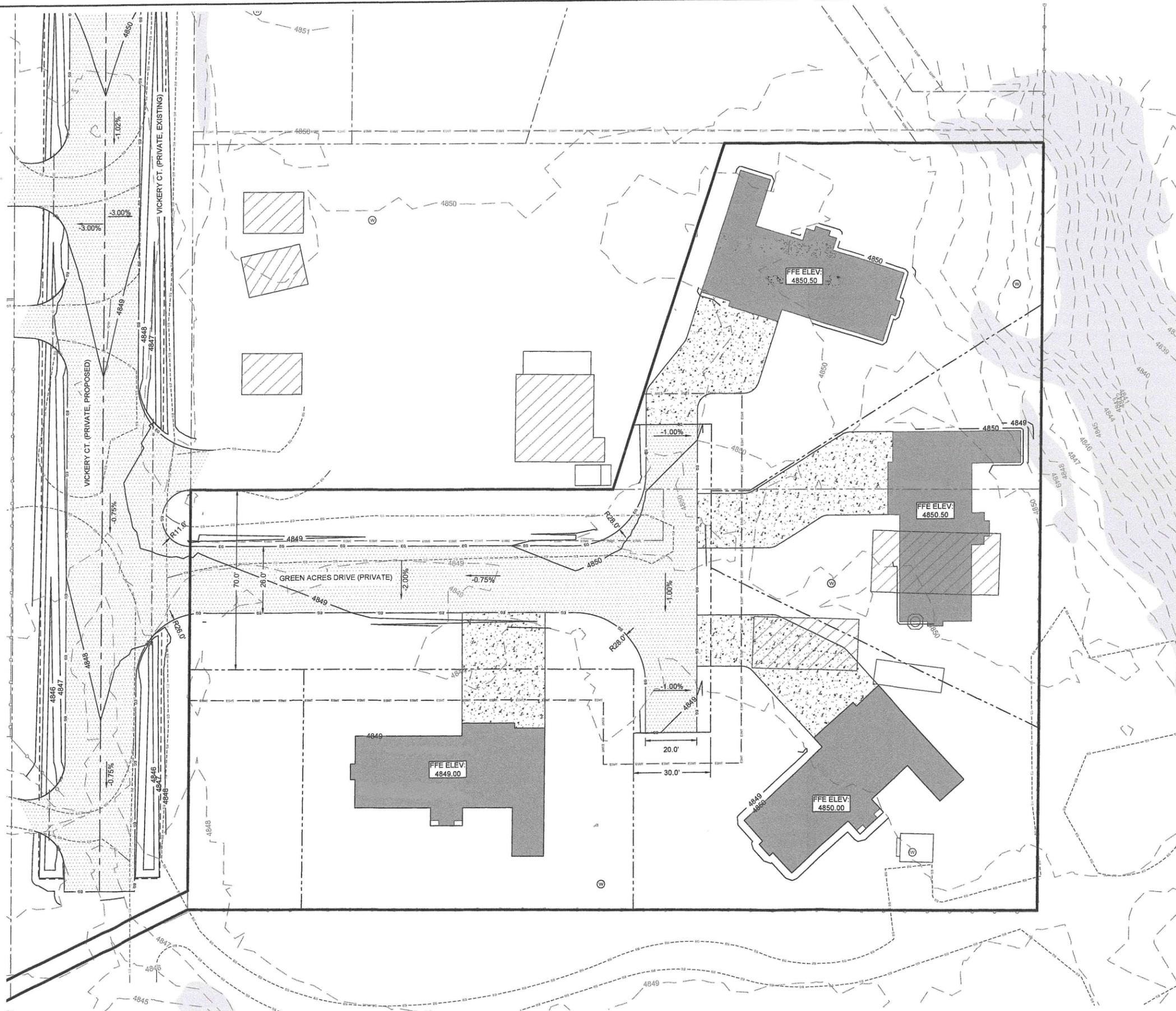
A101



KEYNOTES

- 1. ZONE 1 : 0'-30' - DEFENSIBLE SPACE - LOW IGNITION PLANTS + NON-FLAMMABLE MULCH.
- 2. ZONE 2 : 30'-100' - LOW IGNITION PLANTS + ROCK/BRICK WALLS + FIREWOOD/PROPANE ON NON-FLAMMABLE PADS + NON-FLAMMABLE FENCING.
- 3. PROPANE TANK OUTSIDE 30' FIRE BOUNDARY.
- 4. FIRE TRUCK TURN-AROUND (90'-0" DIA.) PER FIRE DEPARTMENTS REQUIREMENTS.

 SITE PLAN
SCALE: 1/16" = 1'-0"



GRADING NOTES

1. CONTOURS SHOWN ARE 1-FOOT INTERVALS.
2. AREAS WITH EXISTING SLOPES EXCEEDING 15% ARE SHADED.
3. THE PRIVATE ROAD IS DESIGNED TO MEET THE VALLEY COUNTY MINIMUM STANDARDS FOR PRIVATE ROAD STANDARDS. SEE DETAILS ON SHEET C-1.1 FOR TYPICAL SECTIONS.
4. FINAL GRADING INCLUDING GRADING FOR PROPOSED BUILDINGS/STRUCTURES, DRIVEWAYS, AND STORMWATER SWALES WILL BE PERFORMED AT THE TIME OF FINAL PLAT/ CONSTRUCTION DOCUMENTS.
5. SEE SHEET C-1.1 FOR VICKERY COURT ROAD GRADING.
6. PRELIMINARY EARTHWORK QUANTITIES:
 CUT: 1,400 CY
 FILL: 380 CY
 NET: 1,020 CY

LEGEND

EXISTING		PROPOSED
--- 4000 ---	CONTOURS (1' INTERVALS)	--- 4000 ---
--- 1.00% ---	SLOPE ARROWS	--- 1.00% ---
---	PROPERTY LINE	---
---	EASEMENT	---
---	SUBDIVISION BOUNDARY	---
▨	BUILDING	▨
---	FENCE	---
---	CONCRETE	---
---	EDGE OF GRAVEL	---
---	GRAVITY IRRIGATION	---
---	TOP OF DITCH	---
⊙	WATER WELL	⊙

PRELIMINARY GRADING PLAN
 SCALE: 1" = 20'
 0 20 40 Feet

**PRELIMINARY
 DRAWING
 NOT FOR
 CONSTRUCTION**

WESTERN CONSULTING GROUP

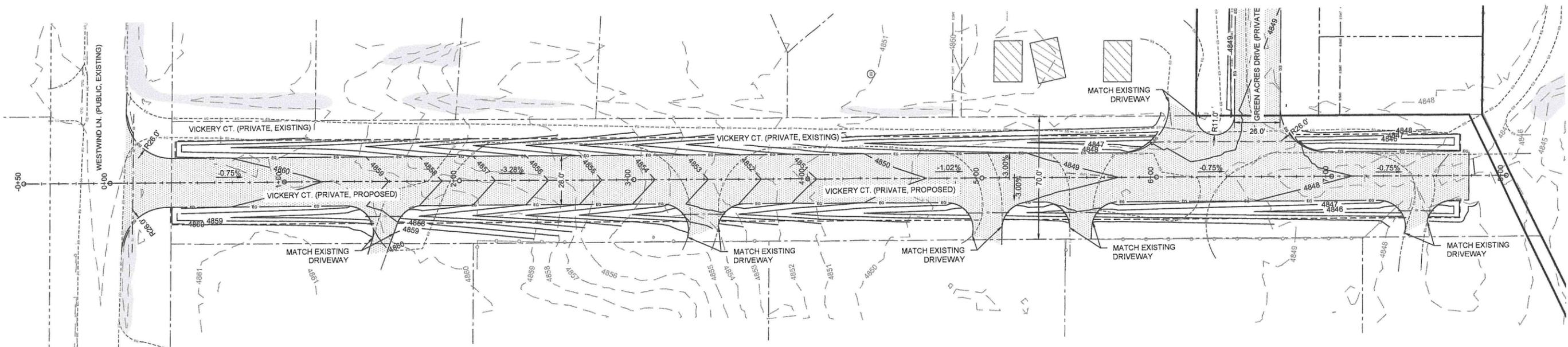
WESTERN CONSULTING GROUP, PLLC
 1452 W. BANNOCK ST.
 BOISE, ID 83702

PROJ. NO.	01-25-010	AGENCY REVIEW	TB	10/22/2025
DRAWN	LN			
DESIGNED	TB			
CHECKED	KN			
APPROVED	TB			
		NO.	REVISIONS	BY DATE

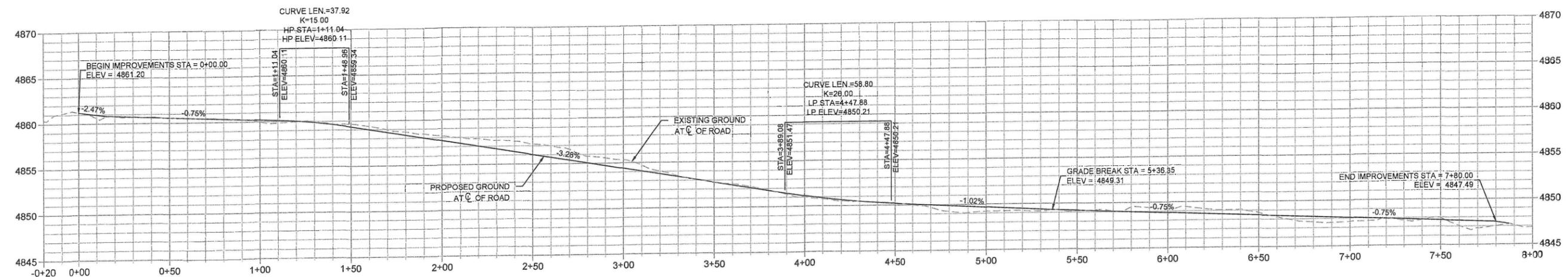
GREEN ACRES SUBDIVISION
 12850 VICKERY COURT
 DONNELLY, ID 83615

PRELIMINARY LOT GRADING PLAN

SHEET NO: **C-1.0**
 DATE: 10-22-2025
 PAGE NO: 1 OF 4



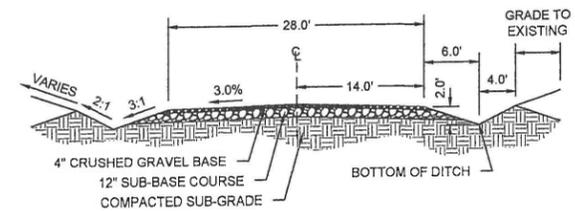
VICKERY COURT GRADING
 SCALE: 1" = 30'
 0 30 60 Feet



VICKERY COURT PROFILE
 HORIZONTAL SCALE: 1" = 30'
 VERTICAL SCALE: 1" = 6'

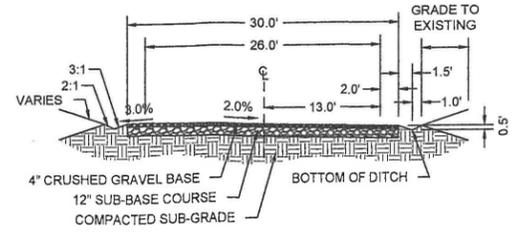
GRADING NOTES

1. CONTOURS SHOWN ARE 1-FOOT INTERVALS.
2. AREAS WITH EXISTING SLOPES EXCEEDING 15% ARE SHADED.
3. THE PRIVATE ROAD IS DESIGNED TO MEET THE VALLEY COUNTY MINIMUM STANDARDS FOR PRIVATE ROAD STANDARDS.
4. FINAL GRADING INCLUDING GRADING FOR PROPOSED BUILDINGS/STRUCTURES, DRIVEWAYS, AND STORMWATER SWALES WILL BE PERFORMED AT THE TIME OF FINAL PLAN/ CONSTRUCTION DOCUMENTS.
5. SEE SHEET C-1.0 FOR GREEN ACRES DRIVE ROAD GRADING.
6. PRELIMINARY EARTHWORK QUANTITIES:
 CUT: 1,400 CY
 FILL: 380 CY
 NET: 1,020 CY



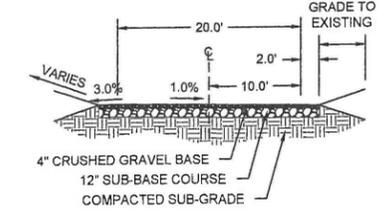
- NOTES:**
1. FROM THE 4' WIDE BACKSLOPE (2:1), GRADE TO EXISTING AT A 3:1 SLOPE WITH A MAXIMUM 2:1 SLOPE TO REMAIN WITHIN THE 70' EASEMENT.
 2. THIS TYPICAL SECTION APPLIES TO VICKERY COURT FROM STATION 35+17 TO 7+80.
 3. THIS TYPICAL SECTION DOES NOT EXHIBIT DRIVEWAY ENTRANCES.

1 VICKERY COURT TYPICAL SECTION
 C-1.1 1"=10'



- NOTES:**
1. FROM THE 1' WIDE BACKSLOPE (2:1), GRADE TO EXISTING AT A 3:1 SLOPE WITH A MAXIMUM 2:1 SLOPE TO REMAIN WITHIN LOT 1 PROPERTY LINES.
 2. THIS TYPICAL SECTION DOES NOT EXHIBIT DRIVEWAY ENTRANCES.

2 GREEN ACRES DRIVE TYPICAL SECTION
 C-1.1 1"=10'



- NOTES:**
1. FROM THE EDGE OF GRAVEL SHOULDER, GRADE TO EXISTING AT A 3:1 SLOPE, WITH A MAXIMUM 2:1 SLOPE TO STAY WITHIN LOT 1 PROPERTY LINES.
 2. THIS TYPICAL SECTION DOES NOT EXHIBIT DRIVEWAY ENTRANCES.

3 GREEN ACRES HAMMERHEAD TYPICAL SECTION
 C-1.1 1"=10'

**PRELIMINARY
 DRAWING
 NOT FOR
 CONSTRUCTION**

WESTERN CONSULTING GROUP

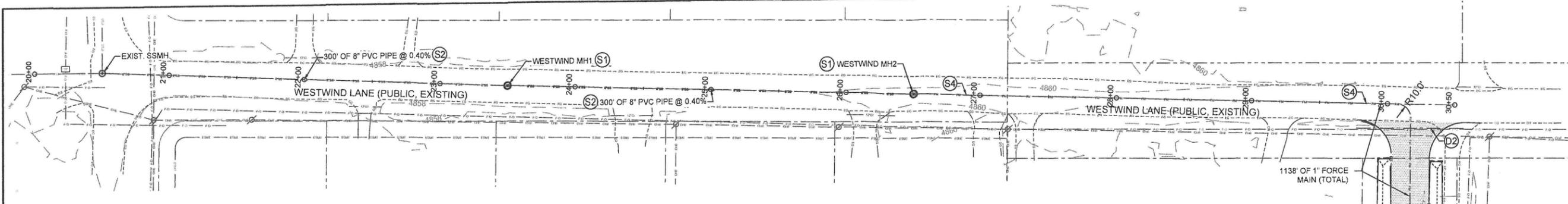
WESTERN CONSULTING GROUP, PLLC
 1452 W. BANNOCK ST.
 BOISE, ID 83702

PROJ. NO.	01-25-010	DATE	10/22/2025
DRAWN	LN	DESIGNED	TB
CHECKED	KN	APPROVED	TB
AGENCY REVIEW	TB	REVISIONS	BY DATE
1			

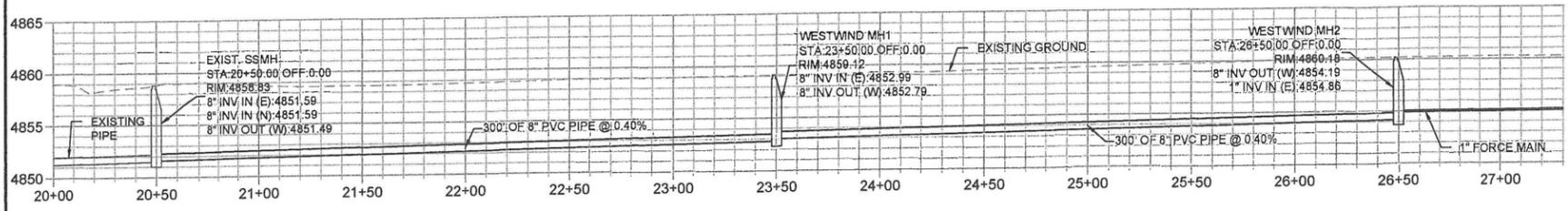
GREEN ACRES SUBDIVISION
 12850 VICKERY COURT
 DONNELLY, ID 83615

PRELIMINARY ROAD GRADING

SHEET NO: **C-1.1**
 DATE: 10-22-2025
 PAGE NO: 2 OF 4



PRELIMINARY SEWER PLAN
SCALE: 1" = 40'



WESTWIND LANE SEWER PROFILE
HORIZONTAL SCALE: 1" = 40'
VERTICAL SCALE: 1" = 8'

SEWER KEYED NOTES

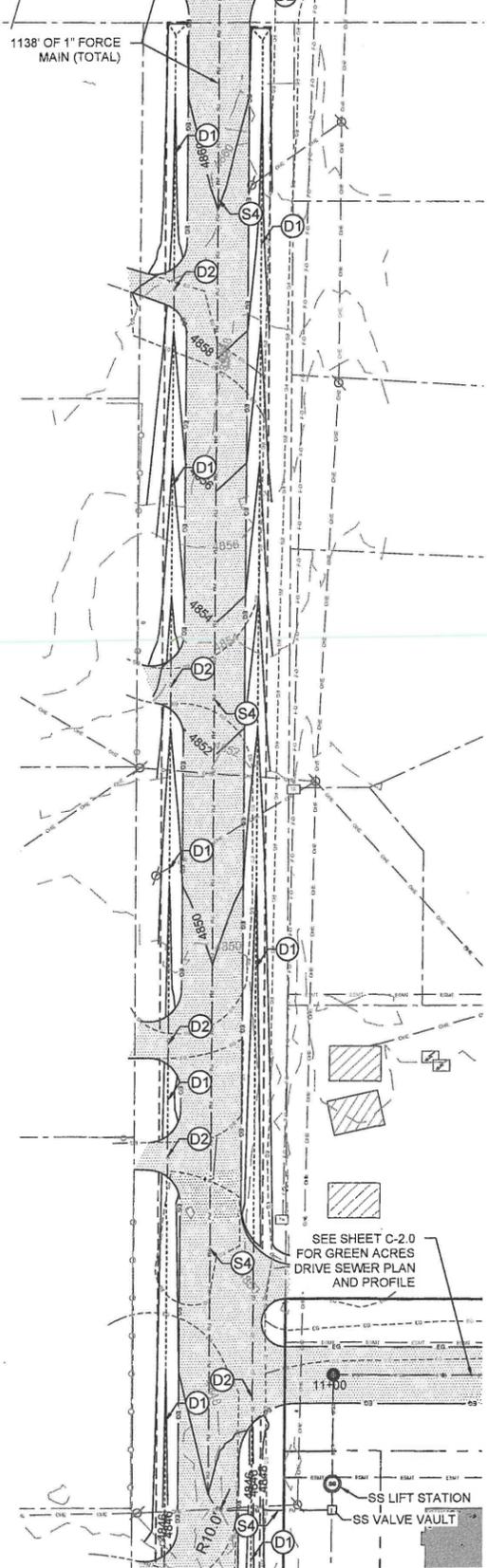
- (S1) PROPOSED SEWER MANHOLE
- (S2) PROPOSED 8" SEWER LINE
- (S3) PROPOSED 4" SEWER SERVICE
- (S4) PROPOSED SEWER FORCE MAIN
- (S5) PROPOSED SEWER LIFT STATION

DRAINAGE KEYED NOTES

- (D1) PROPOSED DRAINAGE DITCH
- (D2) PROPOSED CULVERT PIPE

UTILITY NOTES

1. CONTOURS SHOWN ON THIS SHEET ARE ON A 2'-10" INTERVAL.
2. RETAIN AND PROTECT ALL EXISTING DRY UTILITIES.
3. COORDINATE COMMUNICATION SERVICE CONNECTION AND EXTENSION WITH THE LOCAL ISP.
4. COORDINATE POWER SERVICE CONNECTION AND EXTENSION WITH IDAHO POWER AND THE CITY OF DONNELLY.
5. COORDINATE GAS SERVICE CONNECTION AND EXTENSION WITH INTERMOUNTAIN GAS COMPANY (IGC).
6. COORDINATE WELL DRILLING WITH CITY OF DONNELLY.
7. COORDINATE SEWER MAIN CONNECTION AND EXTENSION WITH THE NORTH LAKE RECREATIONAL SEWER AND WATER DISTRICT AND THE CITY OF DONNELLY.
8. FINAL UTILITY DESIGN WILL BE PERFORMED AT THE TIME OF FINAL PLAT/ CONSTRUCTION DOCUMENTS.



PRELIMINARY DRAWING NOT FOR CONSTRUCTION

 WESTERN CONSULTING GROUP	
WESTERN CONSULTING GROUP, PLLC 1452 W. BANNOCK ST. BOISE, ID 83702	
PROJ NO: 01-25-010 DRAWN: LN DESIGNED: TB CHECKED: KN APPROVED: TB	TB: 10/22/2025 AGENCY REVIEW: 1 NO. REVISIONS: BY DATE
GREEN ACRES SUBDIVISION 12850 VICKERY COURT DONNELLY, ID 83615 PRELIMINARY SEWER MAIN PLAN & PROFILE	
SHEET NO: C-2.1 DATE: 10-22-2025 PAGE NO: 4 OF 4	