



January 22, 2020

Cynda Herrick, AICP, CFM
Valley County Planning and Zoning
219 North Main Street
Cascade, Idaho 83611

Subject: Hansen Acres/Idaho Water Sports McCall – C.U.P. & Preliminary Plat Application

Dear Cynda,

Please find attached to this letter, a submittal for the Hansen Acres/Idaho Water Sports McCall project located along State Highway 55, Valley County, Idaho. The proposed development consists of a 4 lot, residential/commercial preliminary plat consisting of 20.02 acres total (4 buildable lots total). Included in the submittal are (10) ten copies of the following items in the order listed:

- Valley County C.U.P & Preliminary Plat Application – *4 pages*
- Valley County Application for Irrigation Plan Approval – *3 pages*
- Valley County Weed Control Agreement – *1 page*
- Impact Report (from Valley County Code 9-5-3-D) – *4 pages*
- Phasing Plan and Construction Timeline – *1 page*
- Lighting Plan – *1 page*
- Wildfire Mitigation Plan – *1 page*
- Adjoining Property Owners – *1 page*
- Legal Description of the Property – *1 page*
- Required Application Drawings – *6 pages*
- Supplemental Architectural Drawings – *5 pages*

Thank you for your attention to this submittal and please feel free to contact me by phone or email at your earliest convenience should you have any questions or comments.

Sincerely,

A handwritten signature in black ink that reads 'Robert F. Pair'. The signature is fluid and includes a stylized flourish at the end.

Robert Pair, E.I.T.
Associate Engineer

Cc: Gordon Hansen, Applicant

Valley County Planning & Zoning Department

219 N. Main
PO Box 1350
Cascade, ID 83611
www.co.valley.id.us
Phone 208-382-7115
Fax 208-382-7119



C.U.P. & Preliminary Plat Application

TO BE COMPLETED BY THE PLANNING AND ZONING DEPARTMENT		<input type="checkbox"/> Check # _____ or <input type="checkbox"/> Cash
FILE # _____ C.U.P. 21-01		FEE \$ _____
ACCEPTED BY _____		DEPOSIT _____
CROSS REFERENCE FILE(S): _____		DATE _____
<input type="checkbox"/> ADMINISTRATIVE PLAT	COMMENTS: _____	
<input type="checkbox"/> SHORT PLAT	_____	
<input type="checkbox"/> FULL PLAT	_____	

When an application has been submitted, it will be reviewed in order to determine compliance with application requirements. A hearing date will be scheduled only after an application has been accepted as complete.

The following must be completed and submitted with the conditional use permit application:

- ❖ A preliminary plat containing all of the necessary requirements according to the Valley County Subdivision Regulations.
- ❖ A phasing plan and construction timeline.
- ❖ One 8½ x 11" – 300 scale drawing of the proposed subdivision showing only the street names and lots.
- ❖ A plot plan, drawn to scale, showing existing utilities, streets, easements, ditches, and buildings.
- ❖ A landscaping plan, drawn to scale, showing elements such as trees, shrubs, ground covers, and vines. Include a plant list, indicating the size, quantity, location, and name (both botanical and common) of all plant material to be used.
- ❖ A site grading plan clearly showing the existing site topography and detailing the best management practices for surface water management, siltation, sedimentation, and blowing of dirt and debris caused by grading, excavation, open cuts, side slopes, and other site preparation and development.
- ❖ A lighting plan.
- ❖ A Wildfire Mitigation Plan.
- ❖ Names and addresses of property owners within 300 feet of the property lines. Information can be obtained through the Assessor's Office. Only one list is required.

Ten (10) copies of the application and additional materials are required.

We recommend you review Title 9 and Title 10 of the Valley County Code online at

www.co.valley.id.us/planning-zoning or

at the Planning and Zoning Office, 219 North Main, Cascade, Idaho.

Subject to Idaho Statute 55-22 Underground Facilities Damage Prevention.

PROPOSED SUBDIVISION NAME Hansen Acres

APPLICANT IWS, LLC PHONE 208-878-5869

Owner ☒ Option Holder ☐ Contract Holder ☐

APPLICANT'S SIGNATURE Gordon O Hansen DATE 1/22/2021

APPLICANT'S MAILING ADDRESS 2165 Overland Ave., Burley, ID 83318

OWNER IWS, LLC PHONE 208-878-5869

OWNER'S MAILING ADDRESS 2165 Overland Ave., Burley, ID 83318

Nature of Owner's Interest in this Development? Commercial and Residential Development

AGENT/REPRESENTATIVE Gordon O. Hansen FAX _____ PHONE 208-878-5869

AGENT/REPRESENTATIVE ADDRESS 2165 Overland Ave., Burley, ID 83318

ENGINEER Gregg Tankersley, P.E. PHONE 208-634-4140

ENGINEER ADDRESS 323 Deinhard Lane, Suite C, McCall, ID 83638

1. SIZE OF PROPERTY 20.02 Acres

2. NUMBER OF ACREAGE OF ADJACENT LAND HELD BY THIS OWNER 0 Acres

3. ANY RESTRICTIONS ON THIS PROPERTY?

Easements to _____

Deed Restrictions _____

Liens or encumbrances _____

4. LEGAL DESCRIPTION See attached legal description

5. TAX PARCEL NUMBER RP18N03E280606

Quarter _____ Section 28 Township 18N Range 3E

6. EXISTING LAND USES AND STRUCTURES ON THE PROPERTY ARE AS FOLLOWS:

102 Irrigated Grazing Land, no structures

7. ARE THERE ANY KNOWN HAZARDS ON OR NEAR THE PROPERTY (such as canals, hazardous material spills, soil or water contamination)? If so, describe and give location: None

8. ADJACENT PROPERTIES HAVE THE FOLLOWING BUILDING TYPES AND/OR USES:

North Other - Single family dwelling and barn

South Irrigated Grazing Land

East Rural Commercial - Metal shop building and construction equipment

West Dry Grazing Land

- 8a. TYPE OF TERRAIN: Mountainous ☐ Rolling ☒ Flat ☐ Timbered ☐
- 8b. DOES ANY PORTION OF THIS PARCEL HAVE SLOPES IN EXCESS OF 15%? No
- 8c. DESCRIBE ANY SIGNIFICANT NATURAL RESOURCES SUCH AS ROCK OUTCROPPING, MARSHES, WOODED AREAS: None
-
- 9a. WATER COURSE: Seasonal drainage area
- 9b. IS ANY PORTION OF THE PROPERTY LOCATED IN A FLOODWAY OR 100-YR FLOODPLAIN?
Information can be obtained from the P&Z Office. Include a map if yes. No
- 9c. ARE THERE WETLANDS LOCATED ON ANY PORTION OF THE PROPERTY? Yes
- 9d. WILL ANY PART OF THE PROPERTY BE SUBJECT TO INUNDATION FROM STORMWATER OVERFLOW OR SPRING MELTING RUN-OFF? No
- 10a. NUMBER OF EXISTING ROADS: 0 Width _____ Private or Public? _____
Are the existing road surfaces paved or graveled? _____
- 10b. NUMBER OF PROPOSED ROADS: 1 Proposed width: 28' (Including Shoulders)
Will the proposed roads be publicly or privately maintained? Privately
Proposed road construction: Gravel ☒ Paved ☐
- 11a. EXISTING UTILITIES ON THE PROPERTY ARE AS FOLLOWS:
No existing utilities on property, but there are some limited irrigation improvements
including a ditch and piping
- 11b. PROPOSED UTILITIES: Septic, potable water, power, and communications.
-
- Proposed utility easement width 12' Location North of private road
- 12a. SOLID WASTE DISPOSAL METHOD: Individual Septic ☒ Central Sewage Treatment Facility ☐
- 12b. POTABLE WATER SOURCE: Public ☐ Water Association ☐ Individual ☒
If individual, has a test well been drilled? No Depth _____ Flow _____ Purity Verified? _____
Nearest adjacent well Unknown Depth _____ Flow _____
13. ARE THERE ANY EXISTING IRRIGATION SYSTEMS? Yes
Are you proposing any alterations, improvements, extensions or new construction? Yes
If yes, explain: Modification or removal of some irrigation ditches for septic system
development
14. DRAINAGE (Proposed method of on-site retention): On-site detention basins
Any special drains? No (Please attach map)
Soil type (Information can be obtained from the Soil Conservation District): Archabal/Gestrin Loam
15. WILL STREETS AND OTHER REQUIRED IMPROVEMENTS BE CONSTRUCTED PRIOR TO THE RECORDING OF THE FINAL PLAT? TBD
If not, indicate the type of surety that will be put up to ensure the construction of the improvements within one (1) year from the date of filing the plat: _____
-
-

16. OUTLINE OF PROPOSED RESTRICTIVE COVENANTS: None

Setbacks: Front _____ Sides _____ Rear _____
Mobile homes allowed? _____
Minimum construction value _____ Minimum square footage _____
Completion of construction required within _____ Days ☐ Months ☐ Years ☐
Resubdivision permitted? _____
Other _____

17. LAND PROGRAM:

Acreage in subdivision 20.02 AC Number of lots in subdivision 4
Typical width and depth of lots 205' x 433'
Typical lot area 2.09 AC Minimum lot area 2.04 AC Maximum lot area 11.85 AC
Lineal footage of streets 1,173 LF Average street length/lot 340 LF
Percentage of area in streets 2.8 %
Percentage of area of development to be public (including easements) 0 %
Maximum street gradient 3.0%
Indicate if subdivision is to be completely developed at one time; if not, describe stages _____
Refer to phasing plan/construction time line

18. COMPLETE ATTACHED PLAN FOR IRRIGATION.

19. COMPLETE ATTACHED WEED CONTROL AGREEMENT.

20. COMPLETE ATTACHED IMPACT REPORT. It must address potential environmental, economic, and social impacts and how these impacts are to be minimized.



VALLEY COUNTY PLANNING & ZONING DEPARTMENT

219 North Main Street
PO Box 1350
Cascade, ID 83611

Phone 208-382-7115
Fax 208-382-7119
www.co.valley.id.us

APPLICATION FOR IRRIGATION PLAN APPROVAL

submitted with C.U.P. & Subdivision Applications
(Idaho Code 31-3805)

Applicant(s): IWS, LLC / Gordon O. Hansen

<u>2165 Overland Ave.</u>	<u>Burley, ID</u>	<u>83318</u>
Mailing Address	City, State	Zip

Telephone Numbers: 208-878-5869

Location of Subject Property: 14141 ID-55, McCall, ID 83638
(Property Address or Two Nearest Cross Streets)

Assessor's Account Number(s): RP 18N03E280606 Section 28 Township 18N Range 3E

C.U.P Number: _____

This land: ☐ Has water rights available to it
☒ Is dry and has no water rights available to it. If dry, please sign this document and return to the Planning & Zoning Department as part of your application.

Idaho Code 31-3805 states that when all or part of a subdivision is "located within the boundaries of an existing irrigation district or canal company, ditch association, or like irrigation water deliver entity ... **no subdivision plat or amendment to a subdivision plat or any other plat or map recognized by the city or county for the division of land will be accepted, approved, and recorded unless:**"

- A. The appropriate water rights and assessment of those water rights have been transferred from said lands or excluded from an irrigation entity by the owner; or
- B. The owner filing the subdivision plat or amendment to a subdivision plat or map has provided for the division of land of underground tile or conduit for lots of one acre or less or a suitable system for lots of more than one acre which will deliver water to those land owners within the subdivision who are also within the irrigation entity with the appropriate approvals:
 1. For proposed subdivisions located within an area of city impact, both city and county zoning authorities must approve such irrigation system in accordance with 50-the irrigation system.
 2. For proposed subdivisions outside of negotiated areas of city impact, the delivery system must be approved by the Planning and Zoning Commission and the Board of County Commissioners with the advice of the irrigation entity charged with the delivery of water to said lands.

To better understand your irrigation request, we need to ask you a few questions. A list of the map requirements follows the short questionnaire. **Any missing information may result in the delay of your request before the Planning and Zoning Commission and ultimately the approval of your irrigation plan by the Board of County Commissioners as part of final plat approval.**

1. Are you within an area of negotiated City Impact? _____ Yes _____ No

2. What is the name of the irrigation and drainage entities servicing the property?

Irrigation: _____

Drainage: _____

3. How many acres is the property being subdivided? _____

4. What percentage of this property has water? _____

5. How many inches of water are available to the property? _____

6. How is the land currently irrigated? ☐ surface ☐ sprinkler ☐ irrigation well
☐ above ground pipe ☐ underground pipe

7. How is the land to be irrigated after it is subdivided?

☐ surface ☐ sprinkler ☐ irrigation well
☐ above ground pipe ☐ underground pipe

8. Please describe how the head gate/pump connects to the canal and irrigated land and where ditches &/or pipes go.

9. Is there an irrigation easement(s) on the property? ☐ Yes ☐ No

10. How do you plan to retain storm and excess water on each lot? _____

11. How do you plan to process this storm water and/or excess irrigation water prior to it entering the established drainage system? (i.e. oil, grease, contaminated aggregates) _____

Irrigation Plan Map Requirements

The irrigation plan **must be on a scalable map** and show all of the irrigation system including all supply and drainage structures and easements. Please include the following information on your map:

- ☐ All canals, ditches, and laterals with their respective names.
- ☐ Head gate location and/or point of delivery of water to the property by the irrigation entity.
- ☐ Pipe location and sizes, if any
- ☐ Rise locations and types, if any.
- ☐ Easements of all private ditches that supply adjacent properties (i.e. supply ditches and drainage ways).
- ☐ Slope of the property in various locations.
- ☐ Direction of water flow (use short arrows on your map to indicate water flow direction →).
- ☐ Direction of wastewater flow (use long arrows on your map to indicate waste water direction —————→).
- ☐ Location of drainage ponds or swales, if any where wastewater will be retained on property
- ☐ Other information: _____

Also, provide the following documentation:

- ☐ Legal description of the property.
- ☐ Proof of ownership.
- ☐ A written response from the irrigation entity and/or proof of agency notification.
- ☐ Copy of any water users' association agreement currently in effect which shows water schedules and maintenance responsibilities.
- ☐ Copy of all new easements ready for recording (irrigation supply and drainage).
- ☐ If you are in a city area of impact, please include a copy of the approvals by the city planning and zoning commission and city council of your irrigation plan.

=====Applicant Acknowledgement=====

I, the undersigned, agree that prior to the Planning and Zoning Department accepting this application, I am responsible to have all the required information and site plans.

I further acknowledge that the irrigation system, as approved by the Planning and Zoning Commission and ultimately the Board of County Commissioners, must be bonded and/or installed prior to the recording of the plat or building permit.

Signed: Gordon O. Hansen
Applicant / Property Owner

Date: 1 / 22 / 2021
(Application Submitted)



VALLEY COUNTY

WEED CONTROL AGREEMENT

The purpose of this agreement is to establish a cooperative relationship between Valley County and the undersigned Cooperator to protect the natural and economic values in the Upper Payette River watershed from damages related to the invasion and expansion of infestations of noxious weeds and invasive plants. This is a cooperative effort to prevent, eradicate, contain and control noxious weeds and invasive plants on public and private lands in this area. Factors related to the spread of weeds are not related to ownership nor controllable at agency boundaries. This agreement formalizes the cooperative strategy for management of these weeds addressed in Valley County's Integrated Weed Management Plan.

In this continuing effort to control Noxious Weeds, Valley County Weed Control will consult with the undersigned Cooperator and outline weed identification techniques, present optional control methods and recommend proper land management practices.

The undersigned Cooperator acknowledges that he/she is aware of any potential or real noxious weed problems on his/her private property and agrees to control said weeds in a timely manner using proper land management principles.

COOPERATOR

IWS, LLC

2165 Overland Ave.

Burley, ID 83318

By: Gordon O. Hansen

By: _____

Valley County Weed Control

Date: 1/22/2021

Date: _____

IMPACT REPORT (from Valley County Code 9-5-3-D)

You may add information to the blanks below or attach additional sheets.

- ❖ An impact report shall be required for all proposed Conditional Uses.
- ❖ The impact report shall address potential environmental, economic, and social impacts and how these impacts are to be minimized as follows:

1. *Traffic volume, character, and patterns including adequacy of existing or proposed street width, surfacing, alignment, gradient, and traffic control features or devices, and maintenance. Contrast existing with the changes the proposal will bring during construction and after completion, build-out, or full occupancy of the proposed development. Include pedestrian, bicycle, auto, and truck traffic.*

The new 28' wide gravel road will accommodate three residential housing lots, 3 RV spots, and commercial business traffic, including occasional semi-truck deliveries. The roadway gradient is minimal with a sufficient 3% crown and alignment within ROW and access easement. The owner (s) will be responsible for maintaining the roadway defined in the easement agreement for the shared highway access. A moderate increase in traffic flow will occur during construction activities. John Ringert, P.E. of Kittleson & Associates, has performed a traffic study and has consulted with the owner to design and develop the subdivision and improvements within the allowable parameters set by ITD. An ITD Right-of-Way Encroachment Permit was approved on 1/8/2021.

2. *Provision for the mitigation of impacts on housing affordability.*

The ability to recruit and retain quality employees depends in part on the availability of affordable housing. The primary purpose for subdividing the property is to create residential lots along with the commercial lot. At a minimum, one or more of the three residential lots will be for the workforce and or multi-family (duplex) housing.

3. *Noise and vibration levels that exist and compare to those that will be added during construction, normal activities, and special activities. Include indoor and outdoor, day and night variations.*

Short term increase in daytime noise and vibration levels will occur during the construction process. There will be minimal noise increase due to traffic flows post-construction. Noise generated by ongoing business operations will rarely be discernible beyond the subdivision boundary. There will be no night time noise from business operations.

4. *Heat and glare that exist and that might be introduced from all possible sources such as autos in parking areas, outdoor lights, water or glass surfaces, buildings or outdoor activities.*

Post-construction minimal change in heat and glare will occur due to buildings, homes, and vehicles. The heat and glare will be minimized to the greatest extent possible by site planning, building orientation, building materials and natural and planted vegetative screening.

5. *Particulate emissions to the air including smoke, dust, chemicals, gasses or fumes, etc. both existing and what may be added by the proposed uses.*

Little to no net change in particulate emissions are expected. Storing boats on-site rather than transporting them from outside the area could reduce overall emissions.

6. *Water demand, discharge, supply source, and disposal method for potable uses, domestic uses, and fire protection. Identify existing surface water drainage, wetlands, flood prone areas and potential changes. Identify existing ground water and surface water quality and potential changes due to this proposal.*

Private well water supply will furnish water to properties for domestic, irrigation, and fire protection purposes. The site plan will preserve the existing wetland areas and drainage channels to the greatest extent possible. Private stormwater detention basins will collect surface water drainage from developed areas. The boat service bay will retain, filter, treat, and recycle all water needed to facilitate the work. There will be no floor drains connected to a drain field. The design of the facility will meet Idaho Department of Environmental Quality, Central District Health Department, and United States Army Corps of Engineers requirements.

7. *Fire, explosion, and other hazards existing and proposed. Identify how activities on neighboring property may affect the proposed use.*

Roadway development will serve as a firebreak and provide fire department access to the properties where currently there are no roads or access for fire suppression.

8. *Removal of existing vegetation or effects thereon including disturbance of wetlands, general stability of soils, slopes, and embankments and the potential for sedimentation of disturbed soils.*

Existing vegetation removal is mostly limited to removal of pasture/native grasses for building and roadway establishment and minimal impact to wetland area for roadway access crossing. The site planing includes stormwater management and retention.

9. *Include practices that will be used to stabilize soils and restore or replace vegetation.*

Areas disturbed during construction activities on the site will be re-stabilized with hard surface and re-vegetation/landscaping efforts.

10. *Soil characteristics and potential problems in regard to slope stability, embankments, building foundation, utility and road construction. Include suitability for supporting proposed landscaping.*

There are no anticipated problems with existing soil suitability. Roadway and building construction will be supported by appropriate imported backfill material to stabilize sections as needed. Topsoil may be added to landscaping areas to supplement existing soil conditions as needed for growth.

11. *Site grading or improvements including cuts and fills, drainage courses and impoundments, sound and sight buffers, landscaping, fencing, utilities, and open areas.*

The site plan calls for creating cuts and fills for the roadway, utility improvements, building sites, and vegetated stormwater detention basins. The professionally designed and installed landscaping will include sight and sound buffers. Open areas may have fill utilized to abandon existing irrigation ditches and for the construction of septic systems. Security fencing will be minimal except to connect the commercial buildings' perimeter and provide access gates at the proposed entrances. Utilities will be located underground whenever possible.

12. *Visibility from public roads, adjoining property, and buildings. Include what will be done to reduce visibility of all parts of the proposal but especially cuts and fills and buildings. Include the effect of shadows from new features on neighboring property.*

Structures will be visible from ID SH-55 and adjacent properties. However, landscaping, including tree cover and grading methods next to the buildings, will reduce highway visibility. No shadows will affect neighboring properties.

13. *Reasons for selecting the particular location including topographic, geographic and similar features, historic, adjoining land ownership or use, access to public lands, recreation, utilities, streets, etc., in order to illustrate compatibility with and opportunities presented by existing land uses or character.*

Site selection was based upon the availability of flat land with convenient access to McCall and Valley County. Access to recreational activities, including boat ramps, was a high priority. The site is adjacent to and in close vicinity to other commercial and residential properties with similar land use.

14. *Approximation of increased revenue from change in property tax assessment, new jobs available to local residents, and increased local expenditures.*

Upon completion of the improvements, including the commercial buildings and residential homes, the taxable value will increase significantly over the value of existing pasture land. The new boat service, sales, and storage facility's operation will create eight or more new jobs. Expenditures will include local engineering and architectural services, construction costs, ongoing maintenance, utilities, marketing, and supplies needed to operate the business. Idaho Water Sports, IWS LLC, has served Idaho residents for over 30 years and places a high value on being a member of the community.

15. *Approximation of costs for additional public services, facilities, and other economic impacts.*

Demand on public services such as public school systems, Fire, and EMS for the development is anticipated to be minimal. Living wages and tax revenue generated by the business should more than offset the cost of public services.

16. *State how the proposed development will impact existing developments providing the same or similar products or services.*

The proposed development may compete with similar providers within the County; however, boat repair and storage demand exceeds the current supply. Idaho Department of Parks and Recreation has over 6,900 boats registered that designate Valley County as their primary or secondary use area. Valley County does not have a service or sales provider for the brands we represent, including three of the top five marine industry manufacturers. We are the "Factory Authorized Warranty and Service Provider" and want to improve the boat ownership experience by providing a well-equipped and modern facility closer to the end-user. We will better serve our large clientele who transport their boats from outside Valley County by providing a year-round local storage and service facility. The project will also create more residential lot development and affordable housing opportunities in an area with more demand than supply. We believe our project will directly enhance recreational opportunities in Valley County and increase the land's economic value.

17. *State what natural resources or materials are available at or near the site that will be used in a process to produce a product and the impacts resulting from the depletion of the resource. Describe the process in detail and describe the impacts of each part.*

N/A

18. *What will be the impacts of a project abandoned at partial completion?*

The development will be completed in phases, and each stage will increase the value, access, and utility of the property. If the project is abandoned, the remaining improvements will benefit another residential or commercial project.

19. *Number of residential dwelling units, other buildings and building sites, and square footage or gross non-residential floor space to be available.*

The development will consist of six commercial buildings-each with 11,972 square feet of floor space and an extension building with 2,304 square feet of floor space. The property's future development includes up to 3 employee RV sites, six additional commercial buildings, and one or more residential/multi-family workforce dwelling units established across lots 2, 3, and 4.

20. *Stages of development in geographic terms and proposed construction time schedule.*

The stages of construction depend on the availability of building materials, contractors, surveyors, and utility companies' scheduling. The project timing is subject to market changes and financing. Refer to the table in the Phasing Plan and Construction Timeline for an estimation of the project timeline.

21. *Anticipated range of sale, lease or rental prices for dwelling units, building or other site, or non-residential floor space in order to insure compatibility with adjacent land use and development.*

Expected unit rents and building prices are to be competitive with similar improvements in the County. Given the current cost of new construction, storage pricing is anticipated to be at the high end of the range for the area.

Phasing Plan and Construction Timeline

Hansen Acres

This phasing timeline is dependent upon the availability of funds, contractors, surveyors, and scheduling of utility companies. We currently believe that the following schedule can be achieved within reasonable expectations.

Estimated Phasing Plan and Construction Timeline					
Hansen Acres - 5 Year Plan					
Description	2021	2022	2023	2024	2025
ITD Encroachment Hwy 55	X				
Roadway Construction	X				
Customer Parking Grading and Finish	X				
Site Grading Building 1	X				
Site Grading Building 2	X				
Site Grading Building 3		X			
Site Grading Building 4	X				
Site Grading Building 5		X			
Site Grading Building 6			X		
RV Spaces - Grading	X				
Site Grading Residential Lot 2		X			
Site Grading Residential Lot 3				X	
Site Grading Residential Lot 4					X
Landscaping Hwy 55	X				
Landscaping Building 1, 2	X				
Landscaping Building 3, 4			X		
Landscaping Building 5, 6					X
Landscaping RV Spaces	X				
Building 1 Septic	X				
RV Spaces - Septic and Utilities	X				
Residential Lot 2 Septic		X			
Residential Lot 3 Septic				X	
Residential Lot 4 Septic		X			
Residential Lot 2, Well , Utilities		X			
Residential Lot 3, Well , Utilities				X	
Residential Lot 4, Well , Utilities		X			
Building 1 Construction	X				
Building 2 Construction	X				
Building 3 Construction			X		
Building 4 Construction			X		
Building 5 Construction					X
Building 6 Construction					X
Residential Construction Lot 2		X			
Residential Construction Lot 3				X	
Residential Construction Lot 4					X

IWS, LLC

By: Gordon O. Hansen Date: 1/22/2021

Gordon O. Hansen

Lighting Plan

Hansen Acres

The roadway will have no lighting. Commercial buildings and residential dwellings will be fitted with external lighting secured to buildings conforming to Valley County standards.

IWS, LLC

By: Gordon O. Hansen Date: 1/22/2021

Gordon O. Hansen

Wildfire Mitigation Plan

Hansen Acres

The roadway itself is a form of wildfire mitigation providing a long firebreak. The roadway will also provide emergency vehicle access to the property for fire suppression efforts. Development of roadways will conform to standards for required turn arounds and access points.

Site re-vegetation efforts will consist of native grasses, sod, landscaping, and grading to improve upon existing irrigated grazing land conditions to further mitigate wildfire.

IWS, LLC

By: Gordon O. Hansen Date: 1/22/2021

Gordon O. Hansen

Adjoining Property Owners

Hansen Acres

Below is a list of all property owners and their mailing addresses, owning property any part of which is within, or within 300 feet of, the external boundaries of the land being considered, according to the Valley County Assessor:

Jordan and Erika Sussi PO Box 2425 McCall, Idaho, 83638	Payette Lake Christian Center PO Box 1929 McCall, Idaho ,83638
Thomas and Kay Forest PO Box 1706 McCall, Idaho, 83638	Diane DeBoer PO Box 1617 McCall, Idaho, 83638

Legal Description

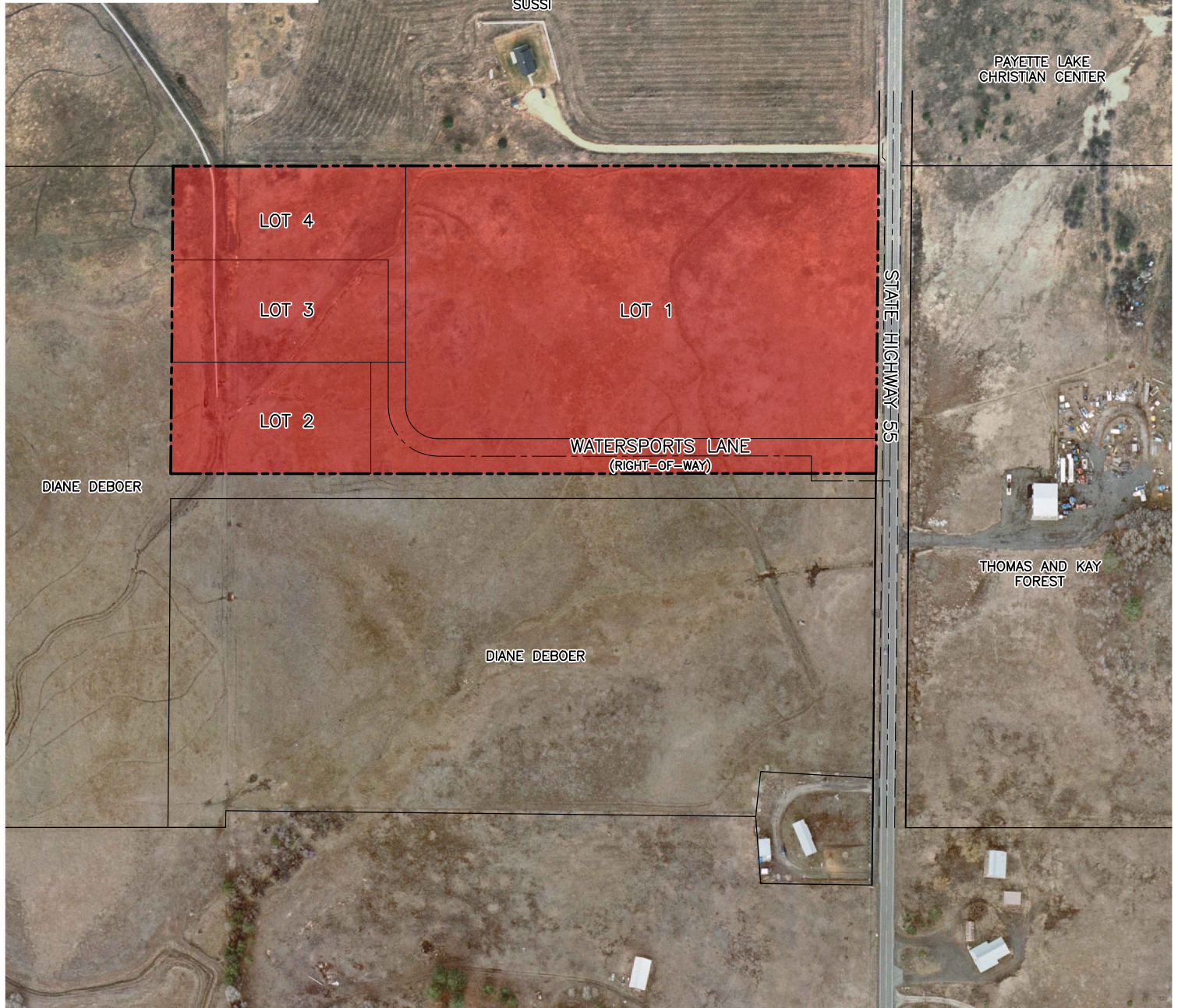
Hansen Acres

File No. 390409AM

A parcel of land situate in the NE1/4 NW1/4 and the NW1/4 NE1/4, Section 28, T. 18 N., R. 3 E., B.M., Valley County, Idaho, more particularly described as follows:
Commencing at an aluminum cap marking the Quarter Corner common to Sections 21, and 28, T. 18 N., R. 3 E., B.M., Valley County, Idaho, as shown on that particular Record of Survey, recorded as Instrument No. 356943, on Book 11, on Page 122 of Surveys, on file in the Office of the Recorder of Valley County, Idaho, the REAL POINT OF BEGINNING:
Thence, N. 89°58'48" E., 1,298.95 feet along the line common to said Sections 21 and 28, to a 5/8" rebar on the westerly right-of-way of State Highway 55,
Thence, S. 0°32'09" W., 616.72 feet along said westerly right-of-way to a 1/2" rebar,
Thence, S. 89°58'48" W., 1,413.28 feet to a 1/2" rebar,
Thence, N. 0°26'28" E., 616.64 feet to a 1/2" rebar on the line common to said Sections 28 and 29,
Thence, N. 89°56'36" E., 115.35 feet to the Point of Beginning.

Bearings based on GPS derived State Plane Grid Azimuth, Idaho West Zone (1103).

Parcel 2 on survey 429001



NORTH
SCALE: 1" = 300'



323 DEINHARD LANE, SUITE C · PO BOX 2330
McCALL, IDAHO 83638
208.634.4140 · 208.634.4146 FAX

HANSEN ACRES/IDAHO WATER SPORTS
VALLEY COUNTY, IDAHO
PROPOSED SUBDIVISION STREET NAMES AND LOTS

PROJECT	20025	DRAWN	FIGURE NO.
DATE	1/22/2021	RFP	1 OF 1

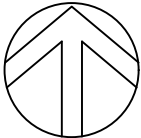
NOTES:

1. EXISTING TOPOGRAPHY, PROPERTY BOUNDARIES AND BASE MAP DATA AS SHOWN ON THIS PLAN ARE BASED UPON SURVEY DATA PROVIDED BY DUNN LAND SURVEYS, INC. AND SKIFTUN LAND SURVEYING, INC.
2. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THE EXISTENCE OF OBJECTS OR UTILITIES SHOWN ON THESE DRAWINGS AS THE INFORMATION HAS BEEN OBTAINED FROM SOURCES OF VARYING RELIABILITY.

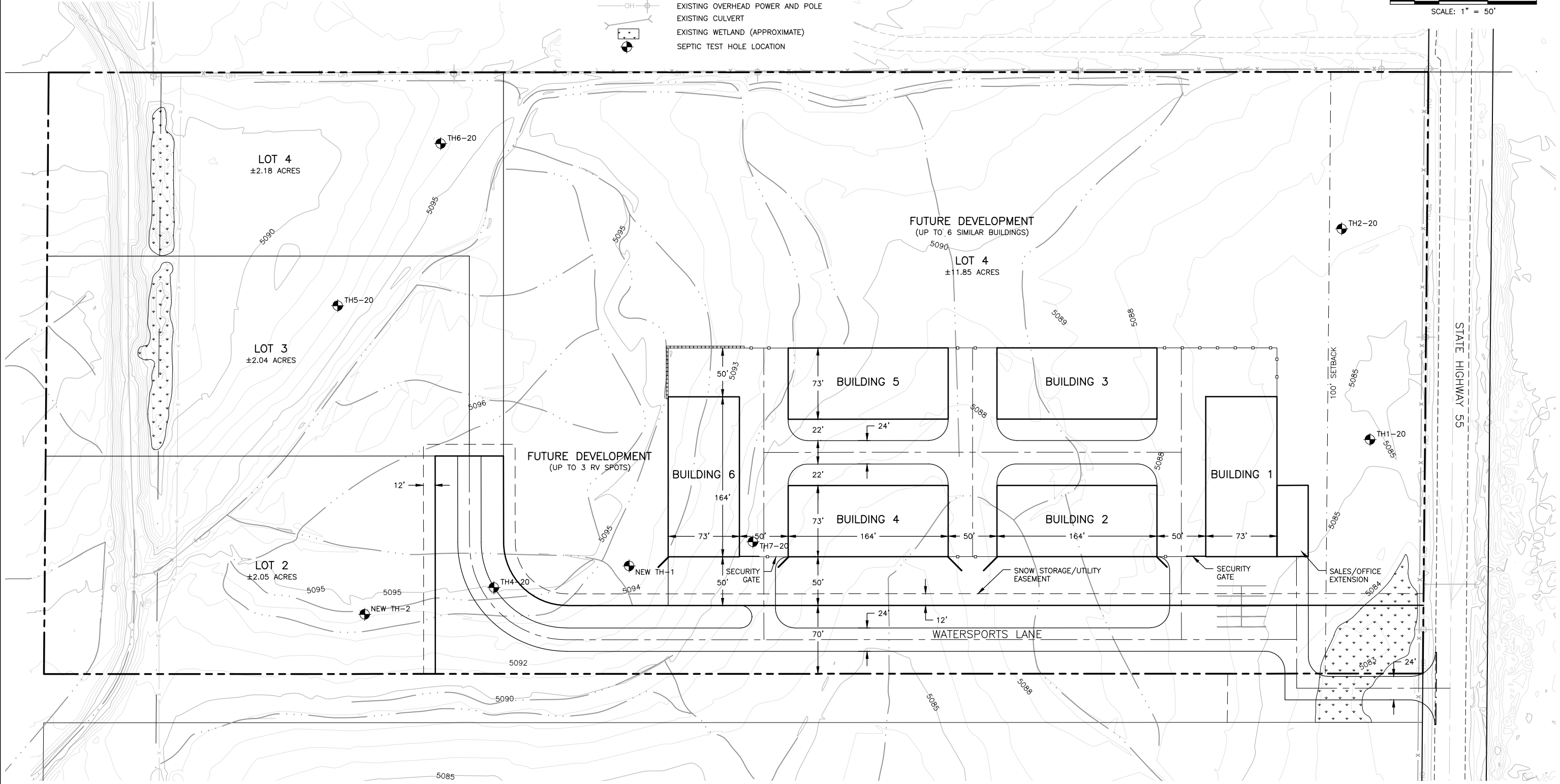
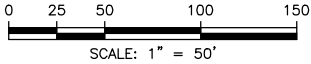
3. THE PROPERTY SLOPES ACROSS THE SITE ARE APPROXIMATELY 1% TO 5%. THE SOILS LOCATED ON THE PROPERTY CONSISTS OF ARCHABAL/GESTRIN LOAM.
4. THE PROJECT IS LOCATED IN:
NW 1/4, NE 1/4,
SECTION 28 T.18N., R.3E., B.M.,
VALLEY COUNTY, IDAHO

LEGEND:

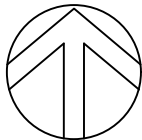
- PROPERTY BOUNDARY
--- RIGHT-OF-WAY LINE
--- EASEMENT LINE
--- PROPERTY SETBACK LINE
--- EXISTING CONTOUR
--- ROAD CENTER LINE
--- EXISTING EDGE OF PAVEMENT
--- EXISTING FENCE
--- EXISTING IRRIGATION DITCH CENTERLINE
--- EXISTING OVERHEAD POWER AND POLE
--- EXISTING CULVERT
--- EXISTING WETLAND (APPROXIMATE)
--- SEPTIC TEST HOLE LOCATION



NORTH



NO.		REVISION	BY	DATE	DESIGN	<div><div>CRESTLINE ENGINEERS 323 DEINHARD LANE, SUITE C · PO BOX 2330 McCALL, IDAHO 83638 208.634.4140 · 208.634.4146 FAX</div><div>HANSEN ACRES/IDAHO WATER SPORTS McCALL VALLEY COUNTY, IDAHO EXISTING PHYSICAL CONDITIONS WITH PRELIMINARY SITE PLAN</div></div>	VERIFY SCALE	
1.	VALLEY COUNTY LAND USE APPLICATION SUBMITTAL		RFP	1/22/2021	GTT		BAR IS ONE INCH ON FULL SIZE DRAWING 0 1"	
					DRAWN		PROJECT	20025
					GTT/RFP		DATE	1/22/2021
					CHECKED		EXHIBIT NO.	SHEET NO.
					BEJ		EX-1	1 OF 5
					APPROVED			
					GTT			



NORTH

0 25 50 100 150

SCALE: 1" = 50'

LEGEND:

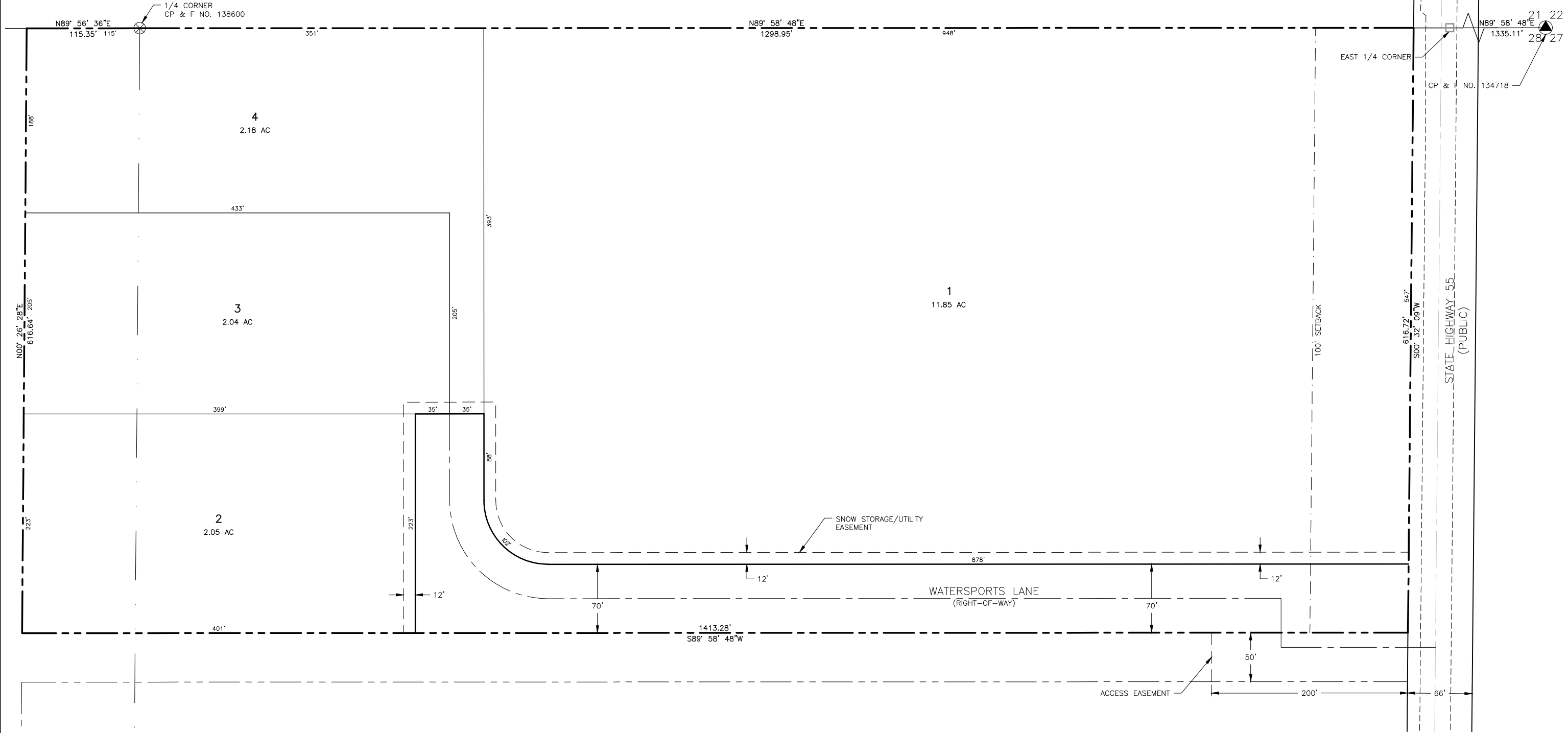
- PROPERTY BOUNDARY
- ADJACENT PROPERTY LINE
- RIGHT-OF-WAY
- ROAD CENTER LINE
- SECTION LINE
- QUARTER SECTION LINE
- SCENIC ROUTE SETBACK LINE
- LOT LINE
- EASEMENT LINE

NOTES:

- IDAHO WATER SPORTS McCALL IS LOCATED IN:
NW 1/4, NE 1/4,
SECTION 28, T.18N., R.3E.,
B.M., VALLEY COUNTY, IDAHO
- THE SUBDIVIDER OF THIS PROPOSED DEVELOPMENT IS:
IWS, LLC
2165 OVERLAND AVENUE
BURLEY, IDAHO 83318
(208) 219-9999
- THE LAND SURVEYOR OF THIS PROPOSED DEVELOPMENT IS:
DUNN LAND SURVEYS, INC
25 COYOTE TRAIL
CASCADE, IDAHO 83611
(208) 382-5726
- THE EXISTING ZONING IS MIXED USE.
- THE TOTAL AREA FOR THE SITE IS 20.02 ACRES.
- REFER TO EXHIBIT NO. EX-1 FOR EXISTING CONDITIONS AND TOPOGRAPHY.

DEVELOPMENT DATA:

PROPERTY AREA	20.02 ACRES
PRIVATE RIGHT-OF-WAY AREA	1.89 ACRES
LOT(S) AREA	18.13 ACRES
PROPOSED BUILDING FOOTPRINT AREA (LOT 1)	1.70 ACRES
PROPOSED ROAD/DRIVEWAY/PARKING AREAS (LOT 1)	1.40 ACRES
OPEN SPACE AREA (LOT 1)	8.75 ACRES
OPEN SPACE PERCENTAGE (LOT 1)	73.8%

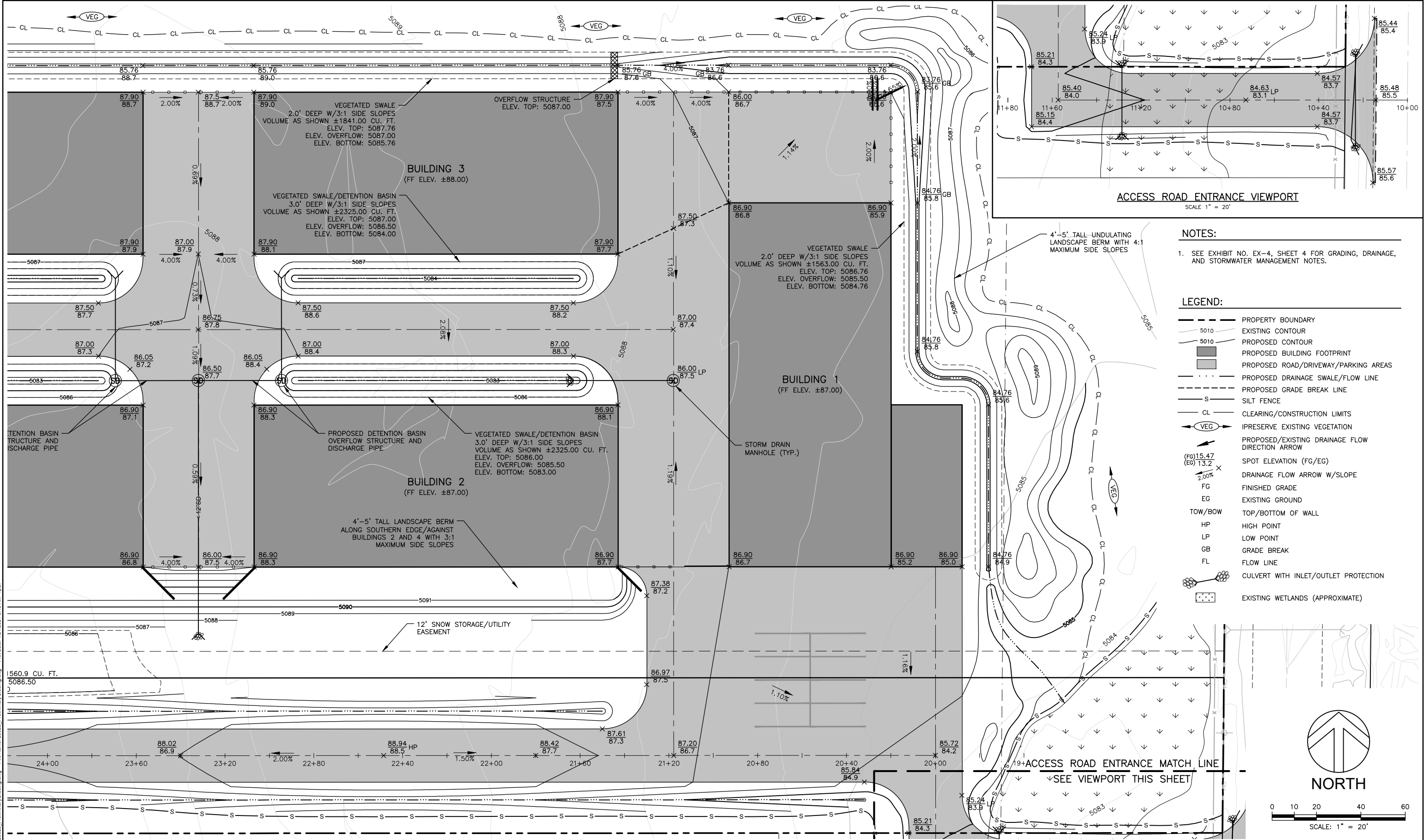


NO.	REVISION	BY	DATE	DESIGN
1.	VALLEY COUNTY LAND USE APPLICATION SUBMITTAL	RFP	1/22/2021	GTT
				DRAWN
				BEJ
				CHECKED
				GTT
				APPROVED
				GTT

CRESTLINE
ENGINEERS
323 DEINHARD LANE, SUITE C · PO BOX 2330
McCALL, IDAHO 83638
208.634.4140 · 208.634.4146 FAX

HANSEN ACRES/IDAHO WATER SPORTS McCALL
VALLEY COUNTY, IDAHO
PRELIMINARY PLAT

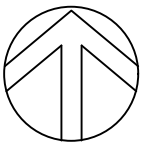
VERIFY SCALE	
BAR IS ONE INCH ON FULL SIZE DRAWING	
0 1"	
PROJECT 20025	
DATE 1/22/2021	
EXHIBIT NO.	SHEET NO.
EX-2	2 OF 5



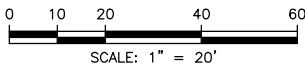
NOTES:

1. SEE EXHIBIT NO. EX-4, SHEET 4 FOR GRADING, DRAINAGE, AND STORMWATER MANAGEMENT NOTES.

- LEGEND:**
- PROPERTY BOUNDARY
 - - - EXISTING CONTOUR
 - - - PROPOSED CONTOUR
 - PROPOSED BUILDING FOOTPRINT
 - PROPOSED ROAD/DRIVEWAY/PARKING AREAS
 - - - PROPOSED DRAINAGE SWALE/FLOW LINE
 - - - PROPOSED GRADE BREAK LINE
 - S - SILT FENCE
 - CL - CLEARING/CONSTRUCTION LIMITS
 - ◀ VEG ▶ IPRESERVE EXISTING VEGETATION
 - ➔ PROPOSED/EXISTING DRAINAGE FLOW DIRECTION ARROW
 - (FG)15.47 (EG)13.2 SPOT ELEVATION (FG/EG)
 - ➔ DRAINAGE FLOW ARROW W/SLOPE
 - FG FINISHED GRADE
 - EG EXISTING GROUND
 - TOW/BOW TOP/BOTTOM OF WALL
 - HP HIGH POINT
 - LP LOW POINT
 - GB GRADE BREAK
 - FL FLOW LINE
 - ⊗ CULVERT WITH INLET/OUTLET PROTECTION
 - EXISTING WETLANDS (APPROXIMATE)



NORTH



NO.	REVISION	BY	DATE	DESIGN
1.	VALLEY COUNTY LAND USE APPLICATION SUBMITTAL	RFP	1/22/2021	GTT
				DRAWN
				GTT/RFP
				CHECKED
				BEJ
				APPROVED
				GTT

CRESTLINE
ENGINEERS
323 DEINHARD LANE, SUITE C · PO BOX 2330
McCALL, IDAHO 83638
208.634.4140 · 208.634.4146 FAX

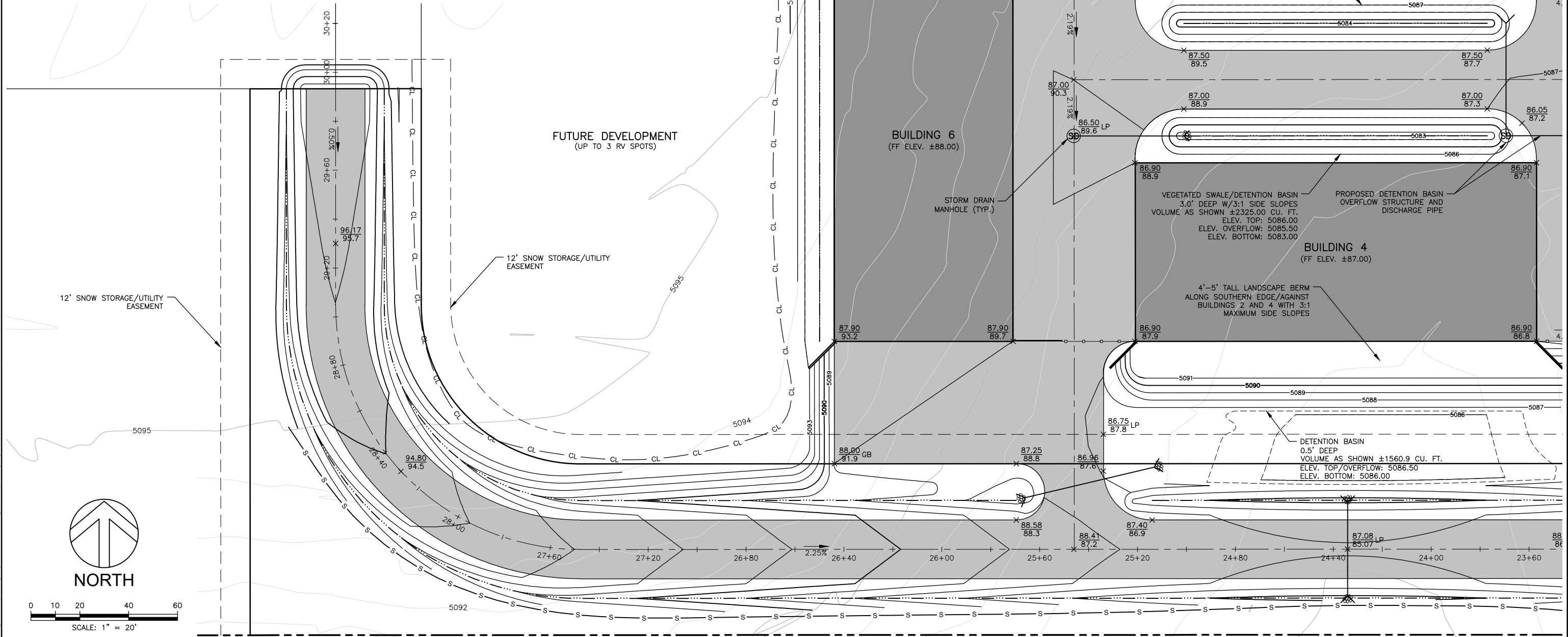
HANSEN ACRES/IDAHO WATER SPORTS McCALL
VALLEY COUNTY, IDAHO
PRELIMINARY GRADING PLAN - 1

VERIFY SCALE	
BAR IS ONE INCH ON FULL SIZE DRAWING	
PROJECT 20025	
DATE 1/22/2021	
EXHIBIT NO.	SHEET NO.
EX-3	3 OF 5

Path: H:\001\WSP20025\DWG\DD\0025 Preliminary Grading.dwg File Name: 20025 Preliminary Grading.dwg Plot Date: 1/21/2021 8:43 AM mtr

GRADING AND DRAINAGE NOTES:

1. STORMWATER TREATMENT TO BE COMPLETED ONSITE USING SURFACE DETENTION.
2. PRELIMINARY STORMWATER CALCULATIONS CAN BE PROVIDED UPON REQUEST.
3. THE GRADING AND STORMWATER DRAINAGE AS SHOWN ON THIS DRAWING IS CONCEPTUAL. FINAL CONSTRUCTION DRAWINGS SHOWING DETAILED DESIGN WILL BE SUBMITTED FOR REVIEW AND APPROVAL BY VALLEY COUNTY PRIOR TO THE START OF ANY PROJECT CONSTRUCTION.
4. STORMWATER MANAGEMENT INCLUDING EROSION AND SEDIMENT CONTROL FOR THE PROJECT WILL BE IMPLEMENTED PER VALLEY COUNTY REQUIREMENTS.
5. REFER TO THE "STATE OF IDAHO, CATALOG OF STORMWATER BEST MANAGEMENT PRACTICES FOR IDAHO CITIES AND COUNTIES" FOR FURTHER DETAILS ON BMP IMPLEMENTATION AND INSTALLATION.
6. ALL EROSION AND SEDIMENT CONTROL BMP'S SHALL BE INSTALLED PRIOR TO THE START OF ANY PROJECT CONSTRUCTION OR EARTH DISTURBING ACTIVITIES AND SHOULD REMAIN IN PLACE UNTIL ALL DISTURBED/EXPOSED AREAS HAVE BEEN STABILIZED AND/OR REVEGETATED.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL BMP'S IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
8. WORK ACTIVITIES SHALL TAKE PLACE WITHIN THE CLEARING LIMITS AS SHOWN ON THIS PLAN. CONTRACTOR SHALL PRESERVE NATURAL VEGETATION OUTSIDE OF CLEARING LIMITS.
9. THE IMPLEMENTATION OF THESE EROSION AND SEDIMENT CONTROL MEASURES INCLUDING INSTALLATION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THIS PLAN IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL PROJECT CONSTRUCTION IS COMPLETED AND APPROVED BY THE OWNER. THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AFTER THE PROJECT IS APPROVED.
10. IN GENERAL, ALL SITE GRADING ADJACENT TO NEW BUILDING STRUCTURES SHALL BE SLOPED TO DRAIN AWAY FROM THE BUILDING AT A MINIMUM OF 1.5% IN HARDSCAPE AREAS AND 4% IN LANDSCAPE AREAS. AREAS BETWEEN NEW STRUCTURES AND PROPERTY BOUNDARIES WILL BE SLOPED TO KEEP STORMWATER ON SITE AND RELEASED INTO EXISTING LANDSCAPED AREAS.
11. SEE EXHIBIT NO. EX-3, SHEET 3 FOR GRADING, DRAINAGE, AND STORMWATER MANAGEMENT LEGEND.



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				DRAWN
				GTT/RFP
				CHECKED
				APPROVED

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ENGINEERS
323 DEINHARD LANE, SUITE C · PO BOX 2330
McCALL, IDAHO 83638
208.634.4140 · 208.634.4146 FAX

HANSEN ACRES/IDAHO WATER SPORTS McCALL
VALLEY COUNTY, IDAHO
PRELIMINARY GRADING PLAN - 2

VERIFY SCALE BAR IS ONE INCH ON FULL SIZE DRAWING 0 1"	
PROJECT	20025
DATE	1/22/2021
EXHIBIT NO.	SHEET NO.
EX-4	4 OF 5

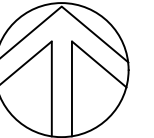
LANDSCAPING NOTES:

1. THE EXISTING SITE VEGETATION CONSISTS OF PASTURE/NATIVE GRASSES. EXISTING VEGETATION SHALL BE MAINTAINED TO THE GREATEST EXTENT POSSIBLE DURING PROJECT CONSTRUCTION.
2. NATIVE CONIFERS, ASPENS/OTHER DECIDUOUS TREES, AND SHRUBS SHALL BE PLANTED AS SHOWN WITHIN THE PROPOSED PLAN AND WILL INCLUDE A MINIMUM SIZE/NUMBER AS INDICATED.
3. CONIFER TREES AS SHOWN, WILL BE SPRUCE, PONDEROSA PINE, OR LARCH, AND SHALL BE 6'-8" TALL MINIMUM.
4. ASPENS OR OTHER DECIDUOUS TREES, WILL POTENTIALLY INCLUDED MAPLE, ASH, OR CANADA RED CHOKECHERRY, AND SHALL BE A MINIMUM SIZE OF 5 GALLON. SHOULD IT BE DESIRED BY THE OWNER, DECIDUOUS TREES MAY BE SUBSTITUTED WITH ADDITIONAL CONIFER TREES.

5. SHRUBS TO BE NATIVE TO VALLEY COUNTY AND DROUGHT TOLERANT WHERE PRACTICAL. EXAMPLE SPECIES INCLUDE, BUT ARE NOT LIMITED TO, DOGWOOD, SERVICEBERRY, MOUNTAIN SNOWBERRY, MALLOW NINEBARK, SPIREA, OR SUMAC. SHOULD ADDITIONAL SPECIES BE DESIRED, THE OWNER WILL COMPLETE SELECTION WITH THE HELP OF A LOCAL NURSERY/LANDSCAPER.
6. ALL REMAINING DISTURBED AREAS WILL BE RESEEDING USING A SEED MIXTURE MATCHING EXISTING OR A DROUGHT TOLERANT SEED MIXTURE NATIVE TO VALLEY COUNTY.
7. ALL LANDSCAPED AREAS WITH THE EXCEPTION OF THE AREAS TO BE REVEGETATED WITH A NATIVE SEED MIXTURE SHALL BE WATERED BY A SPRINKLER/D RIP IRRIGATION SYSTEM.
8. OPEN AREAS SURROUNDING/BETWEEN BUILDINGS AND ASSOCIATED TRAVEL AREAS SHALL BE ENCLOSED BY SIX (6') FOOT TALL OPAQUE FENCING.

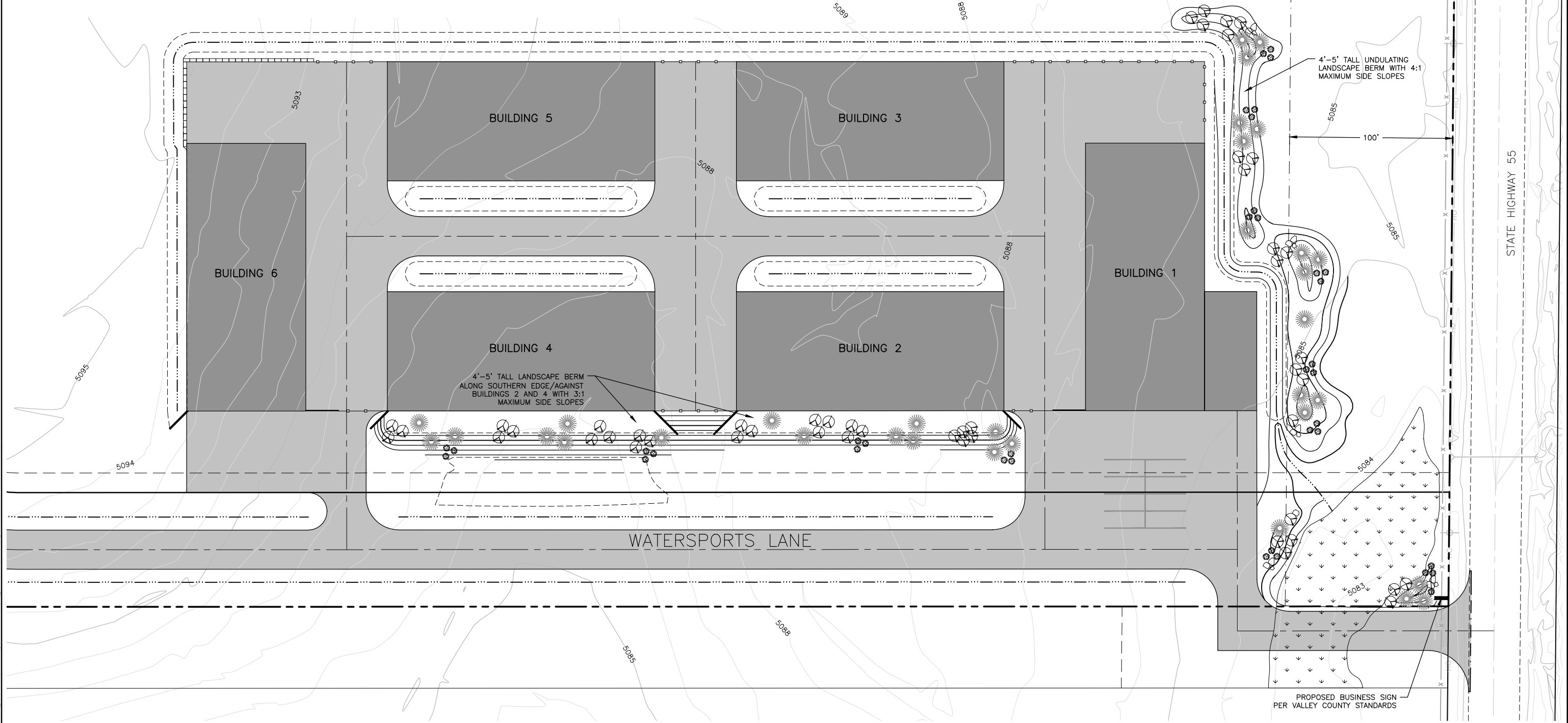
LEGEND:

- 5010
- PROPERTY BOUNDARY
- EXISTING CONTOUR
- PROPOSED BUILDING FOOTPRINT
- PROPOSED ROAD/DRIVEWAY/PARKING AREAS
- EXISTING WETLANDS (APPROXIMATE)
- PROPOSED CONIFER TREE
(33, 6'-8" TALL)
- PROPOSED ASPEN/OTHER DECIDUOUS TREE
(49, 5 GALLON)
- PROPOSED SHRUB
(37, 2 GALLON)
- PROPOSED LANDSCAPE ROCK/BOULDER
- PROPOSED DRAINAGE/STORMWATER SWALE
- PROPOSED STORMWATER DETENTION AREA



NORTH

0 15 30 60 90
SCALE: 1" = 30'



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				DRAWN									PROJECT	
				GTT/RFP									DATE	
				CHECKED									EXHIBIT NO.	
				BEJ									SHEET NO.	
				APPROVED									EX-5	
				GTT									5 OF 5	

CRESTLINE
ENGINEERS
323 DEINHARD LANE, SUITE C · PO BOX 2330
McCALL, IDAHO 83638
208.634.4140 · 208.634.4146 FAX

HANSEN ACRES/IDAHO WATER SPORTS McCALL
VALLEY COUNTY, IDAHO
PRELIMINARY LANDSCAPE PLAN

VERIFY SCALE	
BAR IS ONE INCH ON FULL SIZE DRAWING	
PROJECT	
20025	
DATE	
1/22/2021	
EXHIBIT NO.	SHEET NO.
EX-5	5 OF 5