



Garnet Valley

Planned Unit
Development
& Preliminary
Plat

Valley County



EXISTING ASPHALT PATHWAY

ROCKY RD.

BUS STOP

CLUB HOUSE

PATIO

SPORT COURTS AND TOT LOT

BUILDING E

BUILDING F

TRAILER

BUILDING H

SCULPTURE

GARAGES

GARAGES

GARAGES

BUILDING D

BUILDING A

BUILDING B

GARAGES

NATURAL AREA

GRAVEL PATHWAY

WARBELINE DR.

PRICE ST.

NATURAL AREA

P&Z Summary

Caldwell and Childs voted in favor of the development:

- *Compatible with surrounding land uses*
- *Comprehensive Plan Policies supported*
- *Near existing sewer and water systems*
- *No longer productive agricultural ground*
- *Higher density in Meadows at West Mountain PUD*
- *Infrastructure improvements for existing residents*
- *Low-income and workforce housing units*
- *Contribution to improve Valley County roads*
- *Impacts to existing homes have been mitigated (clustering, open space, landscaping)*
- *Development will be reviewed by agencies before approval*

P&Z Summary

Roberts and Swain voted in opposition of the development:

- *In conflict with Idaho Code, the Comprehensive Plan, and Valley County Code*
- *Density is incompatible with surrounding development*
- *Impact to Cascade Reservoir*
- *Public's opposition should be considered*
- *Should be considering land use, not affordable housing*
- *Does not protect property rights of adjacent property owners*
- *Workforce units are not affordable for locals*
- *Only 81 workforce units provided out of 306 total units*
- *Concerns with increase in traffic and S Bridge condition*
- *Development would be more appropriate in the city of Donnelly*
- *Issues with infrastructure and location cannot be mitigated*

Valley County Comprehensive Plan

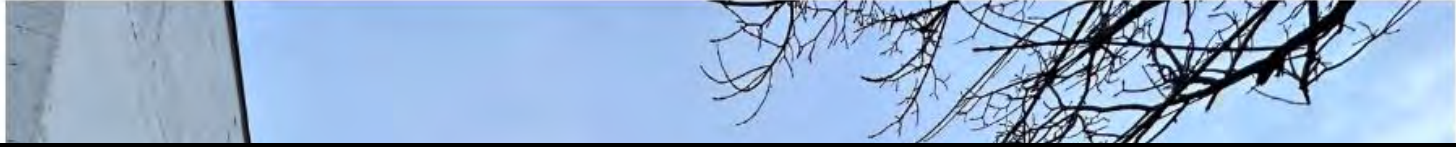
Chapter 8 – Housing and Community Design

Goal I: To encourage an adequate supply and variety of affordable and quality housing types for the local residents including current and future, working and retired.

Goal IV: To encourage new development in or near the existing cities and communities in Valley County.

Goal V: Provide a variety of quality housing types for current and future working and retired residents.

Valley County approves ARPA funds for affordable housing in Cascade



[Idaho First](#) [Projects](#) [Cities](#) [Topics](#) [Podcast](#) [Boise Book](#) [Intersection Event](#)

Maupin, who helped form the housing trust, said this funding request would be enough to cover three housing units in Cascade. However, the trust hopes to leverage the ARPA funds to get additional funding from the Idaho Housing and Finance Association. With both funding sources, the trust would ultimately be able to produce seven units, a triplex, and a four-plex in Raven Ridge in Cascade.

Comments from officials and residents

Clearwater Economic Development, a company the housing trust worked with to put together a housing strategy, found that Valley County would need over 1,000 units of affordable housing in the next decade to keep up with the growth.

"They have already identified on the low end we need 1,100 units. On the high end, we need 1,500 units in the next 10 years," Maupin said. "This request would be three units...I don't even know how we accomplish the task to support the amount of growth in this area."



Downtown Cascade. Photo: Don Day/BoiseDev





By **Autum Robertson** - BoiseDev Reporter

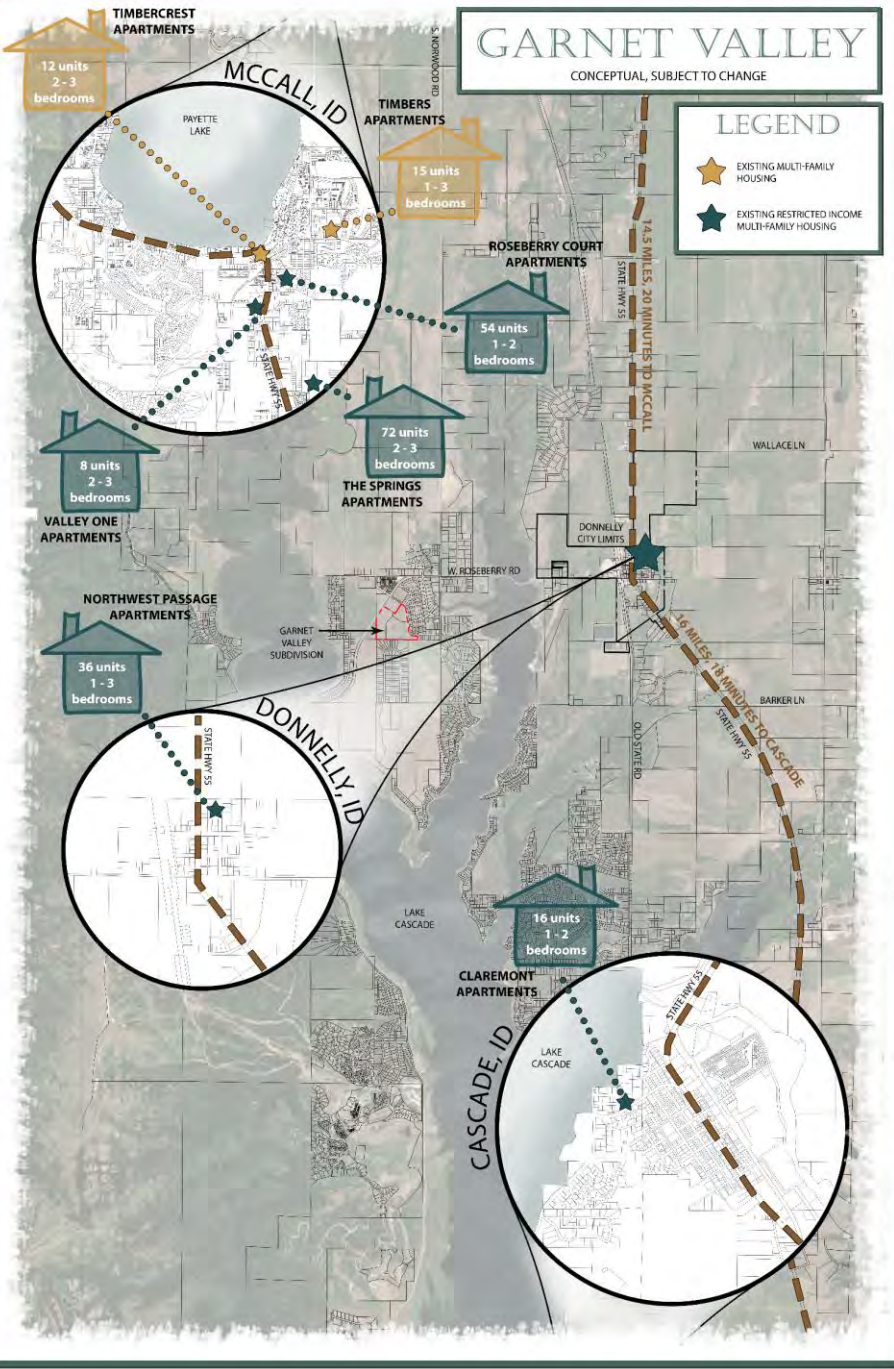
March 2, 2023

GARNET VALLEY



CONCEPTUAL, SUBJECT TO CHANGE

LEGEND

-  EXISTING MULTI-FAMILY HOUSING
-  EXISTING RESTRICTED INCOME MULTI-FAMILY HOUSING



LEGEND

-  EXISTING MULTI-FAMILY HOUSING
-  EXISTING RESTRICTED INCOME MULTI-FAMILY HOUSING

EXISTING HOUSING

BASED ON RESEARCH WITH LOCAL RENTAL COMPANIES AND CALLS COMPLETED IN AUGUST 2023.

LOCATION	COMPLEX SIZE	AVAILABLE UNITS TO RENT AS OF AUGUST 2023	AVERAGE UNIT COST / MONTH
DONNELLY, IDAHO			
* NORTHWEST PASSAGE APARTMENTS	36 UNITS	0 UNITS / 100% OCCUPANCY	\$771
MCCALL, IDAHO			
TIMBERCREST APARTMENTS	12 UNITS	0 UNITS / 100% OCCUPANCY	NA
TIMBERS APARTMENTS	15 UNITS	0 UNITS / 100% OCCUPANCY	NA
* ROSEBERRY COURT APARTMENTS	54 UNITS	0 UNITS / 100% OCCUPANCY	\$904
* THE SPRINGS APARTMENTS	72 UNITS	0 UNITS / 100% OCCUPANCY	\$893
* VALLEY ONE APARTMENTS	8 UNITS	0 UNITS / 100% OCCUPANCY	NA
CASCADE, IDAHO			
* CLAREMONT APARTMENTS	16 UNITS	0 UNITS / 100% OCCUPANCY	\$700
*Restricted Income Housing			

GARNET VALLEY

CONCEPTUAL, SUBJECT TO CHANGE

LEGEND

- AVAILABLE JOB POSTINGS - GOVERNMENTAL AGENCY
- AVAILABLE JOB POSTINGS - MEDICAL INDUSTRY
- AVAILABLE JOB POSTINGS - HOSPITALITY INDUSTRY
- AVAILABLE JOB POSTINGS - SERVICE INDUSTRY
- AVAILABLE JOB POSTINGS - CONSTRUCTION INDUSTRY
- ROUTE TO NEAR-BY TOWNS

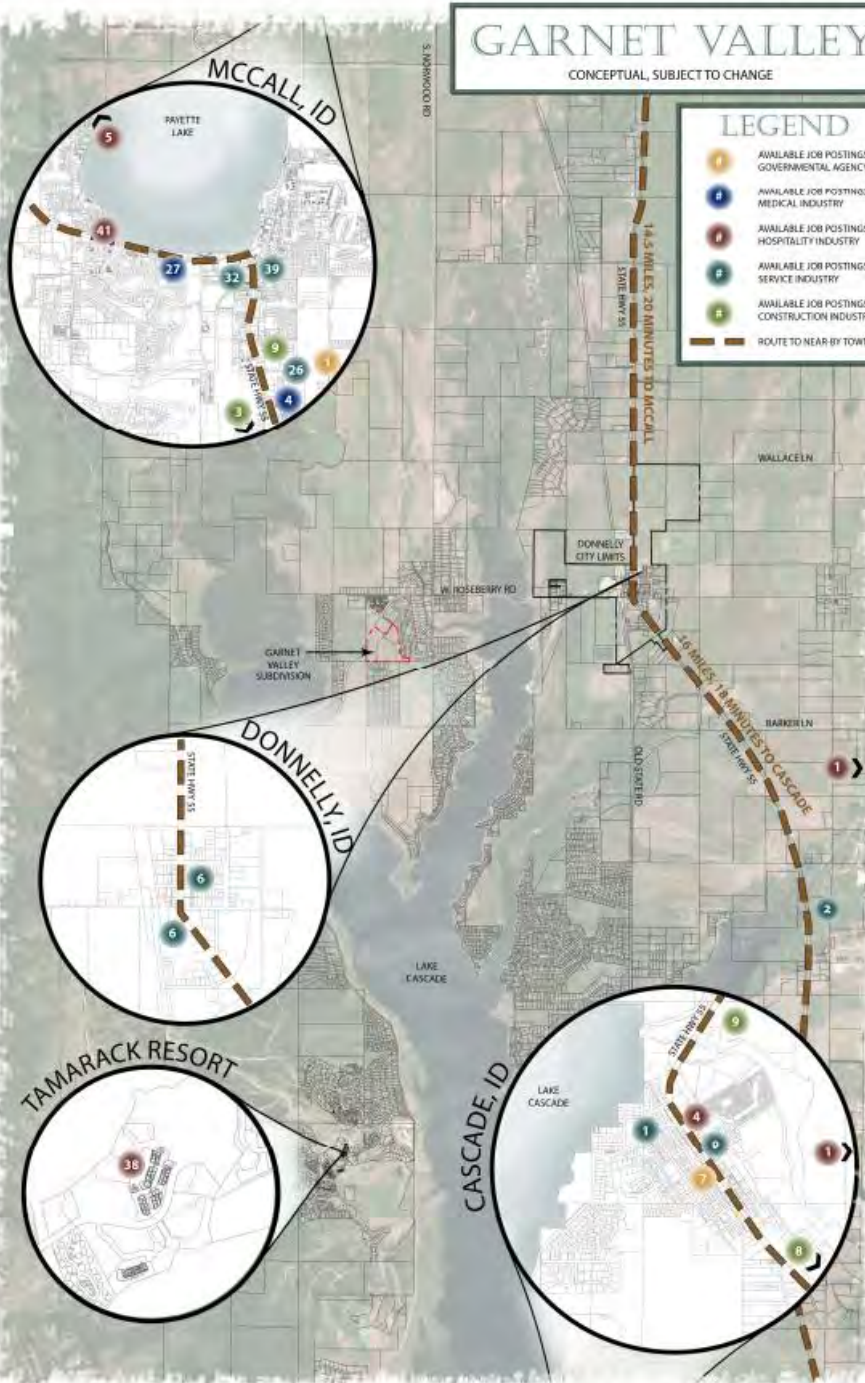
LEGEND

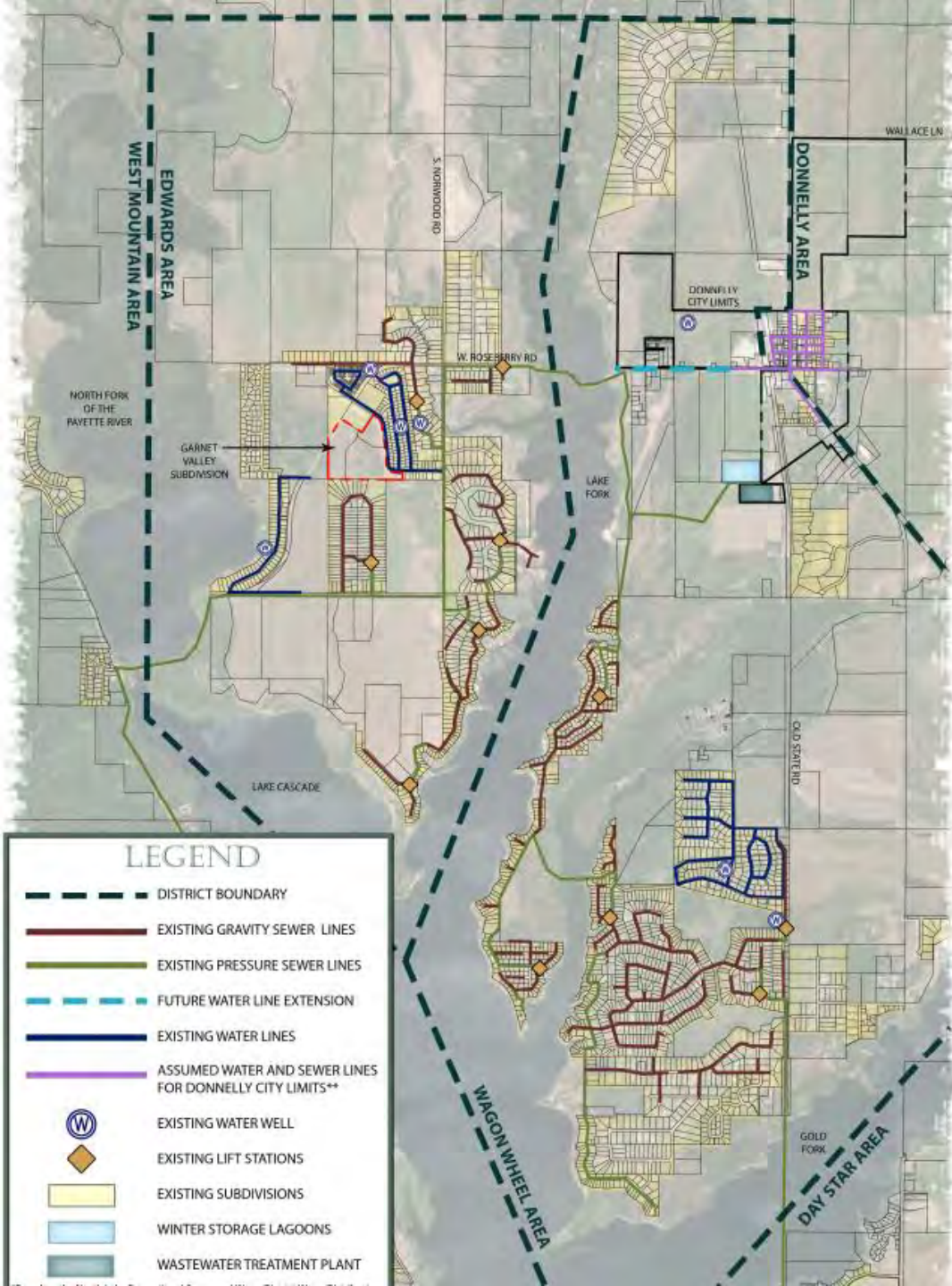
- AVAILABLE JOB POSTINGS - GOVERNMENTAL AGENCY
- AVAILABLE JOB POSTINGS - MEDICAL INDUSTRY
- AVAILABLE JOB POSTINGS - HOSPITALITY INDUSTRY
- AVAILABLE JOB POSTINGS - SERVICE INDUSTRY
- AVAILABLE JOB POSTINGS - CONSTRUCTION INDUSTRY
- ROUTE TO NEAR-BY TOWNS

AVAILABLE JOBS

BASED ON RESEARCH OF JOB POSTINGS ON INDEED, SIMPLY HIRED, LINKEDIN, AND ZIP RECRUITER COMPLETED IN AUGUST 2023.

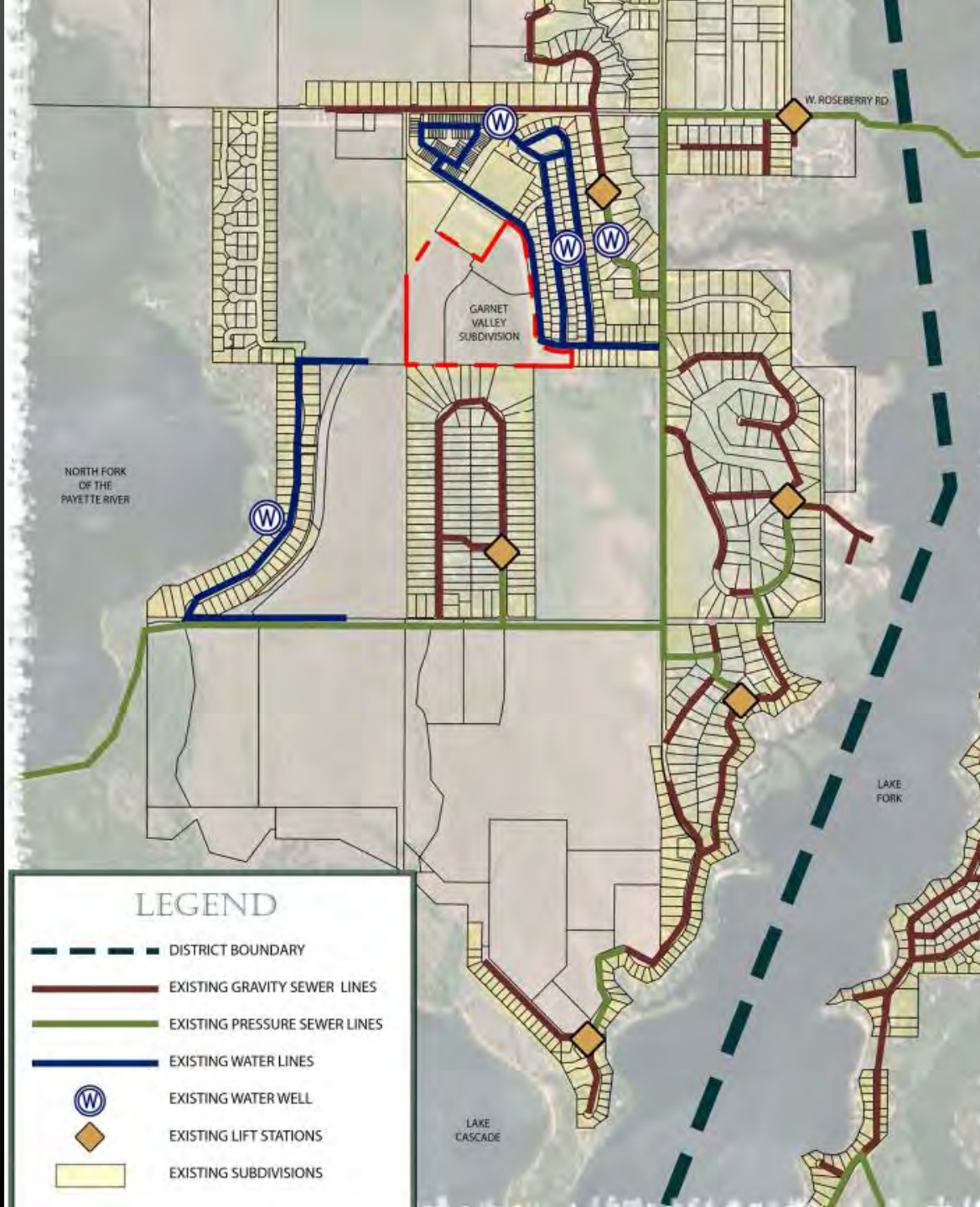
OPEN POSITIONS BASED ON TYPES OF SERVICE	NUMBER OF OPEN POSITIONS	AVERAGE HOURLY PAY
GOVERNMENTAL AGENCY VALLEY COUNTY - ex. 911 Dispatch, Patrol Deputy, Records Custodian STATE OF IDAHO - ex. Lands Resource Spec.	8	\$20.95
MEDICAL INDUSTRY ST. LUKES HEALTH SYSTEM - ex. EMT, LPN, Registered Nurse, CMA RITE AID - ex. Pharmacy Technician, Pharmacy Technician Trainee	31	\$27.74
HOSPITALITY INDUSTRY SHORE LODGE - ex. Concierge, Laundry Attendant, Chef de Partie TAMARACK RESORT - ex. Property Manager, Events Coordinator	90	\$15.96
SERVICE INDUSTRY RIDELY'S FAMILY MARKET - ex. Barista, Cake Decorator, Front End Manager VARIOUS CLEANING COMPANIES, RESTUARANTS, GAS STATIONS ETC.	121	\$15.45
CONSTRUCTION INDUSTRY FRANZ WHITTE - ex. Construction Project Manager/Designer KNIFE RIVER CORPORATION - ex. Ready Mix Driver, Concrete Batch Operator	29	\$20.56





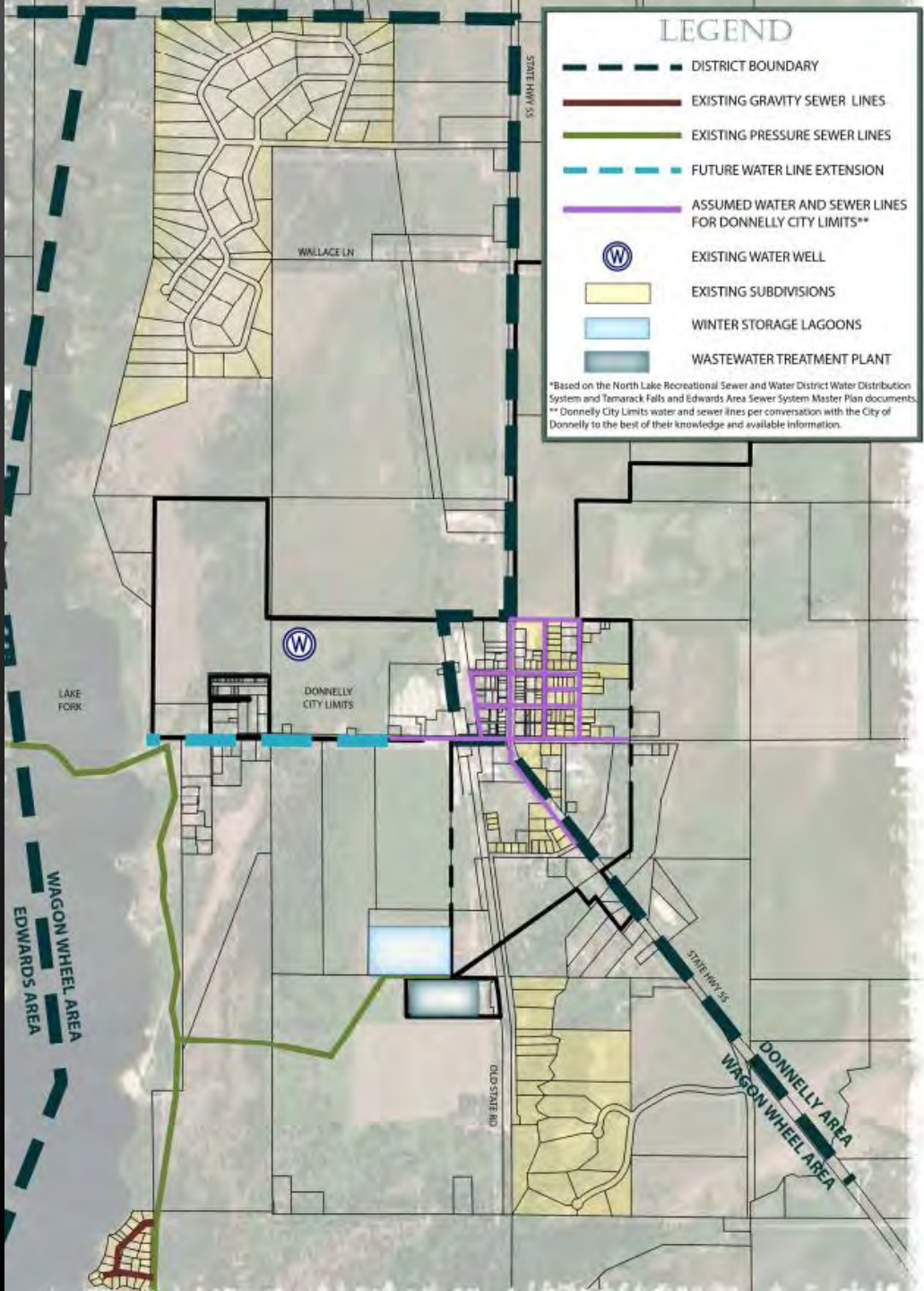
LEGEND

- DISTRICT BOUNDARY
- EXISTING GRAVITY SEWER LINES
- EXISTING PRESSURE SEWER LINES
- FUTURE WATER LINE EXTENSION
- EXISTING WATER LINES
- ASSUMED WATER AND SEWER LINES FOR DONNELLY CITY LIMITS**
- W EXISTING WATER WELL
- EXISTING LIFT STATIONS
- EXISTING SUBDIVISIONS
- WINTER STORAGE LAGOONS
- WASTEWATER TREATMENT PLANT



LEGEND

-  DISTRICT BOUNDARY
-  EXISTING GRAVITY SEWER LINES
-  EXISTING PRESSURE SEWER LINES
-  EXISTING WATER LINES
-  EXISTING WATER WELL
-  EXISTING LIFT STATIONS
-  EXISTING SUBDIVISIONS



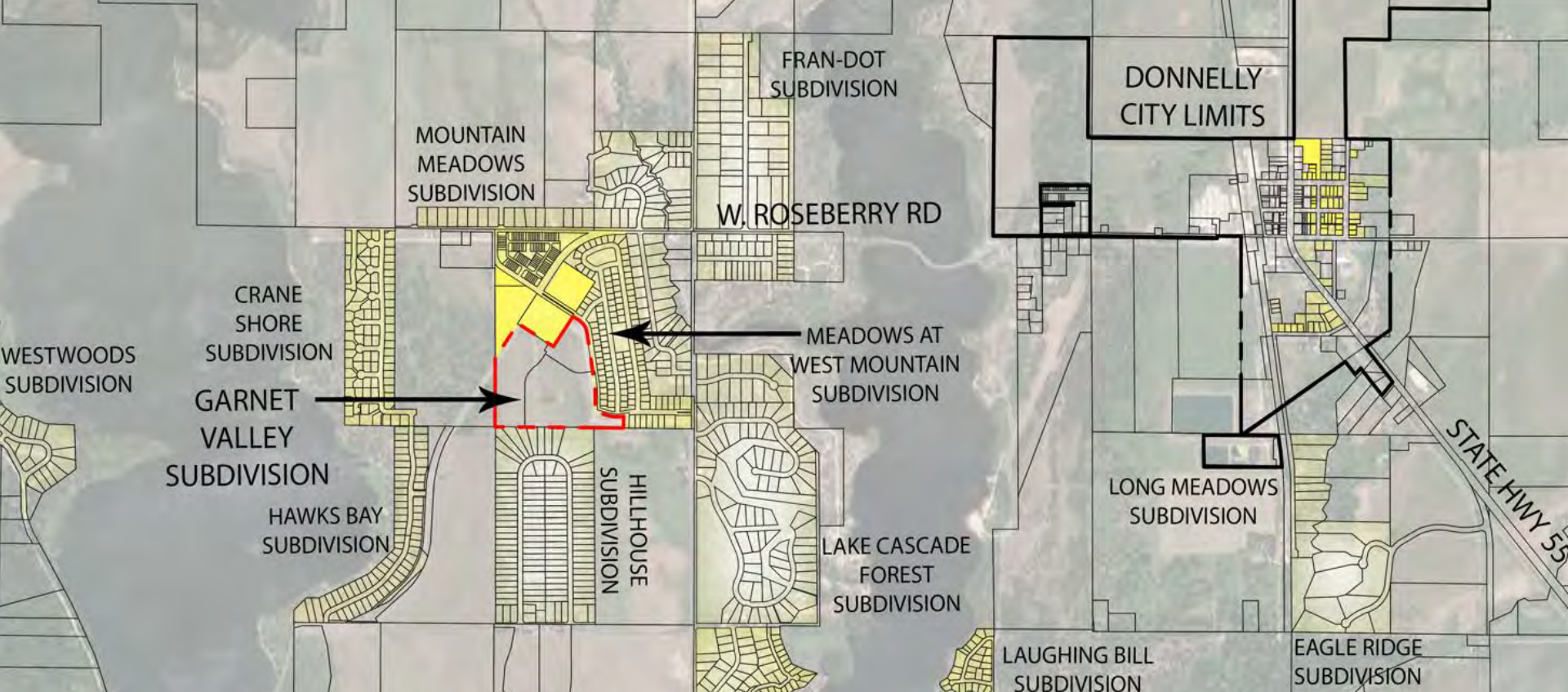
Density

Majority of development in area has occurred outside of Donnelly's city limits.

Portion of the Meadows at West Mountain PUD has density of 9.6 dwelling units per acre

Garnet Valley is 8.1 units per acre on 39 acres





Deedee Gossi, Chief Deputy Assessor, stated that The Meadows at West Mountain, Phase 1, 2, and 3 contain 233 total parcels. Eighteen (18) are unimproved, being a combination of bare lots and/or common area. There are 215 improved parcels; only 45 of which currently have a homeowner's exemption. The remaining 170 appear to be second homes/rentals/etc. (June 22, 2023)

Jody Green, Valley County Planning Tech/Code Compliance, stated there are 36 short-term rentals from Norwood Rd to Tamarack Falls Rd, as follows:

- 7 In Meadows at West Mountain Townhomes
- 7 in Meadows at West Mountain Single Family Residences
- 2 in Hillhouse Subdivision
- 11 in Hawks Bay Subdivision
- 9 along Norwood to the south of West Roseberry

Meadows at West Mountain – 2004 CUP

STAFF COMMENT: I believe the current proposal addresses various needs in Valley County, has some positive aspects, and some negative aspects, as follows:

- It provides public right-of-way for the new road that will go through this development from West Roseberry to Tamarack Falls Road.

P.U.D. 04-01
Staff Report
Page 4 of 7

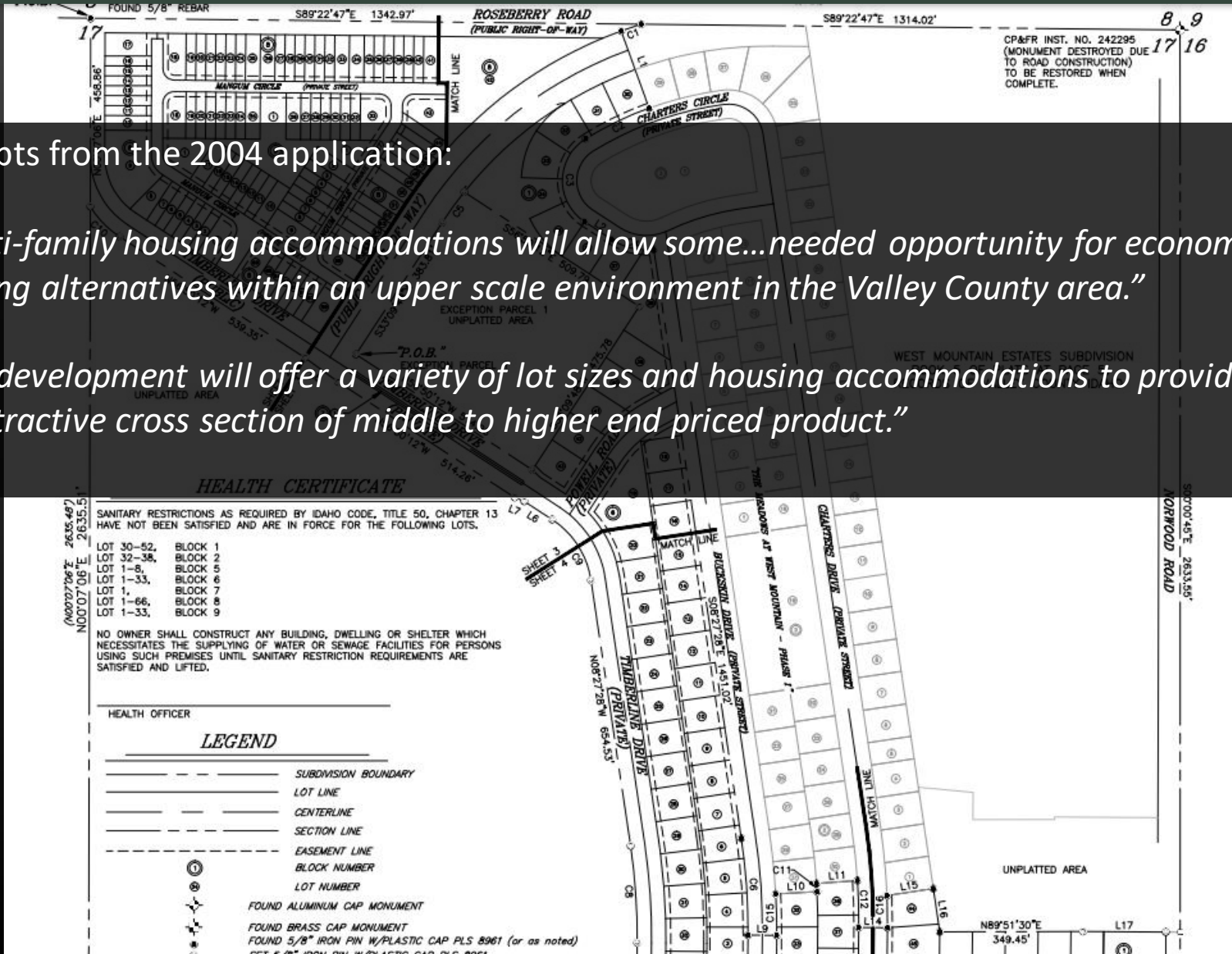
- Would a high end development with large lots and mini-mansions want the main road to Tamarack going right through the middle of it?
- It provides required open space.
- It is proposing affordable housing.
- The design provides unique mitigation for servicing the project such as leaving places for snow removal.

Meadows at West Mountain – 2004 PUD

Excerpts from the 2004 application:

“Multi-family housing accommodations will allow some...needed opportunity for economic housing alternatives within an upper scale environment in the Valley County area.”

“The development will offer a variety of lot sizes and housing accommodations to provide for an attractive cross section of middle to higher end priced product.”



Preliminary Plat

+/- 38.84 acres

Total lots: 15

Single-family: 10

Multi-family: 1

Common space: 3

Right-of-way: 1

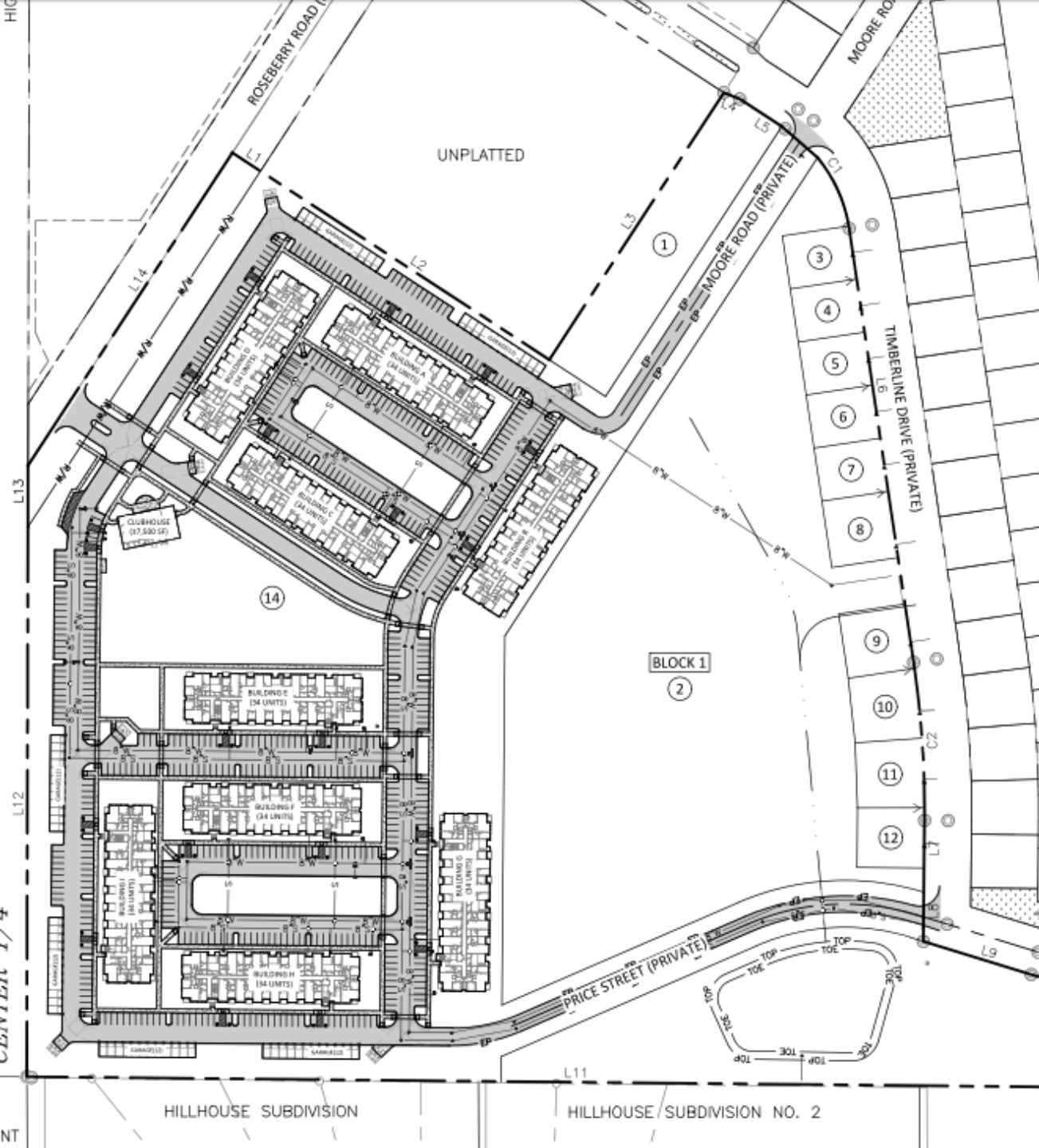
Multi-family units: 306

Density

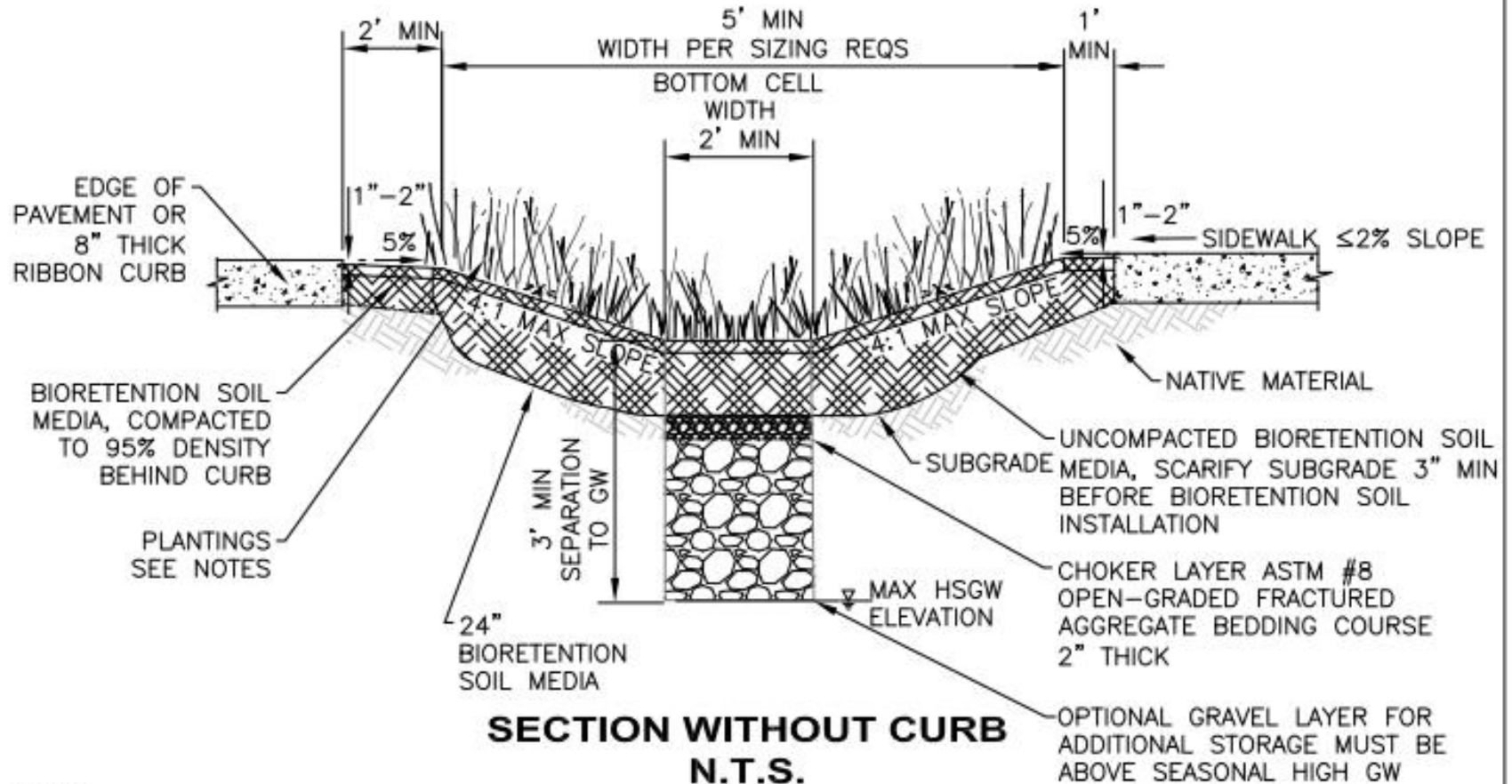
Overall: 8.1 units/acre

Single-family: 4.9
units/acre

Multi-family: 13.4
units/acre



Engineering



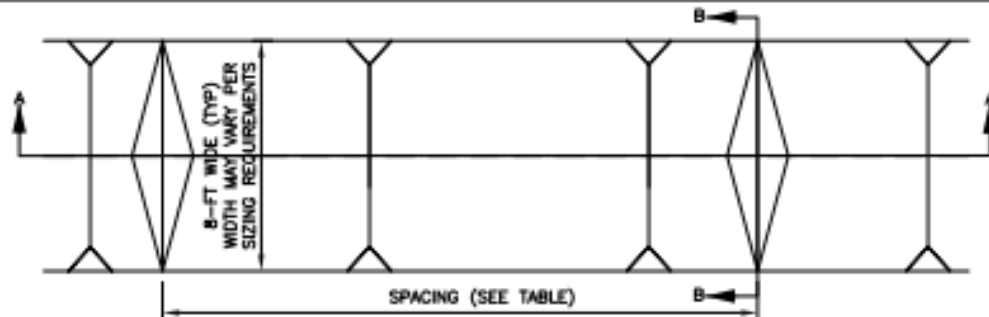
NOTES:

1. SEE NOTES ON SHEET 2 OF 3

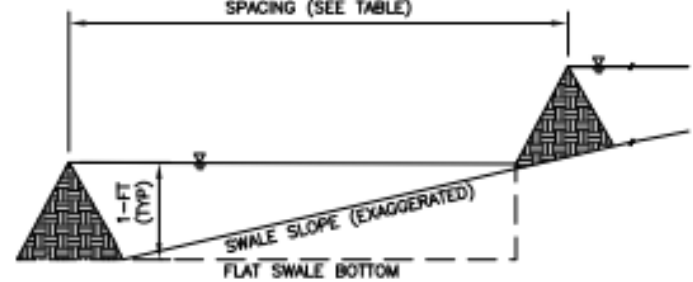
2017
ACHD STORMWATER DESIGN
GUIDELINES

BIORETENTION SWALE

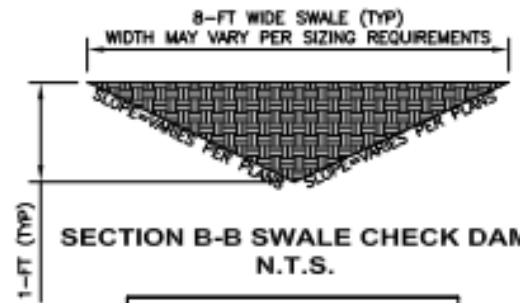
STANDARD DRAWING
BMP 30
SHEET 1 OF 3



PLAN
N.T.S.
SPACING (SEE TABLE)



SECTION A-A
N.T.S.



SECTION B-B SWALE CHECK DAM
N.T.S.

PERCENT SLOPE	DIST BETWEEN CHECK DAMS (FT)
1%	100
2%	50
3%	33
4%	25
>=5%, 10% MAX	20

- NOTES:**
- CHECK DAMS TO BE CONSTRUCTED OF CLAY SOIL TO MINIMIZE SEEPAGE OR COBBLES FOR CONVEYANCE SWALES. OTHER MATERIALS MAY BE USED FOR CHECK DAMS WITH ACHD WRITTEN APPROVAL
 - SIDE SLOPES AND CHECK DAMS SHALL COMPLY WITH AASHTO CLEAR ZONE GUIDELINES



Single-family

10 single-family lots adjacent to existing residences within Meadows at West Mountain

8,000 square foot lots to match existing lots

Over 9 acres of open space to provide buffer to multi-family

3.8 acres open space on south side of Price Street to buffer existing single-family homes in Hillhouse Loop

Multi-family

+/- 22.81 acres

Multi-family units: 306

Mix of studio, 1- and 2-
bedroom units

Density: 13.4 units/acre

7 acres (18%) open space

- Pickleball courts
- Tot lot
- Clubhouse with outdoor seating and patio
- Open space areas

Height of buildings – 2 story



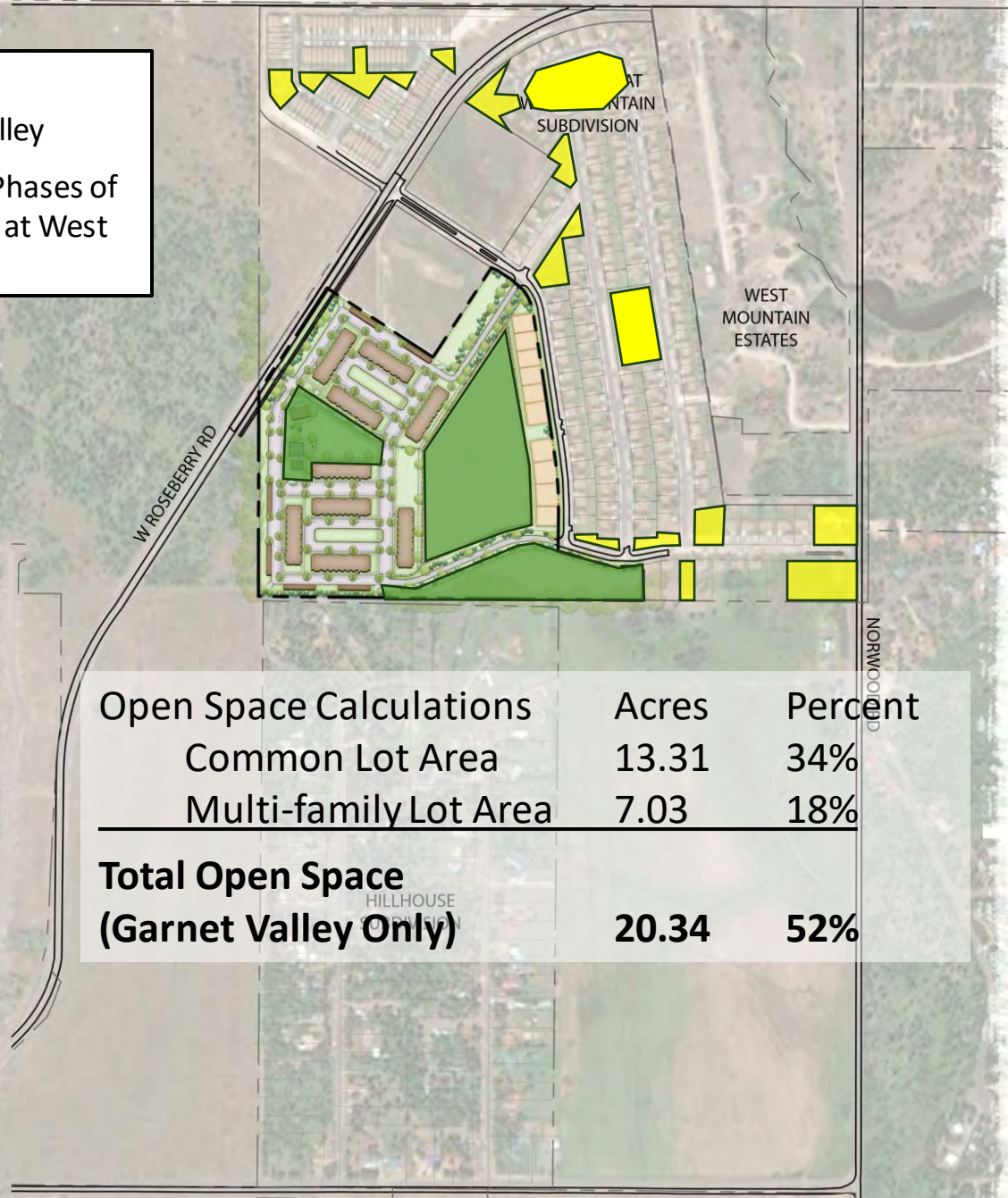
OPEN SPACE



Garnet Valley



Previous Phases of
Meadows at West
Mountain



Open Space Calculations	Acres	Percent
Common Lot Area	13.31	34%
Multi-family Lot Area	7.03	18%
Total Open Space (Garnet Valley Only)	20.34	52%

After Recording
Return to:

T. Hethe Clark
Clark Wardle LLP
P.O. Box 639
Boise, Idaho 83701

DEVELOPMENT AGREEMENT
[Garnet Valley]

This Development Agreement (this "**Agreement**") is entered into effective as of the date last written below, by and among VALLEY COUNTY, IDAHO, a body politic within the State of Idaho (the "**County**") and Roseberry Park LLC, a Delaware limited liability company (the "**Developer**"). The County and the Developer are sometimes collectively referred to herein as the "**Parties**" and individually as a "**Party**."

WITNESSETH:

WHEREAS, the Developer is the owner of record of that certain real property legally described on **Exhibit A**, attached hereto and made a part hereof (the "**Property**");

WHEREAS, the Developer is seeking approval of applications _____ (the "**Applications**");

WHEREAS, the Developer has proposed that the Property be developed pursuant to and in accordance with the Applications, the County's Comprehensive Plan and Zoning Ordinance in effect on the date of application, and in accordance with the terms and conditions of this Agreement and any amendments hereto. Such development is hereafter referred to as the "**Project**";

WHEREAS, the County has the authority pursuant to Section 9-9-9 of the Valley County Code and Section 67-6511A of Idaho Code to conditionally rezone the Property and to enter into this Agreement for the purpose of allowing, by agreement, the proposed development to proceed;

WHEREAS, the County's Planning & Zoning Commission (the "**Commission**") and County Commissioners (the "**Board**") held public hearings as prescribed by law with respect to the development of the Property and this Agreement, including: _____ and _____, respectively;

WHEREAS, all public hearings pursuant to notice as required by law or other action required to be held or taken prior to the adoption and execution of this Agreement have been held and/or taken;

WHEREAS, it is the intent and desire of the Parties that development of the Property proceed as provided herein, subject to the terms and conditions of this Agreement; and,

WHEREAS, the Parties do enter into this Agreement with mutual consideration as reflected in the covenants, duties, and obligations herein set forth.

AGREEMENT

NOW THEREFORE, in consideration of the above recitals which are incorporated below, and of the mutual covenants and agreements herein contained and other good and valuable consideration, the sufficiency of which is hereby acknowledged, the Parties agree as follows:

Development Agreement

Addresses key topics discussed throughout coordination with staff, Planning and Zoning Commission, neighbors and community stakeholders

EXHIBIT B
Conditions of Zoning Approval

1. **Compliance with Plans.** Compliance with plans and specifications submitted to and on file in the Planning and Zoning Department dated received _____, except as expressly modified herein or pursuant to application to the County.
2. **Maximum Units.** The maximum number of units allowed shall be 316 (306 multi-family and 10 single-family units).
3. **Workforce Housing.** A total of 82 units throughout the project (collectively, the "**Workforce Units**") shall be identified from time to time and subject to the following affordability and workforce housing program. As further described below, the 82 Workforce Units shall include a combination of "80% AMI Restriction" units, "LIHTC Restriction" units, and the "Fire District Unit" (each as defined below).
 - a. **80% AMI Restriction.** Initially, 47 units shall be rent-restricted to individuals making no more than eighty percent (80%) of average median income ("**AMI**") for Valley County, Idaho for the size of the household in question, as published from time to time by the Idaho Housing Finance Association, Inc. ("**IHFA**") or any successor to IHFA responsible for administration of Housing Tax Credits under the 1986 Tax Reform Act.
 - b. **LIHTC Restriction.** Developer shall set aside one building containing a minimum of 34 units (collectively, the "**LIHTC Units**") for development under the Low-Income Housing Tax Credit (LIHTC) program administered by IHFA. Developer shall employ commercially reasonable efforts to obtain LIHTC funding the LIHTC Units and shall not be permitted to construct the same without LIHTC funding approval for a period of ten (10) years. Upon such approval, it is anticipated that the LIHTC Units shall be available for rent at 60% of AMI but shall be subject to the requirements of federal law and the entity administering the LIHTC program at the time (anticipated to be IHFA).
 - i. In the event Developer is unable to receive LIHTC funding during said ten-year period, Developer may construct the LIHTC Units, which shall be subject to the 80% AMI Restriction set forth in Section 3.a, above, increasing the number of 80% AMI Restriction units to 81.
 - c. **Fire District Unit.** Developer shall make one (1) unit available at no cost to Donnelly Rural Fire Protection District (the "**Fire District**") for a period of ten (10) years, which initial term may be renewed by the Fire District in its sole discretion for an additional ten (10) year period on the same terms and conditions. The Fire District's occupancy of said unit shall be subject to reasonable conditions related to maintenance, occupancy, and use. In the event the Fire District terminates or chooses to no longer occupy, said unit shall be subject to the 80% AMI Restriction set forth in Section 3.a, above.
 - d. **Workforce Unit Allocation and Completion.** Developer shall ensure that a prorata number of Workforce Units are made available for occupancy concurrently with each building that receives a certificate of occupancy. The prorata allocation shall be based on the total number of Workforce Units required under this Agreement and the total number of buildings in the development minus one (i.e. 48 units ÷ 8 buildings = 6 units per building). Failure to comply with this clause shall be considered a breach of this Agreement.
 - e. **Workforce Unit Occupancy Restriction.** All Workforce Units shall be reserved to Valley County residents or those showing proof of employment with a Valley County employer at the time of application.

Affordability Component

47 rent-restricted units for
80% AMI earners

34 units for 60% AMI earners

1 unit dedicated to Fire
District for 10 years

Prorata number of workforce
units for each building (6
units per building)

Lease Minimums

5. **Rental Length.** In order to ensure the project provides workforce housing, no rentals of less than 180 days shall be permitted. The foregoing is in accordance with Valley County Code Section 1-8-4.A.6.c and shall be modified in the event the foregoing provisions of Valley County Code are modified. If the foregoing short term rental period is increased by Valley County Code, any non-conforming lease shall be required to come into compliance with such updated time period at the end of its then-current lease term. Ongoing proof of such restriction shall be provided to the County Zoning Administrator for confirmation upon request.
 - a. Employer Housing Exception. In the spirit of providing workforce housing, local employers may lease units for purposes of housing employees on an ongoing basis. Such employees' occupancy, in such cases, may not last the one-year period identified above. The foregoing shall be permitted so long as such units are: (i) subject to leases satisfying the one-year minimum identified above; and (ii) proof of employment and occupancy is provided to Developer in connection with such rental arrangements.

Traffic Mitigation

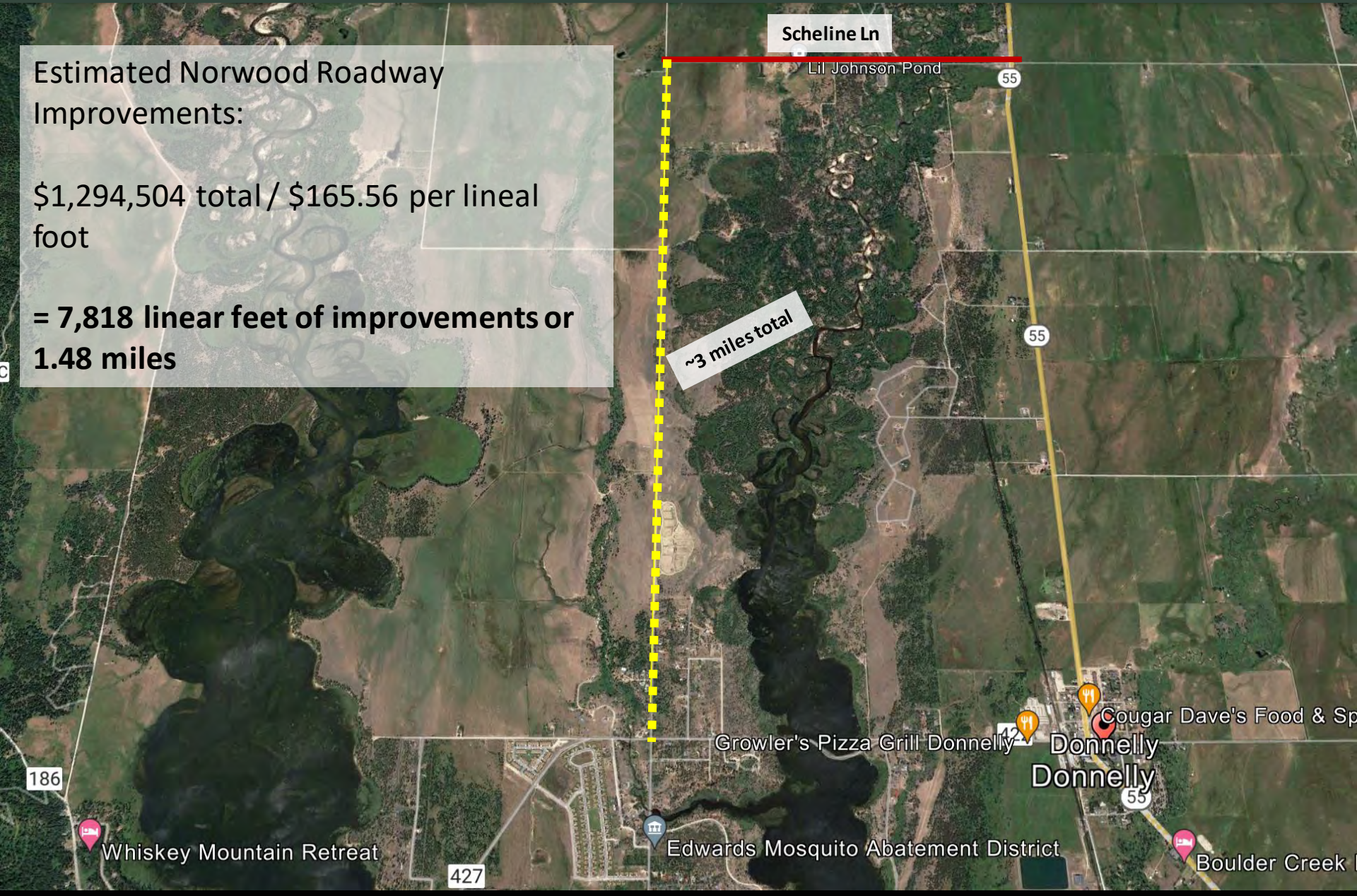
8. **Traffic Mitigation.** Developer shall pay a traffic mitigation fee to the County in the amount of per market-rate unit, which traffic mitigation fee may be used by the County to address existing roadway deficiencies. No mitigation fee shall be required for Workforce Units. In the alternative, Developer may propose construction of roadway improvements as approved by the County in a roadway impact mitigation agreement to be reviewed and approved by the Valley County Board of County Commissioners. Any such agreement (traffic mitigation fee or construction) shall be a requirement of recording of the first final plat of the project.

Traffic and Roadways

Estimated Norwood Roadway
Improvements:

\$1,294,504 total / \$165.56 per lineal
foot

= 7,818 linear feet of improvements or
1.48 miles



Scheline Ln

Lil Johnson Pond

55

55

186

Whiskey Mountain Retreat

427

Edwards Mosquito Abatement District

Growler's Pizza Grill Donnelly

Donnelly

Donnelly

55

Cougar Dave's Food & Sp

Boulder Creek

Traffic and Roadways

7 - Earthwork (Offsite)

33	Final Subgrade (Offsite)	192,000.00	SF	\$0.09	\$17,280.00
34	Type II Subbase (12- Inches) (Offsite)	9,244.00	CY	\$51.43	\$475,418.92
35	3/4" Road Mix Base Prep (6-Inches) (Offsite)	4,622.00	CY	\$54.24	\$250,697.28
36	HMA Paving (2.5- Inches) (Offsite)	2,343.00	TON	\$189.48	\$443,951.64
37	2 Ft Shouldering (Offsite)	577.00	CY	\$56.29	\$32,479.33

7/6/2023 3:54:15 PM

Page 1 of 2

Item #	Item Description	Estimated Quantity	Unit	Unit Price	Total Price
8 - Miscellaneous					
22	Concrete Collars	1.00	LS	\$93,021.51	\$93,021.51
23	Striping & Signage	1.00	LS	\$4,435.63	\$4,435.63
8 - Miscellaneous (Offsite)					
38	Striping & Signage (Offsite)	1.00	LS	\$7,221.61	\$7,221.61

SUBTOTAL OFFSITE ROADWAY COSTS: \$1,324,505.92

7. **Clubhouse.** The clubhouse proposed with the Project shall be used only by residents and their guests. Illustrative depictions of the clubhouse are included on **Exhibit D**, attached hereto and made a part hereof. Use of the clubhouse shall not be permitted for commercial use unless additional required approvals are provided by the County.

9. **Open Space, Trails, and Pathways.** Open space, trails, and pathways shall be provided within the project substantially in accordance with **Exhibit E**, attached hereto and made a part hereof. Uses of open space areas may be modified so long as the dimensions of such open space remains substantially consistent with Exhibit E. For example, open space areas may include play or recreational amenities not identified on Exhibit E. No residential structures may be constructed on open space areas without amendment to this Agreement.

10. **Amenities.** The project shall include the following amenities: children's play structure, clubhouse, patio and seating area, sport courts, and pathways, as further depicted on **Exhibit F**, attached hereto and made a part hereof. Amenities shall be installed in accordance with the Phasing Plan attached hereto as **Exhibit H** and made a part hereof.



BASKETBALL COURT REFERENCE PHOTO

NTS



PICKLEBALL COURT REFERENCE PHOTO

NTS



PLAYGROUND REFERENCE PHOTO

NTS

11. Infrastructure.

- a. Sewer and Water. An agreement with North Lake Recreational Sewer and Water District ("NLRSD") must be finalized prior to signature of the first final plat. Such agreement shall include all improvements to area sewer and water infrastructure sufficient to permit NLRSD to service the project.
- b. Access. Access onto public streets (W. Roseberry Rd.) shall be provided in accordance with the approved site plans. In the event access onto neighboring private streets is determined by a court having jurisdiction to be prohibited, Developer shall pursue and obtain a modification to the final plat with additional access onto W. Roseberry Rd.
- c. Trash. It is anticipated that Lakeshore Disposal shall provide trash collection services. Developer shall provide a will-serve letter confirming such service in connection with the first final plat of the property.
- d. Parking. Parking shall be in accordance with the approved site plan for the project. Developer (or its successors) shall be responsible for any and all parking enforcement within the Property. The project plan for the Property is attached as **Exhibit G** and made a part hereof. Developer shall ensure that resident parking occurs only within the Property and not on adjoining public or private streets.
- e. Stormwater Management and Drainage. Stormwater management and drainage shall be provided in accordance with the grading and drainage plans attached to the approved preliminary plat. The detailed stormwater management and site grading plan shall be approved by the Valley County Engineer prior to any work being done on-site. Preliminary grading and drainage plans shall be subject to modification in connection with final construction documents. Storm drainage systems shall meet or exceed 25-year storm drainage criteria. Any property affected by jurisdictional wetlands shall require application and approval by the U.S. Army Corps of Engineers.
- f. Public Transit. Prior to signature of the first final plat, Developer shall provide proof of discussions with Tamarack and area transit authorities in order to identify and reserve a potential bus stop location within the Property.

TIMBERLINE DEVELOPMENT INC.

(208) 939-0242
FAX (208) 939-
0267
132 SW 5TH AVE.
SUITE 100
MERIDIAN,
IDAHO 83642

Sewer & Water

Meadows Water Company will provide service with conditions.

- Install back-up generators
- Designed to DEQ requirements

North Lakes Recreational Sewer and Water District will provide service with conditions.

- Upgrade pumps
- Upgrade electrical
- Upgrade back-up generator

Working with NLRSD to develop regional water system.

- No additional wells needed to serve area.
- Have local, professional entity to run and operate the system.

June 5, 2023

Roseberry Park LLC.
Dean Warhaft, PSM
13580 Ludlam Road
Pinecrest FL 33156

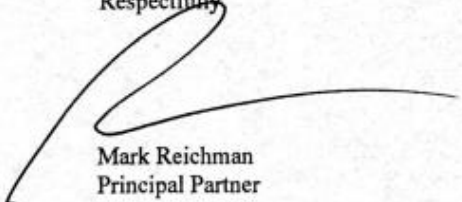
**RE: Garnet Valley PUD - Water Will Serve
Valley County, ID**

Dear Mr. Warhaft:

The above referenced project is serviceable by the Meadows Water, LLC which is owned and operated by Timberline Development Inc. under its present tariffs, rules and regulations as filed with the Idaho Public Utilities Commission. The water infrastructure system as defined in IDAPA 58.01.08.003 must be designed to Department of Environmental Quality (DEQ) facility and design standards and must be approved by DEQ. Prior to connection to the water system, the developer must also complete the improvements listed in your pre-development meeting.

If you have any questions or comments, please call me directly.

Respectfully,



Mark Reichman
Principal Partner

12. **Phasing Plan.** The project shall be phased in accordance with that certain phasing plan attached as **Exhibit H**, attached hereto and made a part hereof.



PHASING PLAN

Public Transit

Working with Treasure Valley Transit, Tamarack and other community stakeholders to establish a new route. Will commit to contributions with group to facilitate line.



Community Concerns and Feedback

Letter received from Chelsea Tuttle dated August 29, 2023:

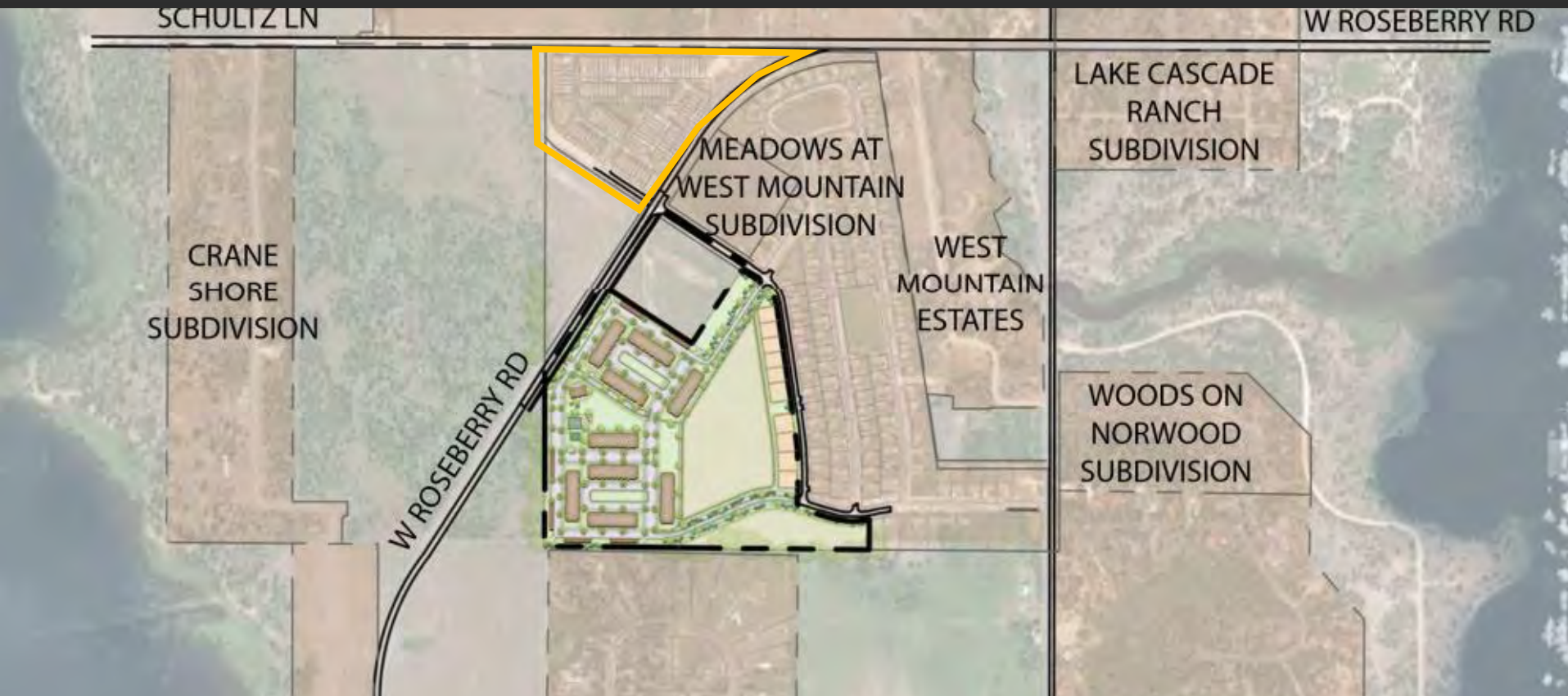
- Does not match surrounding housing density
- Lower the surrounding property values
- Increased crime
- Roseberry Road and S-Bridge traffic increase
- Inappropriate location for a highly dense apartment complex
- Access via privately maintained roads
- Lack of walkable and bikeable access
- Dark sky ordinance violations
- Increased noise pollution
- Increased pollution
- *Water/flooding/snow melt – engineered storm drainage, meet approval of county engineer*
- School bus needs

Community Concerns and Feedback - Density

- Does not match surrounding housing density.

Density is consistent with townhome development across the street

Roseberry area is where development is occurring (not within cities)



Community Concerns and Feedback – Property Values

- **Lower surrounding property values.**

“The fear that housing density will hurt property values seems to be primarily based on anecdotes. By contrast, most research has come to a different conclusion: in general, neither multifamily rental housing, nor low-income housing, causes neighboring property values to decline.”

Source: Joint Center for Housing Studies – Harvard University, *Overcoming Opposition to Multifamily Rental Housing*, available at https://www.jchs.harvard.edu/sites/default/files/rr07-14_obrinsky_stein.pdf

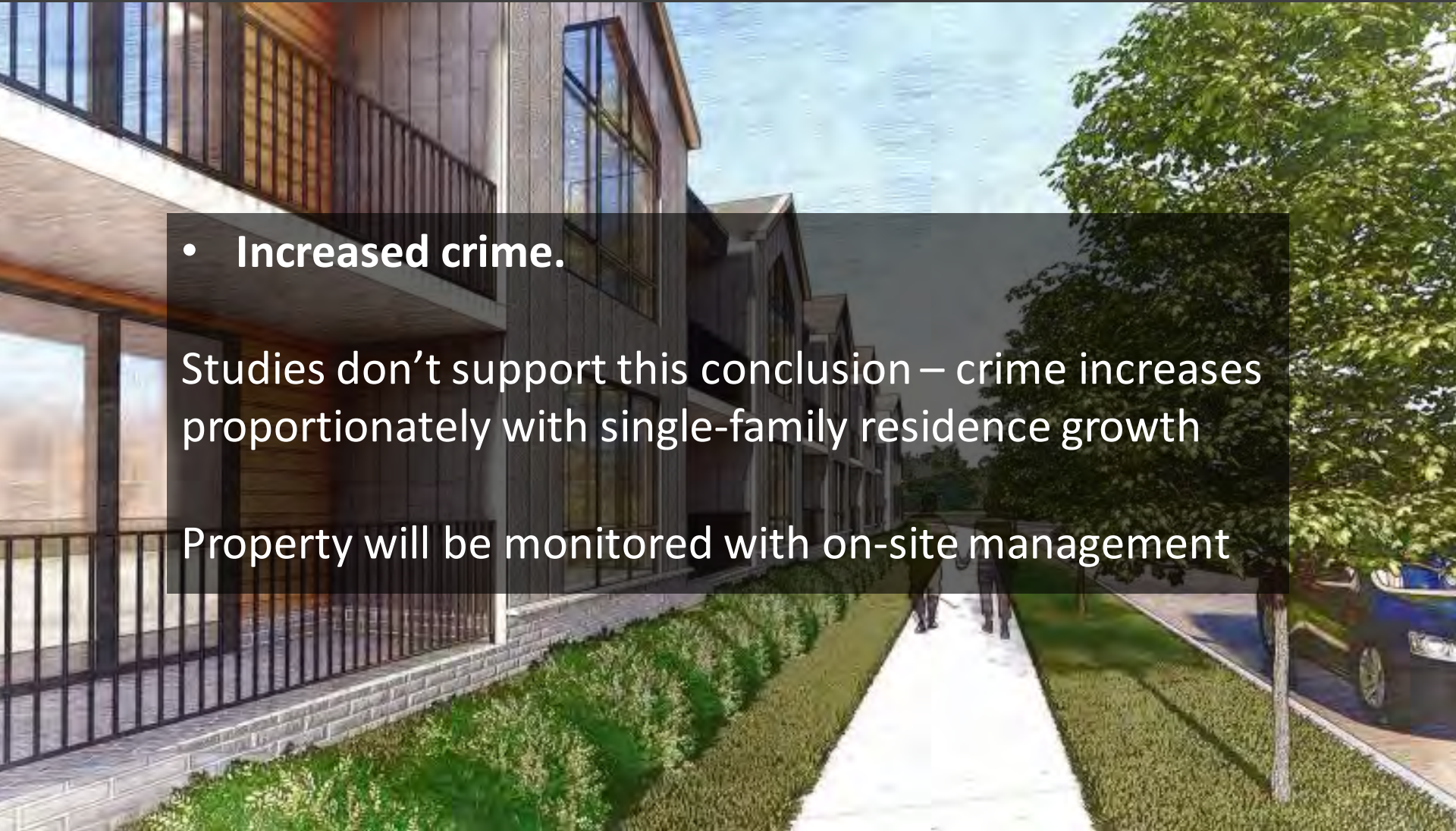


Community Concerns and Feedback – Increased Crime

- **Increased crime.**

Studies don't support this conclusion – crime increases proportionately with single-family residence growth

Property will be monitored with on-site management



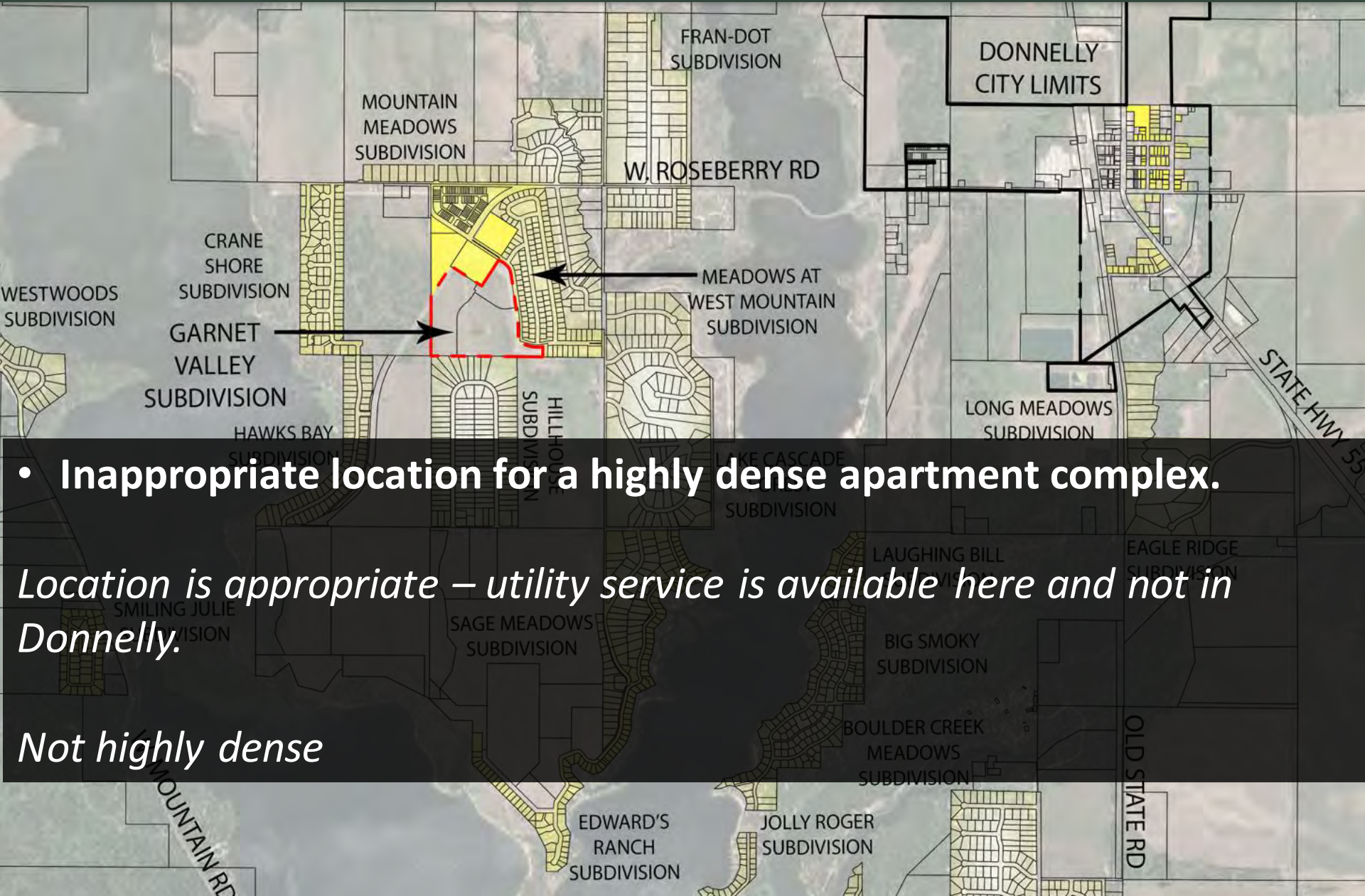
Community Concerns and Feedback – Roseberry Road and S-Bridge Traffic Increase

- **Roseberry Rd and S-Bridge traffic increase.**

All traffic will increase—much in this area goes to Tamarack; anticipate “flipping the script” and putting Tamarack employees on this side of the S-Bridge

Will contribute to new transit line to reduce traffic impacts

Community Concerns and Feedback – Inappropriate Location



- **Inappropriate location for a highly dense apartment complex.**

Location is appropriate – utility service is available here and not in Donnelly.

Not highly dense

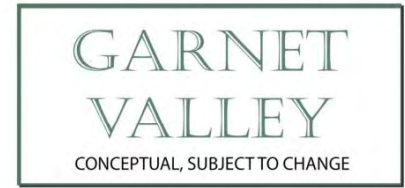
Community Concerns and Feedback – Private Roads

Access via privately maintained roads.

Private Road Declarations, to which these roads are subject, permit access as remainder of original project develops



Community Concerns and Feedback – Lack of Walkable and Bikeable Access



PATHWAY AND TRAILS LEGEND

- 6" RECREATIONAL PATHWAY - NATURAL SURFACE
- EXISTING ASPHALT PATHWAY - PAVED
- 5' SIDEWALK - PAVED

LOT LEGEND

- SINGLE FAMILY RESIDENTIAL
- MULTI-FAMILY
- OPEN SPACE
- NATURAL AREA OPEN SPACE

Lack of walkable and bikeable access.
No different than area development
Will add to area pathway network



Community Concerns and Feedback – Dark Sky Ordinance

- **Dark sky ordinance violations.**

Staff conditions require us to comply with Valley County lighting requirements

Clustered multi-family units will minimize impact to adjacent property owners.



Community Concerns and Feedback – Noise Pollution

- Increased noise pollution.

No more so than single-family residences

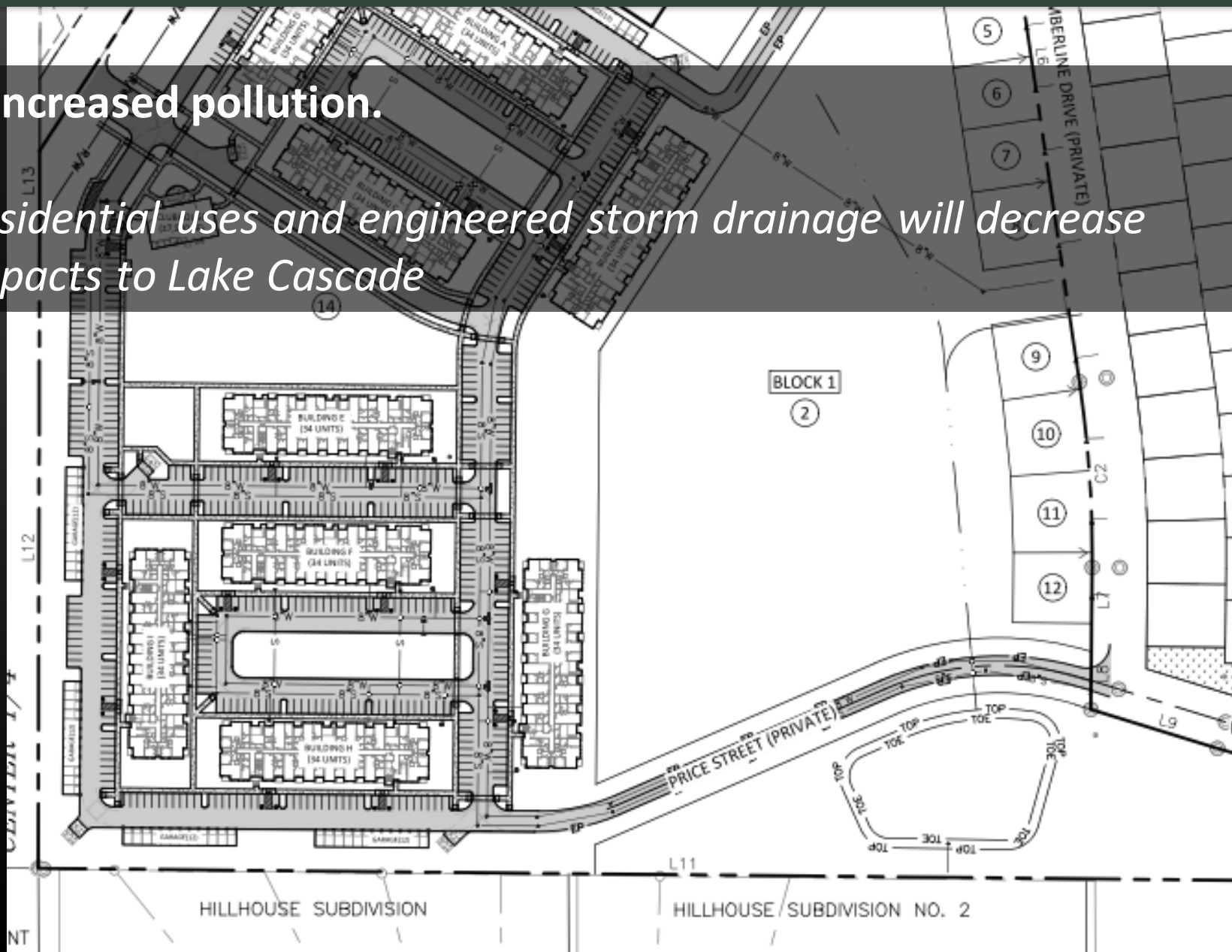
Clustered multi-family units will minimize impact to adjacent property owners.



Community Concerns and Feedback – Pollution

- Increased pollution.

Residential uses and engineered storm drainage will decrease impacts to Lake Cascade



Community Concerns and Feedback – Water / Flooding / Snow Melt

- **Water/flooding/snow melt.**

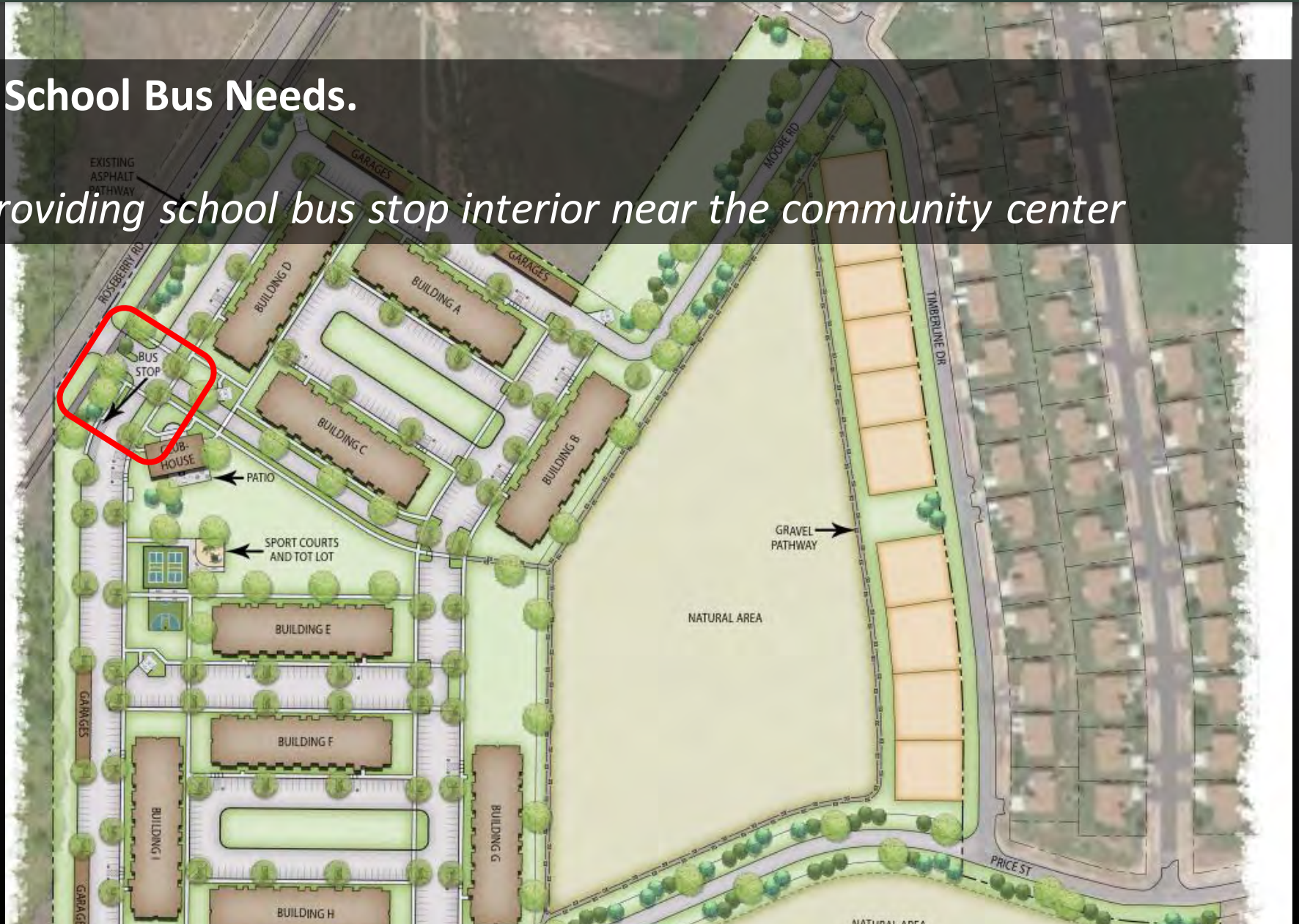
Engineered storm drainage must per development agreement meet approval of County Engineer



Community Concerns and Feedback – School Bus Needs

- **School Bus Needs.**

Providing school bus stop interior near the community center



Roadways



Access to Private Roadways

- Declarant (Timberline) still owns roads
- Pursuant to recorded road declarations and CCRs, Declarant retains right to use—and authorize use—of private roads even after roads are conveyed to the Association:
 - **CCRs Article VIII, Section 12:**
 - “The use of all such streets, roads and other access shall be and is permitted to Declarant and his permittees...”
 - **Private Road Declaration:**
 - “... Declarant may grant use of The Meadows at West Mountain Private Roads to additional parties in its discretion.”
 - “... any owner of a portion of the real property which is the subject of CUP 04-01, PUD 04-01 which has not yet been platted may be named as an owner of an undivided interest in the Private Roads.”

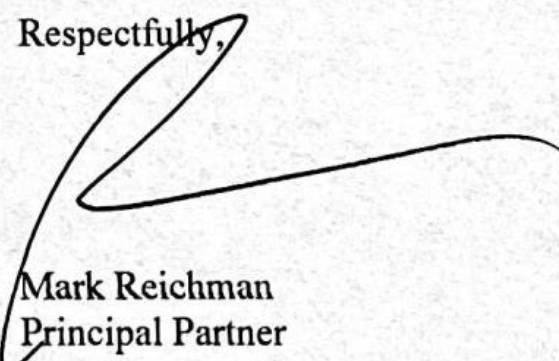
**RE: Garnet Valley PUD - Private Roads
Valley County, ID**

Dear Mr. Warhaft:

We have reviewed your request to utilize the existing private roads within the Meadows at West Mountain PUD for your secondary access. Timberline Development Inc. retained ownership of the private roads within the development to assure the remaining property that is located within the original Preliminary Plat boundary could also be served by these private roads. After reviewing your proposed layout and roadway access plan, we will grant you access to the previously completed private roads to serve as Garnet Valley's for secondary access. Since Garnet Valley PUD will not be governed by the Meadows at West Mountain's covenants, conditions, and restrictions, we require that your development enters into a Road Development Agreement to share the road maintenance costs for the two connecting street segments (Timberline Drive and Price Street). The maintenance cost for these road segments will be shared equally with the Meadows at West Mountain's HOA. Since these road segments serve as the primary access for The Meadows at West Mountain, their HOA will determine the maintenance requirements and repair schedules.

If you have any questions or comments, please call me directly.

Respectfully,



Mark Reichman
Principal Partner

PUD Standards – VCC 9-9-3

- A. That the proposed use nets a positive score on the compatibility rating system herein. The compatibility rating shall be completed by the commission and computed for the full application as presented to the commission after revisions requested during any preliminary review and after the public hearing is closed;

In the case of PUDs in which the board determines that it is in the public's interest that the board deal exclusively with certain of the nine (9) compatibility questions contained in section 9-11-1, appendix A of this chapter, then, subject to the board's direction, the commission shall not consider such questions as part of its compatibility rating of the proposed use;

- B. That the proposal works with the characteristics of the site by protecting or highlighting attractive features and by minimizing the impact of development where natural constraints exist;
- C. That the proposal's layout promotes the clustering and separation of different kinds of land uses so that both internal compatibility and common open spaces can be maintained;
- D. That the proposal's layout and design provides economics in the provision of roads and other site improvements; and
- E. That it is more desirable to have a PUD than a subdivision or some other singular use, and that the PUD is not being proposed simply to bypass or vary the more restrictive standards required of a subdivision, business, industry, or other similar use. (Ord. 10-06, 8-23-2010)

P&Z Summary

Roberts and Swain voted in opposition of the development:

- *Supports ~~in conflict with~~ Idaho Code, the Comprehensive Plan, and Valley County Code*
- *Density is ~~incompatible~~ compatible with surrounding development*
- *Impact to Cascade Reservoir will be mitigated*
- *Public's opposition should be considered alongside PUD standards, Valley County's Comprehensive Plan and the community's need for affordable housing*
- *Should be considering land use, ~~not~~ and affordable housing*
- *Does ~~not~~ protect property rights of adjacent property owners*
- *Workforce units ~~are not~~ will be priced to be affordable for locals*
- *Only 81 workforce units provided out of 306 total units (26% of development)*
- *Concerns with increase in traffic and S Bridge condition - Developer has agreed to pay for improvements and will work with County and Road Department*
- *Development ~~would be more~~ is appropriate in the city of Donnelly in this location*
- *~~Issues with infrastructure and location~~ is cannot be mitigated optimal for development*

P&Z Summary

Caldwell and Childs voted in favor of the development:

- *Compatible with surrounding land uses*
- *Comprehensive Plan Policies supported*
- *Near existing sewer and water systems*
- *No longer productive agricultural ground*
- *Higher density in Meadows at West Mountain PUD*
- *Infrastructure improvements for existing residents*
- *Low-income and workforce housing units*
- *Contribution to improve Valley County roads*
- *Impacts to existing homes have been mitigated (clustering, open space, landscaping)*
- *Development will be reviewed by agencies before approval*









THANK YOU

AMI

Traffic Analysis

PROJECT TRIP GENERATION

The Institute of Transportation Engineers' (ITE) *Trip Generation Manual, 11th Edition* was used to estimate the number of new trips that are anticipated to be generated by the proposed development. The ITE *Trip Generation Manual* is a widely accepted reference that contains a compilation of trip generation studies completed at sites throughout the country. ITE does not offer a rural land use setting as an option for single-family and multi-family housing, however it is available as an option for recreational homes. As this setting in Donnelly might be considered as having both rural and recreational characteristics, it is proposed that an average of the totals for Multi-Family (ITE220) and Recreational Housing (ITE 260) land uses be considered for the planned 306 units. Daily and peak hour trips, shown in **Table 1**, were calculated using applicable regression equations/rates from the ITE *Trip Generation Manual*. The ITE *Trip Generation Manual* information is provided in **Attachment B**.

Table 1 – Trip Generation

Land Use Type	ITE Land Use Code	Quantity	Units	Daily Total	AM Peak			PM Peak		
					In	Out	Total	In	Out	Total
Single Family Detached Housing	210	10	Dwelling Units	80*	2	7	9	7	4	11
Multifamily Housing (Low-Rise)**	220	306	Dwelling Units	2037	28	90	118	96	56	152
Total				2117	30	97	127	103	60	163

* Trip Generation based on Valley County CIP cost data

** Trip Generation Computed Using Urban/Suburban Setting

*** Trip Generation Computed Using Rural Setting

Fire Department



POSITION DETAILS

Rank: Paramedic

Salary: \$50,000 +PERSI (State retirement), PTO, Health Insurance and Vacation.

Opens: November 24, 2022

Closes: When Filled

To Apply:

Submit application packet

By Mail To:

Donnelly RFPD
Attn: Chief Bonilla
PO Box 1178
Donnelly, ID 83615

By Email To:

Employment Opportunity: Paramedic

Donnelly Rural Fire Protection District is accepting applications for Paramedic. This individual will be assigned to a three person shift on a 48/96-hour rotation.

Primary Responsibilities

- Respond and perform emergency medical response and non-emergency medical response activities in accordance with State licensure level and DRFPD protocols including patient transport, medical treatment, accident prevention, training, and public education.
- Respond to firefighting activities including driving apparatus, operating, and maintaining emergency response equipment and machinery, laying hose, and performing fire suppression, rescue, Hazmat, incident investigations, training, and public education.
- Protect and maintain incident scene evidence for possible later investigation.
- Assist in life safety and benefit to the public; identify and mitigate hazardous situations.
- Participate in building/fire inspections, hydrants, and other fire prevention programs.
- Perform general station duties for the upkeep of facilities and equipment.
- Drive, operate, and maintain all assigned apparatus and equipment in accordance with District and DRFPD manuals, policy, procedures, and standards.
- Assist in developing plans for special assignments and programs, collateral duties, emergency preparedness and response, and training programs.
- Participate in all required training to maintain up-to-date knowledge, skills, and certifications of all practices, procedures, standards, policies, and responsibilities required for the position and licensure in accordance with District and DRFPD policy, procedures, and standards.
- Teach, instruct, and mentor other emergency responders.
- Participate as assigned in public relations programs

Floorplans





WEST CENTRAL MOUNTAINS
ECONOMIC DEVELOPMENT COUNCIL

To: Garnet Valley Development

Thank you for reaching out to us regarding a Letter of Support for the Garnet Valley Development in Donnelly, Idaho. This project will provide much-needed additional rental units to the region. We appreciate your efforts to provide local housing in partnership with essential organizations who need housing for current and future employees. In review of the project, the Board would highly recommend looking into deed restricted properties within the project to further help the local workforce with home-ownership options along with ensuring the cost for rentals that align with regional AMI data. There are nonprofits that have partnered with projects before such as the West Central Mountains Housing Trust. It sounds like your group is planning to pursue mixed AMI rental pricing within the project, which we think is a positive move.

Unfortunately, as a regional economic non-profit, we are unable to support individual development projects within the region. We wish you the best of luck with your project and look forward to working with you to ensure this development remains affordable for our local workforce. Please don't hesitate to reach out if you have any questions or need anything else.

Sincerely,

A handwritten signature in black ink, appearing to read "Dylan Martin". The signature is fluid and cursive, with a long horizontal stroke at the end.

Dylan Martin
President
West Central Mountain Economic Development Council

Date: 5/15/2023



May 19, 2023

Planning & Zoning Commission
Valley County
219 N Main Street
Cascade, ID 83611

RE: Garnet Valley Project

To Whom It May Concern:

Tamarack Resort is writing to express its support for the Garnet Valley PUD application submitted to Valley County. Valley County is in desperate need of additional housing options for existing residents, the existing workforce, and future residents. As one of Valley County's largest employers, Tamarack Resort is well-acquainted with the demand for housing to accommodate seasonal and full-time employees.

In the Resort's discussions with the developer, the Developer has expressed his interest in working with public agencies in Valley County to ensure it is providing facilities and infrastructure that will improve the entire area. The Developer has expressed a commitment to reserve a unit for the Fire Department to use in recruiting/retaining a new EMS employee, which will positively impact the entire community.

Under Tamarack's PUD, the resort is required to provide housing for a certain percentage of its employees, but not all its employees. Utilizing a leasing program with many rental units and other developers, Tamarack is currently providing housing, a mix of on-site and off-site, for approximately 130 employees, both seasonal and full-time. Because this is not a sustainable model, Tamarack is investing heavily in its employees by building a new and modern village for employees which is located on-site.

The first 130 beds will be available to resort employees this summer and as required by the PUD, Tamarack will continue to bring additional units online for its employees as its employee base grows. The balance of the resort's employees will seek housing outside of the resort and a project such as Garnet Valley will provide a variety of housing options with more attainable price points for employees and other Valley County residents.

Thank you for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to read "Scott Turlington", is written over a horizontal line.

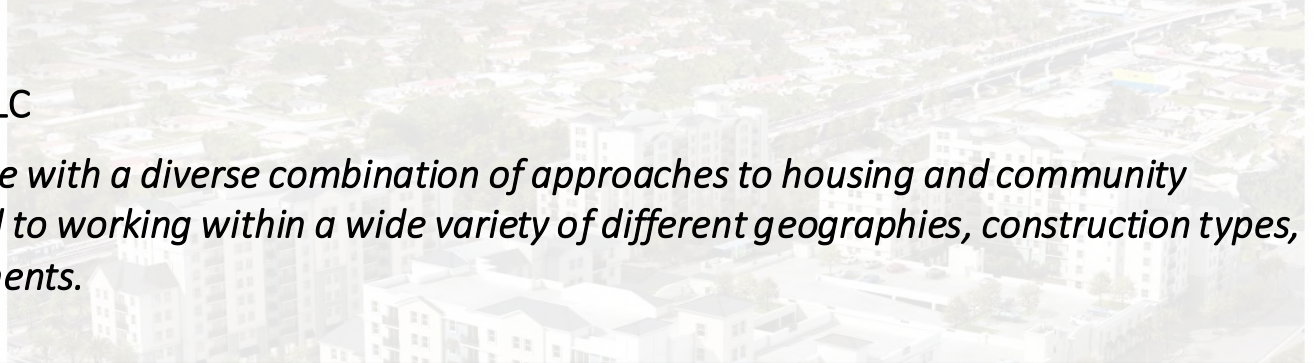
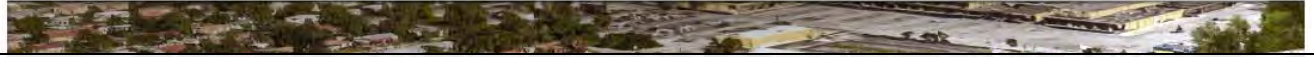
Scott Turlington
President

Atlantic Pacific

A | P Communities

SARATOGA CROSSINGS | DANIA BEACH

NORTHSIDE TRANSIT VILLAGE | MIAMI-DADE COUNTY, FLORIDA



Atlantic | Pacific Communities, LLC

A | P Communities has experience with a diverse combination of approaches to housing and community revitalization and is accustomed to working within a wide variety of different geographies, construction types, and legal and political environments.

the following HUD approvals for both develop housing; subsidy layering review; award of P All previous tenants were assisted in receiving return to live at Saratoga Crossings after cons

In 2020, a third phase was awarded CDBG-DF from the FHFC which will be combined with t to HUD requirements and approvals similar t and has a HAP Contract). A | P created this arranging the sale of the property from a priv used by the DBHA to purchase the property (comprised of A | P and DBHA) under a long-t will be utilized to build a 5-story 75-unit work the AMI.

The developments are managed by Atlantic | Pacific Community Management in coordination with the Dania Beach Housing Authority. Both projects were funded with 9% LIHTC in 2017 and were completed in late 2019.

Additionally, the Dania Beach Housing Authority has new office



► PROJECT STATS FOR PHASE I

- **Client:** Miami-Dade Transit
- **Description of Work:** 100 Rental Units for Families, Retail and Parking Garage
- **Client Contact:** Eric Thorne, Project Manager; Tel: (786) 469-5281; Email: ethorne@miamidade.gov
- **Total Value of Contract:** \$28,450,031
- **Term of Contract:** 2010-2040
- **Role:** Owner and Developer
- **Project Results:** 100% Occupied
- **Entities Involved:** Dania Beach Housing Authority, Atlantic | Pacific Communities

► PROJECT DESCRIPTION

Northside Transit Village ("NTV") is a partnership between Miami-Dade County and A|P Communities that will transform an underutilized six-acre surface parking lot at the Northside Metrorail Station into a vibrant, urban infill community. The mixed-use Transit Oriented Development ("TOD") increases ridership on the Metrorail and offers an



Treasure Valley Transit Line

<update graphic>



Multi-family

Clustering of multi-family units on the west side of the site to provide a buffer and transition to adjacent homes.

Multi-family units about 6 lots within the Hillhouse Loop Subdivision

- 3 lots have been developed with homes
- closest structure is about 200' south of Garnet Valley property line

GARNET VALLEY

CONCEPTUAL, SUBJECT TO CHANGE

PATHWAY AND TRAILS LEGEND

- 6' RECREATIONAL PATHWAY - NATURAL SURFACE
- EXISTING ASPHALT PATHWAY - PAVED
- 5' SIDEWALK - PAVED

LOT LEGEND

- SINGLE FAMILY RESIDENTIAL
- MULTI-FAMILY
- OPEN SPACE
- NATURAL AREA OPEN SPACE

OPEN SPACE CALCULATIONS

Common Lot Area

ACRES

13.31

PERCENT

34%

Multi-Family Lot Area

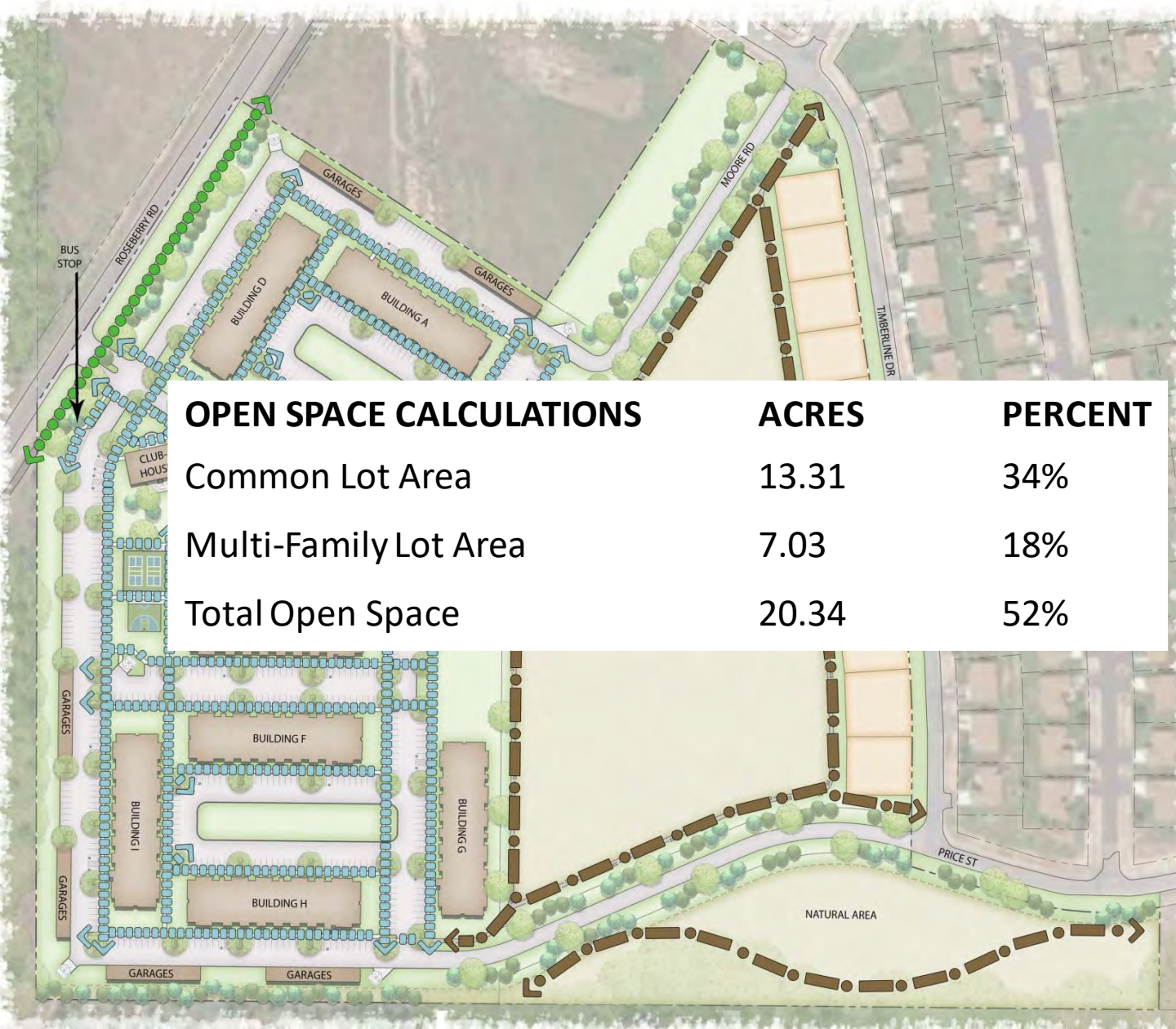
7.03

18%

Total Open Space

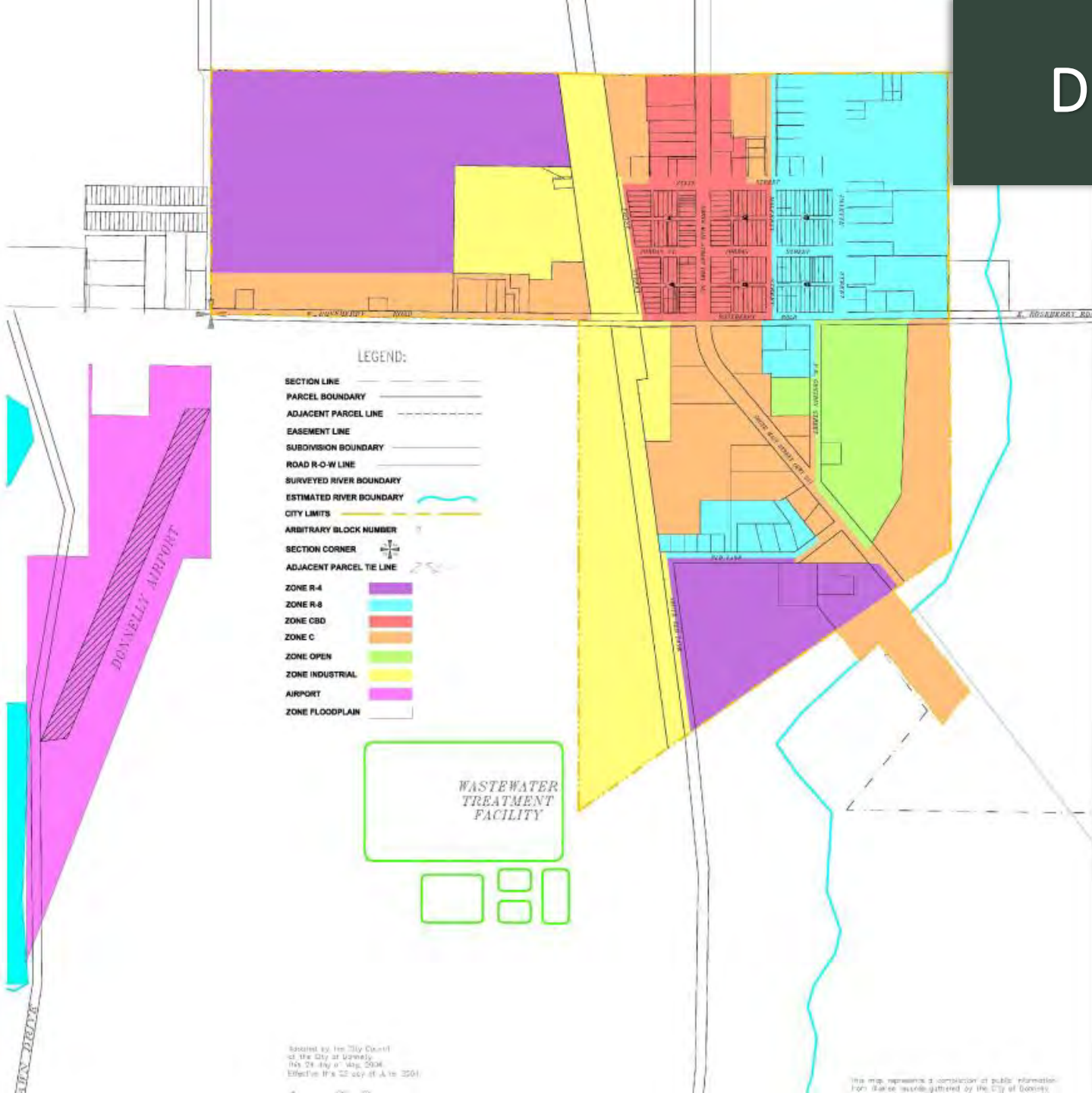
20.34

52%



Open Space & Amenities





- LEGEND:**
- SECTION LINE
 - PARCEL BOUNDARY
 - ADJACENT PARCEL LINE
 - EASEMENT LINE
 - SUBDIVISION BOUNDARY
 - ROAD R-O-W LINE
 - SURVEYED RIVER BOUNDARY
 - ESTIMATED RIVER BOUNDARY
 - CITY LIMITS
 - ARBITRARY BLOCK NUMBER
 - SECTION CORNER
 - ADJACENT PARCEL TIE LINE
 - ZONE R-4
 - ZONE R-8
 - ZONE CBD
 - ZONE C
 - ZONE OPEN
 - ZONE INDUSTRIAL
 - AIRPORT
 - ZONE FLOODPLAIN

Approved by the City Council
of the City of Donnelly
on 24 May 2004
Effective 15 July 2004

This map represents a compilation of public information
from various records gathered by the City of Donnelly.