

Valley County Planning and Zoning

PO Box 1350 • 219 North Main Street
Cascade, ID 83611-1350



Phone: 208-382-7115
Email: cherrick@valleycountyid.gov

STAFF REPORT: C.U.P. 25-022 Paikka Bakery - Amendment of C.U.P. 22-13
HEARING DATE: October 16, 2025
TO: Planning and Zoning Commission
STAFF: Cynda Herrick, AICP, CFM
Planning and Zoning Director
APPLICANT / OWNER: Finn Place LLC
PO Box 4304, McCall, ID 83638
REPRESENTATIVE Amy Holm / Fred Coriel, Millemann Pemberton & Holm LLP
PO Box 1066, McCall, ID 83638
LOCATION: 14118 Highway 55
Finn Barn Subdivision Lot 1 Block 1 in in the SENE Section 18, T.18N,
R.3E, Boise Meridian, Valley County, Idaho
SIZE: 3 acres
REQUEST: Amend C.U.P. to increase the number of days of use by the public
EXISTING LAND USE: C.U.P. 22-13 Paikka Bakery

On September 11, 2025, the PZ Commission tabled C.U.P. 25-022 to October 16, 2025. The public hearing was not closed. Please refer to the previous staff report for additional information.

FINDINGS:

1. On August 14, 2025, the PZ Commission tabled C.U.P. 25-016 to September 11, 2025. The public hearing has been closed but can be reopened since new information has been submitted by the applicant.
2. Legal notice was posted in the *Star News* on September 25, 2025, and October 2, 2025.
3. Additional Submittals from the Applicant received October 8, 2025 (attached):
 - Letter dated October 8, 2025.
 - Email correspondence with Central District Health confirming the septic system is sufficiently sized for proposed use.
 - Placement Permit application for greenhouse.
 - License agreement authorizing the use of adjacent lot for purposes related to the operation of Paikka Bakery.
 - Photograph of area being used for
 - gardens on north side of property.
 - Revised site plan

- Revised landscape plan.

4. All Agency Comment Received:

Emily Hart, McCall Airport Manager, had no comments. (August 21, 2025)

Ryan Garber, McCall Fire & EMS, had no comments. (September 2, 2025)

The application includes an email from Niki Benyakhlef, ITD, who stated that ITD will not require an additional study nor turn lanes at this time. (July 25, 2025)

Brent Copes, Central District Health, said CDH will need to evaluate if there are additional wastewater flows and then determine if expanding the septic system is required. (September 4, 2025)

5. All Public Comments: *none*

STAFF COMMENTS:

1. The Commission should determine if the revised site and landscape plans are appropriate.
2. A sign application has been submitted.

ATTACHMENTS:

- Proposed Conditions of Approval – Revised
- Draft Relevant Minutes – September 11, 2025
- Additional Submittals from Applicant

Proposed Conditions of Approval

1. The application, the staff report, and the provisions of the Land Use and Development Ordinance are all made a part of this permit as if written in full herein. Any violation of any portion of the permit will be subject to enforcement and penalties in accordance with Title 9-2-5; and, may include revocation or suspension of the conditional use permit.
2. Any change in the nature or scope of land use activities shall require an additional Conditional Use Permit.
3. The issuance of this permit and these conditions will not relieve the applicant from complying with applicable County, State, or Federal laws or regulations or be construed as permission to operate in violation of any statute or regulations. Violation of these laws, regulations or rules may be grounds for revocation of the Conditional Use Permit or grounds for suspension of the Conditional Use Permit.
4. The use shall be established within one year, or a permit extension will be required.
5. A placement permit is required for the greenhouse.

6. All lighting must comply with the Valley County Lighting Ordinance. All lights shall be fully shielded so that there is not upward or horizontal projection of lights. All existing non-compliant lighting should be brought into compliance within one year of approval of the conditional use permit.
7. A sign permit is required for any exterior sign advertising the business operation.
8. Hours of operation for public visitation are limited to 8 a.m. to 10 p.m.
9. The public would be allowed on-site to (1) pick up orders five days per week and (2) for 18 dinner events per year.
10. Parking is not allowed in the setback area. If parking does occur in the setback area in the short-term, it cannot be a reason not to expand the Highway system.

END OF STAFF REPORT

Valley County Planning and Zoning Commission

PO Box 1350 • 219 North Main Street
Cascade, ID 83611-1350



Phone: 208-382-7115
Email: cherrick@valleycountyid.gov

Ken Roberts, Chairman
Carrie Potter, Vice-Chair

Brad Mabe, Commissioner
Ben Oyarzo, Commissioner
Heidi Schneider, Commissioner

MINUTES

Valley County Planning and Zoning Commission
September 11, 2025
Valley County Court House - Cascade, Idaho
PUBLIC HEARING - 6:00 p.m.

A. OPEN: Meeting called to order at 6:00 p.m. by Chairman Roberts. A quorum exists.

PZ Director – Cynda Herrick:	Present
PZ Commissioner – Brad Mabe	Present
PZ Commissioner – Ben Oyarzo:	Present
PZ Commissioner – Carrie Potter:	Present
PZ Commissioner – Ken Roberts:	Present
PZ Commissioner – Heidi Schneider:	Present
PZ Planner II – Lori Hunter:	Present

B. MINUTES: Commissioner Schneider moved to approve the minutes of August 14, 2025, and August 28, 2025. Commissioner Potter seconded the motion. Motion passed unanimously.

C. OLD BUSINESS:

1. C.U.P. 25-016 Harvey Property Management and Equipment Storage: Karen and Aaron Harvey are requesting a conditional use permit for the operation and equipment storage of a property management business using an existing shop. An individual well and individual septic system would be used. Access is from an easement across 13978 Rustic Road to Rustic Road, a public road. The 1-acre parcel, addressed at 13978 B Rustic Road, is the east half of Lot 3 of Eld's Country Subdivision in the NWSE Section 33, T.18N, R.3E, Boise Meridian, Valley County, Idaho. *Tabled from August 14, 2025.* Action Item

Commissioner Mabe moved to move C.U.P. 25-016 Harvey Property Management and Equipment Storage from the table. Commissioner Potter seconded. Motion passed unanimously

Chairman Roberts introduced the item and asked if there was additional information. Director Herrick applied in the affirmative, presented the staff report with additional information, and displayed the site plan and GIS map on the projector screen.

Ion Electric is not interested in sharing access to Highway 55. The nearby Crawford Landscaping business has a condition of approval to work with the Valley County Road Department to mitigate dust and to travel northward on Rustic Road to access Highway 55. Proposed Conditional # 19 would require using a shorter trip on an unpaved road to Highway 55 rather than by traveling to the south on Rustic Road; thereby, limiting business traffic past homes.

between adjacent property owners.

Chairman Roberts asked for the applicant's presentation.

Belinda Provancher, Cascade, represented Perpetua Resources INC. The work will benefit Yellow Pine. A barn and two carport buildings that are not structurally sound will be removed; this area would then become the driveway area. Another shed that was used as an office is not on foundation and will be removed. The propane tank is located on the septic leach field. The leach field has also been damaged by previous vehicular traffic. Thus, the leach fields have been damaged; material will be removed and a new system developed. The building would contain a conference room, two offices, and larger cubicle spaces. The remodel would occur over the winter. An education area would be added later in 2026. The front deck is within the setback of the roadway. Perpetua Resources will improve the look of the building by sanding and staining the wood. An accessible ramp south side of building that meets the Americans with Disabilities Act (ADA) would be added. The two bathrooms will be remodeled to meet ADA requirements. Parking would occur on the south side of the building, off the main roads. In response to the concerns of the Yellow Pine Water Users association, a variance for landscaping is requesting until such time sufficient water is available.

Chairman Roberts stated water-wise landscaping is recommended for the Yellow Pine area due to the very harsh climate.

Chairman Roberts opened the public hearing and asked for proponents. There were none.
Chairman Roberts asked for undecided. There were none.
Chairman Roberts asked for opponents. There were none.

Chairman Roberts closed the public hearing. The Commission deliberated.

Chairman Roberts stated that it does not make sense to add landscape that does not fit the character of Yellow Pine. Commissioner Mabe concurred.

Commissioner Schneider moved to approve C.U.P. 25-021 Perpetua Resources Office with the stated conditions.

Commissioner Potter seconded the motion. Motion carried unanimously.

There is a 10-day appeal period to the Board of County Commissioners in accordance with Valley County Code 9-5H-12.

8:32 p.m.

6. **C.U.P. 25-022 Paikka Bakery - Amendment of C.U.P. 22-13:** Finn Place LLC is requesting an amendment to a conditional use permit to allow the public to pick up orders on-site five days per week, to modify approved site plan, and to add an additional greenhouse. The existing septic system and individual wells would be used. The 3-acre site is addressed at 14118 Highway 55 and located in Finn Barn Subdivision Lot 1 Block 1 in the SENE Section 18, T.18N, R.3E, Boise Meridian, Valley County, Idaho. Action Item

Chairman Roberts introduced the item and asked if there was any exparte contact or conflict of interest; there was none. Director Herrick presented the staff report, displayed the site, site plan, and GIS map on the projector screen, and summarized the following exhibits:

- **Exhibit 1** – Revised Landscape and exterior lighting plan that includes locations of all existing and proposed structures.

- **Exhibit 2** – Brent Copes, Central District Health, said CDH will need to evaluate if there are additional wastewater flows and then determine if expanding the septic system is required. (September 4, 2025)

Director Herrick stated the 100-ft setback from Highway 55 and various site plans conflict. The applicant needs to clarify. A site plan submitted with sign permit application received today by Staff does not match the site plan submitted with the application nor with **Exhibit 1** which shows parking within the 100-ft setback from property line along Highway 55. Director Herrick replied to questions from the Commissioners. The original conditional use permit stated no parking allowed in the setback areas. Porta-potties are used for dinners. The original conditional use permit restricted the public to only one day per week based on Idaho Transportation Department (ITD) restrictions; the original application stated that public would only be onsite one day per week. It was not a limitation added by Valley County.

Chairman Roberts asked for the applicant's presentation.

Fred Coriel, of Millemann Pemberton & Holm LLP, McCall, represented the applicant, Finn Place LLC. He responded to the confusion with the site plans and parking. The area is actually a vegetable and flower garden, not parking as shown on submitted site plan. There are 11 marked parking spaces adjacent to the commercial building, including handicap parking. Around the side and back are another 16 spaces. There is no parking within the setback area. The owner of the property has used signage to direct parking by customers. This is a local farm-to-table produce seller and bakery. The business would like to have people on site five days per week to pick up orders due to increased demand.

The original traffic study given to ITD identified Friday and Sunday as peak traffic periods for Highway 55. The proposed five days for customers are Saturday and Monday through Thursday, avoiding the peak traffic days. Special event dinners primarily occur on Thursdays and Saturdays, also avoiding the Friday and Sunday traffic.

Mr. Coriel responded to questions from Commissioners. Two buildings have restroom facilities. The commercial building has a bathroom and a septic tank. The septic drainfield is shared with the shop and apartment building. The increase in public days is only for pick-up orders. Porta-potties are brought to the site for the 18 dinners. The proposed conditions of approval require CDH approval.

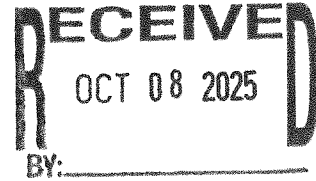
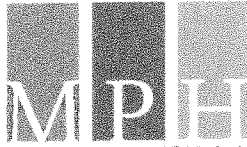
The Commissioners want a corrected site plan prior to approval of the amended conditional use permit. The site plan shows gravel parking; however, the area has been asphalted as is visible in the photos within the staff report. The site plan from the original application does show the 100-ft setback. The corrected site plan should show the 100-ft setback and all parking.

Chairman Roberts opened the public hearing and asked for proponents. There were none.
Chairman Roberts asked for undecided. There were none.
Chairman Roberts asked for opponents. There were none.

The Commissioners stated the landscaping plan has been followed. The site looks nice. The site plan needs corrected.

Commissioner Schneider moved to table C.U.P. 25-022 Paikka Bakery to October 16, 2025, at 6:00 p.m. Commissioner Mabe seconded the motion. Motion carried unanimously.

Director Herrick stated if the existing sign will not comply with the setback, a variance may be needed.



MILLEMANN PEMBERTON & HOLM LLP
ATTORNEYS AT LAW

Mailing Address: P.O. Box 1066, McCall, ID 83638
Physical Address: 706 North First St., McCall, ID 83638

AMY K. HOLM (aholm@mpmplaw.com)
HANNAH R. DRABINSKI (hdrabinski@mpmplaw.com)
FRED CORIELL (fcoriell@mpmplaw.com)

TELEPHONE (208) 634-7641
FACSIMILE (208) 634-4516

October 8, 2025

VIA: EMAIL

Cynda Herrick, Director
Lor Hunter, Planner
Valley County Planning and Zoning Department
219 N. Main Street
P.O. Box 1350
Cascade, Idaho 83611
Email: cherrick@valleycountyid.gov
Email: lhunter@valleycountyid.gov

RE: CUP 25-022, Finn Place LLC – Paikka Bakery

Dear Cynda and Lori:

Finn Place, LLC submits the following documents in support of its application to amend the existing CUP 22-13 so that customers are allowed onsite 5 days per week to pick up orders:

1. Revised Site Plan and Landscape Plan reflecting existing conditions on the property.
2. Email correspondence with Central District Health confirming the septic system is sufficiently sized for the proposed amended use.
3. Placement Permit Application submitted to Valley County on October 8, 2025, which is subject to approval of CUP 25-022.
4. License agreement between Finn Barn LLC and Finn Place, LLC authorizing Finn Place to use Finn Barn's property (Lot 2, Block 1 Finn Barn Subdivision) for purposes related to the operation of Paikka Bakery subject to certain conditions.
5. Photograph of area being used for flower and vegetable gardens on north side of property.

Revised Site Plan

The revised Site Plan and Landscape Plan reflects existing conditions on the property. As depicted, there are 21 designated parking spaces. Fifteen of the, are striped, including designated handicap parking. There is no parking within the 100-foot setback from Highway 55. However, there is pavement within this setback to accommodate the pull in/back out configuration of the parking in front of the commercial building.

A placement permit has been applied for a single greenhouse, and Central District Health has issued an accessory use authorization (AUA) for the greenhouse. Please note that when the AUA was applied for, two greenhouses were being considered. However, a second greenhouse is no longer proposed, as the Site Plan reflects. Eliminating the second greenhouse does not affect the AUA because the location of the greenhouse depicted on the Site Plan is the most restrictive with respect to septic tank and drain field setbacks.

Central District Health Comments

Central District Health confirmed that the approved septic system can accommodate the proposed use. At the hearing, I said there was a single drain field on the property. This was incorrect. There are two drain fields. One serves the commercial building and the other services the shop/apartment. Both systems have been approved by Central District Health.

License Agreement

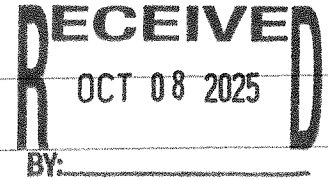
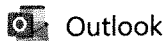
Finn Barn and Finn Place share common ownership. While an easement was contemplated, a license has been employed to authorize Finn Place's use of Finn Barn's property and avoid any issues with the legal doctrine that "one cannot have an easement in his own lands." *Zingiber Inv., LLC v. Hagerman Highway Dist.*, 150 Idaho 675, 681, 249 P.3d 868, 874 (2011).

Thank you for considering the foregoing information and attachments.

Regards,



Fred Coriell



Re: CUP 25-022 - CDH comments

From Brent Copes <BCopes@cdh.idaho.gov>

Date Mon 9/29/2025 10:33 AM

To Fred Coriell <fcoriell@mpmplaw.com>; Jennifer Newcomb <JNewcomb@cdh.idaho.gov>

Cc Chester Wood [REDACTED]

5 attachments (10 KB)

cdh-logo-final-small_8a084504-b955-49c9-b4be-a4f719139a77.png; facebook-icon_5e6438fa-e457-4bde-8f13-cab76103d650.png; twitter-icon_67a27cd3-3c5f-4dba-aa7e-64986bb3ab9e.png; youtube-icon_0d6189dd-5d37-4a9e-97f1-c3ba79884561.png; instagram-icon3_b1f05fc8-5c17-401b-be71-c43461df3996.png;

External (bcopes@cdh.idaho.gov)

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Fred,

Yes, your information matches what CDH approved. 455 gallons per day peak use, 35 guests (or guest pick-ups) at 13 gpd.

Thanks,

From: Fred Coriell <fcoriell@mpmplaw.com>

Sent: Monday, September 29, 2025 9:53 AM

To: Brent Copes <BCopes@cdh.idaho.gov>; Jennifer Newcomb <JNewcomb@cdh.idaho.gov>

Cc: Chester Wood [REDACTED]

Subject: RE: CUP 25-022 - CDH comments

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Brent,

Thank you for the reply. Can you confirm that the information we provided in the email below satisfies CDH's comments regarding CUP25-022. If you need anything else, let me know.

Regards,

Fred Coriell

Millemann Pemberton & Holm LLP

P.O. Box 1066 (Mailing Address)

706 N. 1st Street

McCall, ID 83638

Office: (208) 634-7641

Fax: (208) 634-4516

Email: fcoriell@mpmplaw.com

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From: Brent Copes <BCopes@cdh.idaho.gov>
Sent: Monday, September 29, 2025 7:14 AM
To: Fred Coriell <fcoriell@mpmplaw.com>; Jennifer Newcomb <JNewcomb@cdh.idaho.gov>
Cc: Chester Wood <tibor.wood@gmail.com>
Subject: Re: CUP 25-022 - CDH comments

Thank you Fred.



Connect with us!    

Brent Copes, REHS/RS | Environmental Health Lands Program Manager
 Community & Environmental Health
 P. 208-327-8522 | M. 208-860-5469
 E. BCopes@cdh.idaho.gov | W. cdh.idaho.gov
 520 E 8th N, Boise, ID 83704

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From: Fred Coriell <fcoriell@mpmplaw.com>
Sent: Friday, September 26, 2025 4:24 PM
To: Jennifer Newcomb <JNewcomb@cdh.idaho.gov>; Brent Copes <BCopes@cdh.idaho.gov>
Cc: Chester Wood [REDACTED]
Subject: CUP 25-022 - CDH comments

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Good afternoon:

Central District Health provided the attached comment for CUP25-022 in Valley County, Idaho. In response, the proposed use will not result in additional wastewater flows. The current permit (file #7888/7888A) was written for 455gpd peak daily use; and was based on information that the applicant provided to CDH in August 2022. This information included:

- The bakery will employ 2-3 people
- The bakery will not be open to the public, but will operate 5 days a week, hours of operation 8am-10pm
- Wastewater flows from the bakery are minimal
- Based on conditions imposed by Valley County, there will be no more than 18 specialty dinner events hosting up to 35 dinner guests
- Pickup for pre-ordered goods occurs one day per week, and is designed to be curbside with approximately 35 pickups per day

The current CUP25-022 application seeks only to change the number of days per week that pickup orders occur from one day to up to five days. The maximum number of anticipated pickups per day remains 35.

Please let me know if you need additional information to address CDH's comment in the letter.

Thank you,

Fred Coriell
 Millemann Pemberton & Holm LLP
 P.O. Box 1066 (Mailing Address)
 706 N. 1st Street
 McCall, ID 83638
 Office: (208) 634-7641

10/8/25, 4:30 PM

Re: CUP 25-022 - CDH comments - Lori Hunter - Outlook

Fax: (208) 634-4516

Email: fcoriell@mpmplaw.com

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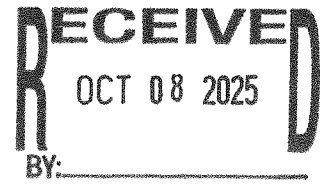
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Mailing Address: P.O. Box 1066, McCall, ID 83638
Physical Address: 706 North First St., McCall, ID 83638

AMY K. HOLM (aholm@mpmplaw.com)
HANNAH R. DRABINSKI (hdrabinski@mpmplaw.com)
FRED CORIELL (fcoriell@mpmplaw.com)

TELEPHONE (208) 634-7641
FACSIMILE (208) 634-4516

October 8, 2025



VIA: EMAIL

Cynda Herrick, Administrator
Valley County Planning and Zoning Department
219 N. Main Street
P.O. Box 1350
Cascade, Idaho 83611
Email: cherrick@co.valley.id.us

RE: Placement Permit for Greenhouse, Finn Place LLC

Dear Cynda:

Finn Place, LLC is submitting this placement permit application for a single greenhouse located on the east side of Lot 1, Block 1, Finn Barn subdivision, as depicted on the attached site plan. Please note that although the Accessory Use Authorization identifies a second greenhouse (to the east of the one that is being applied for in this application), the applicant has decided not to construct a second greenhouse. This change will not affect CDH's approval because the location of the greenhouse applied for in this application is the most restrictive, as indicated on the Accessory Use Authorization.

If you have any questions, I am happy to address them.

Regards,



Fred Coriell

Valley County Planning and Zoning Department

219 N. Main
PO Box 1350
Cascade, ID 83611
www.co.valley.id.us
cherrick@co.valley.id.us
208-382-7115



Placement Permit Application

(Valley County Code 6-1 and 9-4)

TO BE COMPLETED BY THE PLANNING AND ZONING DEPARTMENT

☐ **READY FOR ISSUANCE**

PLACEMENT PERMIT # PSP DATE RECEIVED: _____

FEE: \$ _____ ☐ Check # _____ or ☐ Cash or ☐ Card Payment

Approved: _____ Date: _____ Inspected / Closed: _____ Date: _____

Permit Required Prior to Placement of Structure

Agricultural Buildi: _____ Other _____

Describe Use of Structure Greenhouse/Food Production Size of Structure 1,440 square feet

Parcel Number RP007310010010

Subdivision Name Finn Barn Subdivision

Lot # 1

Block # 1

Site Address 14120 Highway 55

City McCall

Zip Code 83638

Property Owner
Finn Place LLC

Mailing Address
PO Box [REDACTED]

City McCall

Zip Code 83638

Contact Name
Chet Wood

Phone # [REDACTED]

Email [REDACTED]

Latitude 44 deg 52 m 18 s N Longitude 116 deg 05 m 22 s W Site Elevation: 5,105' Structure Height: 12-feet

Check your CCRs to ensure compliance.

☒ Attach Site Plan. See Page 2 for requirements.

Approvals
LAND USE

Required

Received

Approved

☒ Central District Health Accessory Use Authorization required if a septic system is on the property.

SETBACKS

☐ Septic System

☒ Driveway Approach Permit #: ITD 3-22-357

Must be obtained for all new driveways off public roads before permit is issued. Call Valley County Road Department at 208-382-7195.

FLOODPLAIN

☐ FAA Form 7460.1 may be required.

CDH / SEWER

❖ Shipping Containers must be painted or have siding that blends with the natural terrain or other structures on the property.

APPROACH

❖ Outdoor Lighting must be maximum of 20-ft high, maximum of 3000 lumens, and fully shielded.

FAA 7460.1

I hereby certify that I have read and correctly completed this application. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction.

Applicant's Signature: [Signature]

Date: 10/08/25

Special Conditions

Site Plan must include:

- Distances from property lines, measured from the eaves,
- Distances from other structures on the property, measured from the eaves.
- Locations of easements, irrigation ditches, creeks, and other waterways.
- Driveway location.
- Well and Septic system locations.

VCC 6-1-9.C: A building permit is required for placement of any structure over 3-ft in height.

VCC 6-1-2.4 and 9-1-10 – Agricultural Buildings - Farm buildings house farm implements, hay, grain, poultry, livestock, or other horticultural products. Must be located on a tract of land in excess of 5 acres wholly or in part classified by the Valley County Assessor in land use categories 1 – 7 for appraisal and taxing purposes. No human habitation. Cannot be converted into structures for other uses without first obtaining a building permit that has gone through plan review for the new type of occupancy

VCC 6-1-8: A **utility structure** will qualify for a placement permit if:

- the size does not exceed 600 square feet,
- maximum rafter span of 20-ft and a maximum eave overhang of 2-ft,
- will be single-story, detached (6 feet minimum from all other structures, eave to eave),
- used for storage only, and
- have no human occupancy. A snow roof or any type of attached structure is not eligible.

VCC 6-1-9-H: **Shipping Containers** are also referred to as a CONEX box and defined as a large, reusable steel box designed to protect goods.

- Allowed with a placement permit.
- Shall be painted or have siding that is a color that blends with the natural terrain or other structures on the property,
- Shall be ready for inspection within two months of placement.
- No commercial advertising or signage on the side of a container allowed.

VCC 9-4-3-2: SETBACKS:

- A. Buildings Exceeding Three Feet In Height: The setbacks for all buildings exceeding 3-feet in height shall be in accordance with section 9-4-8, table 4-A of this chapter.
- B. Setback From Highway 55: All buildings shall be set back 100-feet from the right of way line of Highway 55 unless a more restrictive setback is required within other sections of this title.
- C. High Water Lines and Ditches: All residential buildings shall be set back at least 30 feet from high water lines and ditches. All other buildings shall be set back at least 100 feet from high water lines and ditches.
- D. Front Yard: Front yard shall be determined by the structure establishing the principal use on the property and the access street or road.
- E. Encroachment By Other Structures: No other structures may encroach on the yards determined for the structure establishing the principal use.
- F. Measurement: Setbacks shall be measured horizontally, perpendicular to the property line, to the nearest corner or projections or overhang.
- G. Adjustment Of Front or Rear Yard Setbacks: The minimum front or rear yard setbacks may be adjusted to allow a proposed principal use building to conform with the average setback of existing similar buildings on adjoining properties within the same block; however, no setback may be less than 7.5 feet.
- H. Lots Having Common Boundary Line with BLM Property Surrounding Cascade Reservoir: Minimum rear yard setbacks for those lots having a common boundary line with Bureau of Reclamation property surrounding Cascade Reservoir are 7.5 feet but may not be less than that provided for in subsection C of this section.

VCC 5-4-8.C Placement of Addresses:

- Address numbers should be placed on all homes to be visible from the road at the point of entry.
- If the home is not visible from the road, then the address needs to be posted on the home AND at the driveway entrance in an area where it is visible year-round (i.e. not hidden by snow or plants).
- Numbers shall contrast with their background (i.e., contrast with the house or post color)
- Numbers should be at least 3 ½ inches in height.
- Numbers shall be visible during both daytime and at night from the road.






1. Placement Permit - Finn Place

Final Audit Report

2025-10-08

Created:	2025-10-08
By:	Heather Potts (hdrabinski@mpmplaw.com)
Status:	Signed
Transaction ID:	[REDACTED]

"1. Placement Permit - Finn Place" History

-  Document created by Heather Potts (hdrabinski@mpmplaw.com)
2025-10-08 - 5:00:00 PM GMT
-  Document emailed to Chester Wood [REDACTED] for signature
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-  Document e-signed by Chester Wood ([REDACTED])
Signature Date: 2025-10-08 - 5:27:57 PM GMT - Time Source: server
-  Agreement completed.
2025-10-08 - 5:27:57 PM GMT



File Number: 7888

ACCESSORY USE AUTHORIZATION

Date: September 29, 2025

Valley County Building Department
PO Box 1350
Cascade, ID 83611

Applicant / Owner..... Chet Wood, Finn Barn LLC
Property Address..... 14120 Highway 55
Legal Description..... SE ¼, Ne ¼, Section 28, Township 18N, Range 03E

This office has no objection to the addition of two 30 FT x 48FT hoop-house style green houses with no plumbing to the property. Based upon the plans submitted by the applicant, it appears the proposed addition will neither impact the drainfield nor septic tank. Central District Health's acceptance is subject to the owner's acknowledgment of the following statements:

1. Any construction, alteration, or extension of the existing sewage disposal system or of a new system shall not be started until a valid permit for such activity has been obtained from Central District Health (as required by the *Rules For Individual/Subsurface Sewage Disposal Systems, May 1993*).
2. In the event that the sewage disposal system fails, the owner will pursue immediate action to expediently and properly correct any malfunction so as to prevent the development of the health hazards in accordance with applicable codes, regulations, and ordinances.
3. Refer to application for applicant signature.

Sincerely,

Brent Copes, REHS
EH Land Program Manager

Ada & Boise County

707 N. Armstrong Pl. Boise, ID 83704
208-375-5211

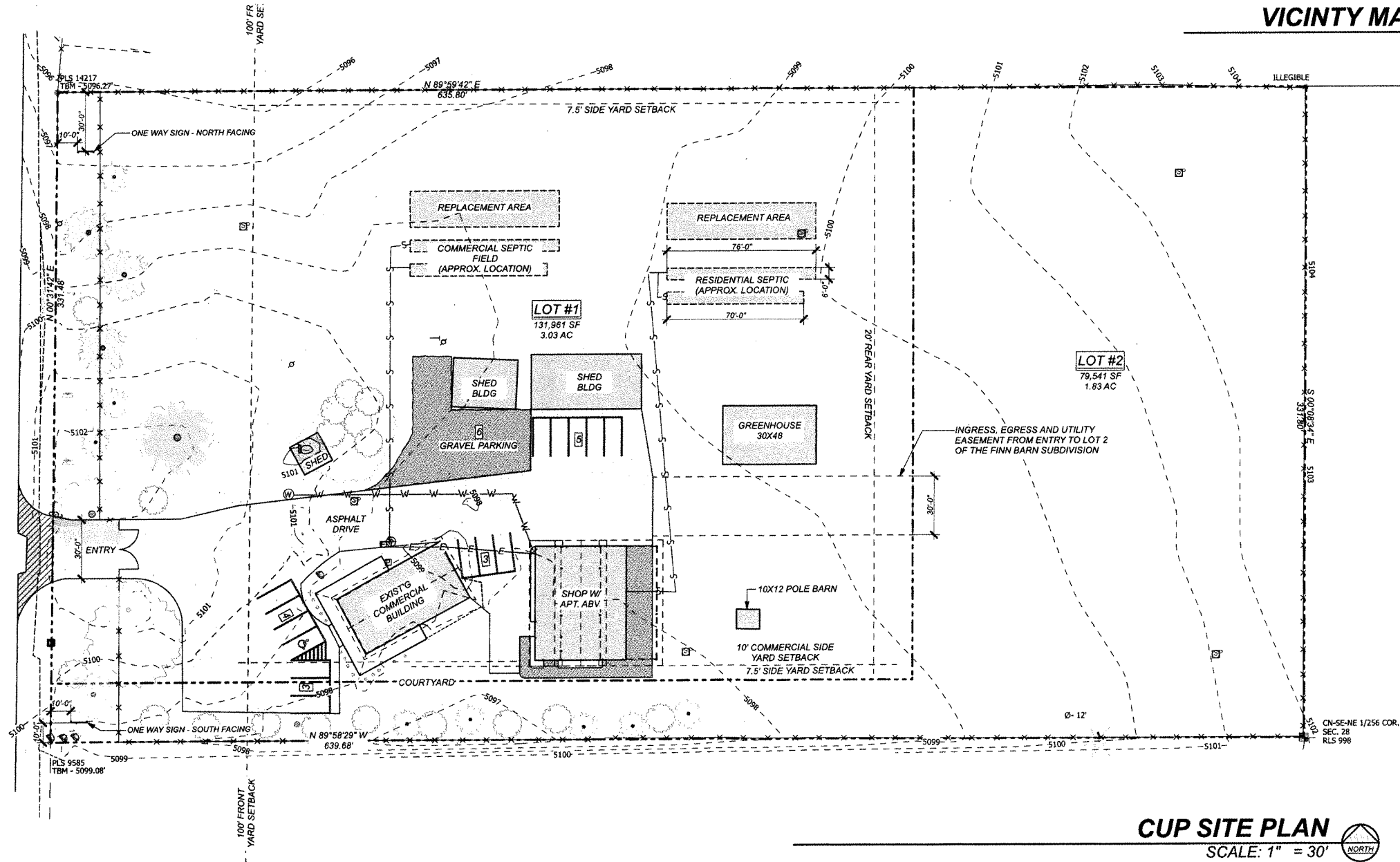
Elmore County

520 E. 8th N. Mountain Home, ID 83647
208-587-4407

Valley County

703 1st St. McCall, ID 83638
208-614-7194

STATE HIGHWAY 55



CUP SITE PLAN
SCALE: 1" = 30'

SITE PLAN LEGEND	
EXISTING GRADE	
FINISHED GRADE	
PROPERTY LINE	
SETBACKS	
ROOF LINE	
NEW BUILDING OUTLINE	
EXISTING BUILDINGS	
NEW GRAVEL DRIVE	
NEW ASPHALT DRIVE	
EXISTING GRAVEL DRIVE	
SNOW STORAGE	
CONIFEROUS TREE - SEE LANDSCAPE PLAN	
DECIDUOUS TREE - SEE LANDSCAPE PLAN	
WATER	
SEWER	
ELECTRIC SERVICE	

FINN BARN SUBDIVISION
McCALL, VALLEY COUNTY

CUP2



VICINITY MAP 2025

McCALL DESIGN & PLANNING

PO Box 729

McCALL, IDAHO 83638

208-634-5707

DATE: 10/7/25

DRAWN BY: LAV, CS, HSS



FINN BARN SUBDIVISION
McCALL, VALLEY COUNTY

CUP2

mdpi

14120 Hwy 55

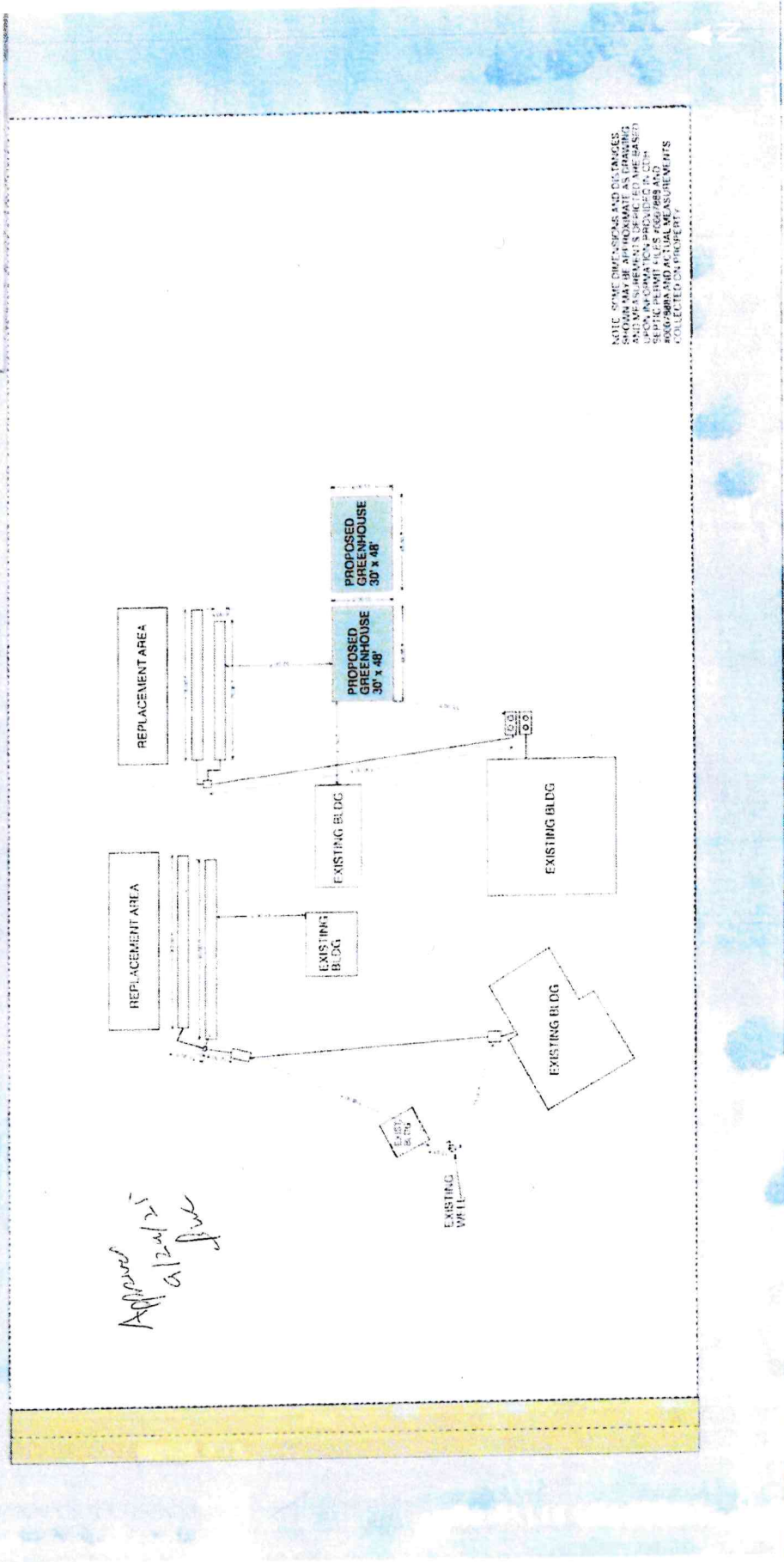
14120 HIGHWAY 55 / FINN BARN, LLC

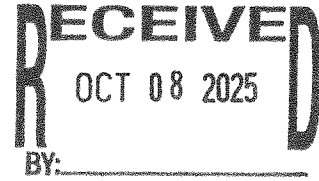
DWG: GH additions

DATE: 9-24-2025

BY: JK

SHEET 1 OF 1





LICENSE AGREEMENT

This License Agreement ("**Agreement**") is entered into effective as of October 8, 2025, by and between Finn Barn LLC, an Idaho limited liability company ("Finn Barn"), and Finn Place LLC, an Idaho limited liability company ("Finn Place"). Finn Barn and Finn Place have the address of PO Box 4304 McCall, Idaho 83638.

Recitals

A. Finn Barn owns certain real property, located in McCall, Valley County Idaho, with a street address of 14122 Highway 55, McCall, Idaho 83638 and more particularly described as Lot 2, Block 1 Finn Barn Subdivision, according to the official plat thereof, filed in Official Records of Valley County, Idaho ("**Finn Barn Property**").

B. Finn Place owns certain real property, located in McCall, Valley County, Idaho, also with a street addresses of 14118 and 14120 Highway 55, McCall, Idaho 83638, and more particularly described Lot 1, Block 1 Finn Barn Subdivision, according to the official plat thereof, filed in Official Records of Valley County, Idaho ("**Finn Place Property**").

C. Finn Place conducts commercial uses on the Finn Place Property related to operation of Paikka Bakery. Finn Barn desires to allow Finn Place to use the Finn Barn Property for uses related to the operation of Paikka Bakery.

D. The Parties desire to memorialize the terms of a license for Finn Place to use the Finn Barn Property for uses including but not limited to the operation of Paikka Bakery.

NOW, THEREFORE, the parties agree as hereinafter provided.

1. Grant of License. Subject to and in accordance with the terms and conditions of this Agreement, Finn Barn hereby grants to Finn Place an exclusive and revocable license to use Finn Barn's Property for any purposes that Finn Barn may determine in its sole discretion, including but not limited to:

- a. Install a ground-mounted sign for Paikka Bakery.
- b. Vehicle parking facilities.
- c. Ingress and egress for Finn Place's invitees, licensees, lessees, employees, agents, contractors, and guests. Any use by such invitees, licensees, lessees, employees, agents, lessees, contractors, and guests shall not result in any property rights or interests in the Finn Barn Property.

2. Conditions of License:

a. Finn Place shall be responsible for the construction and/or removal of any improvements or landscaping placed by Finn Place on the Finn Barn Property, and shall construct and maintain such improvements and landscaping in a good state of repair and condition. Upon removal of any such improvements or landscaping, Finn Place shall restore the Finn Barn Property to a condition reasonably similar to that which existed prior to construction or placement of the improvement or landscaping.

b. Finn Barn shall have no responsibility for maintenance, nor liability for the condition thereof, of any portion of the Finn Barn Property that Finn Place uses pursuant to this Agreement.

c. Finn Place hereby indemnifies, agrees to hold Finn Barn harmless regarding, and waives as to Finn Barn, any claims of any kind for damages, fees, costs, or relief of any kind, which may be asserted against Finn Barn by Finn Place, or its invitees, licensees, employees, agents, lessees, contractors, or guests regarding, related to, or occasioned by the existence, maintenance, upkeep, safety or condition of improvements or landscaping placed by Finn Place on the Finn Barn Property, or regarding, related to, or occasioned by any use or occupancy of the Finn Barn Property by Finn Place and its invitees, licensees, employees, agents, lessees, contractors, and guests. This indemnification, hold harmless and waiver shall bind Finn Place's successors and assigns and shall extend to any claims of any kind regarding Finn Place's use of the Finn Barn Property, save and except claims for the enforcement of the terms hereof. Additionally, this indemnification, hold harmless and waiver shall survive the termination of this Agreement, to extent that any such claims are barred by the statute of limitations.

3. Term / Termination. The term of this Agreement will commence on the date this Agreement, and will continue until terminated by Finn Barn, at Finn Barn's sole discretion. This Agreement shall automatically terminate upon the conveyance of fee simple ownership of either the Finn Barn Property or the Finn Place Property.

4. Waiver And Quitclaim Of Any Claims Of the Finn Barn Property: This revocable license gives no property interest to Finn Place of or for any portion of the Finn Barn Property. The Parties agree that the legal descriptions of the Finn Barn Property and the Finn Place Property, which are identified above describe the correct property boundary between them, and that any use of the Finn Barn property by Finn Place is permissive and does not thereby establish an express or implied boundary agreement. Finn Place hereby waives and quitclaims unto Finn Barn any claims to the Finn Barn Property.

5. General Provisions.

a. Assignment. Finn Place shall not assign its rights or obligations under this Agreement to any other party and any attempted assignment shall be null and void. This Agreement and the License is solely for the benefit of Finn Place and shall not inure to the benefit of any other person or entity.

b. Non-Waiver/Modification. The failure of a party to demand strict performance of or compliance with this Agreement or any provisions hereof at any time or under any set of circumstances will not be deemed a waiver by such party of its right to demand such performance and compliance at any other time or under any other circumstances. This Agreement may not be changed, modified, or terminated orally. It may only be modified by a written instrument executed by both parties, and may only be terminated as provided at Section 3 above.

c. Notices. All notices, demands and requests which may or are required to be given by either party to the other shall be in writing and shall be personally served on the designated party, delivered by express courier, or sent by United States certified or registered mail, postage prepaid, addressed to the parties at their addresses provided herein above, unless a party hereto designates otherwise in writing. Any notice given in the form set forth herein shall be deemed given and received as follows: If personally delivered, when delivered, and if sent by mail on the third business day following deposit in the U.S. mail.

d. Attorney's Fees. In the event that any dispute arises regarding the legal consequence, interpretation, application or enforcement of this Agreement, then the prevailing party in such dispute shall be entitled to recover his/her attorney's fees and costs incurred, including attorney's fees and costs incurred on appeal.

IN WITNESS WHEREOF, the parties have executed this Agreement on the dates specified by their signatures below.

FINN PLACE LLC



Chester Wood (Oct 8, 2025 16:13:51 MDT)

Date: Oct 8, 2025

CHESTER WOOD, Member

FINN BARN LLC:



By: Chester Wood (Oct 8, 2025 16:13:51 MDT)

Date: Oct 8, 2025

CHESTER WOOD, Member






4. License Agreement

Final Audit Report

2025-10-08

Created:	2025-10-08
By:	Heather Potts (hdrabinski@mpmplaw.com)
Status:	Signed
Transaction ID:	[REDACTED]

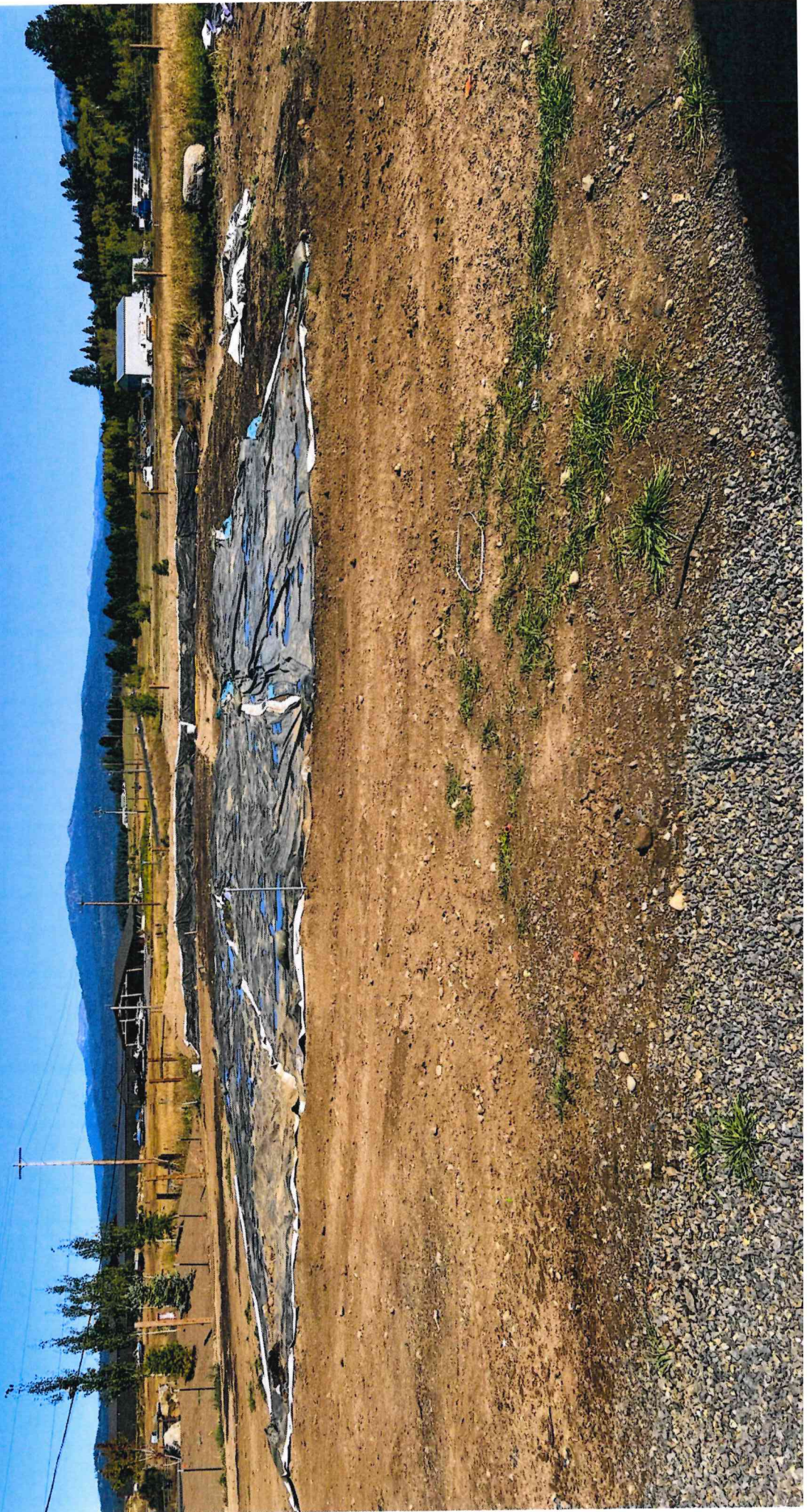
"4. License Agreement" History

-  Document created by Heather Potts (hdrabinski@mpmplaw.com)
2025-10-08 - 10:11:35 PM GMT
-  Document emailed to Chester Wood [REDACTED] for signature
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-  Email viewed by Chester Wood [REDACTED]
2025-10-08 - 10:13:11 PM GMT
-  Document e-signed by Chester Wood [REDACTED]
Signature Date: 2025-10-08 - 10:13:51 PM GMT - Time Source: server
-  Agreement completed.
2025-10-08 - 10:13:51 PM GMT



Adobe Acrobat Sign

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OCT 08 2025
BY: _____

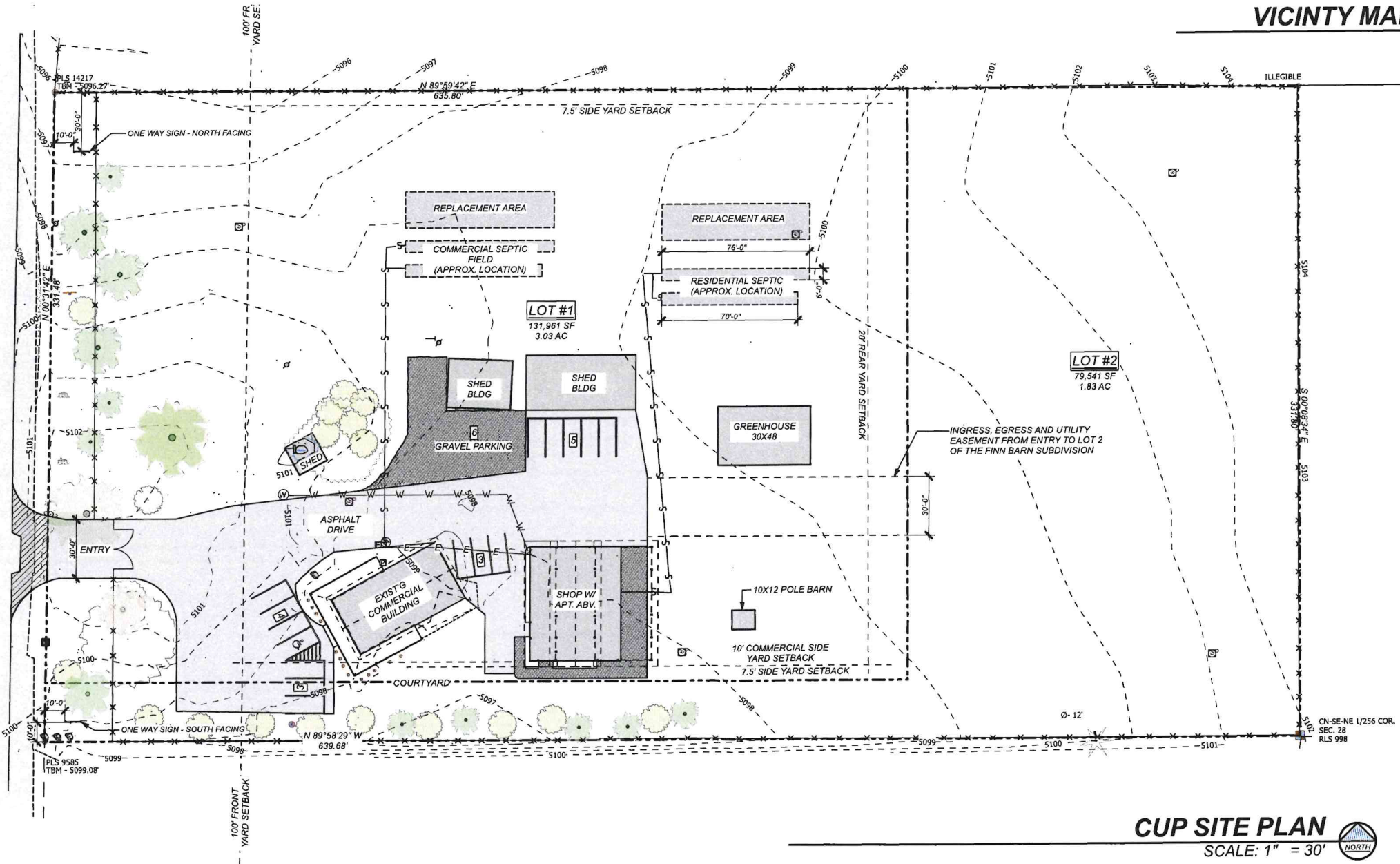


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OCT 08 2025
BY: _____



VICINTY MAP 2025

STATE HIGHWAY 55



CUP SITE PLAN

SCALE: 1" = 30'

SITE PLAN LEGEND	
EXISTING GRADE	---
FINISHED GRADE	---
PROPERTY LINE	---
SETBACKS	---
ROOF LINE	---
NEW BUILDING OUTLINE	---
EXISTING BUILDINGS	---
NEW GRAVEL DRIVE	---
NEW ASPHALT DRIVE	---
EXISTING GRAVEL DRIVE	---
SNOW STORAGE	---
CONIFEROUS TREE	---
DECIDUOUS TREE	---
WATER	---
SEWER	---
ELECTRIC SERVICE	---

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SITE AND CLIMATE SPECIFIC ARCHITECTURE

McCALL DESIGN & PLANNING

PO Box 729

McCALL, IDAHO 83638

208-634-5707

SUSEMIHL - VANNOY

DATE: 10/7/25

DRAWN BY: LAV, CS, HSS

LAVANNOY ARCHITECT

LAVANNOY ARCHITECT

FINN BARN SUBDIVISION

McCALL, VALLEY COUNTY

CUP2

RECEIVED
OCT 08 2025
BY: _____

OUTDOOR LIGHTING LEGEND

- 60w SURFACE MOUNTED LIGHT (UNDER ROOF OR DECK)
- 60w WALL MOUNTED SCONCE W/ FULL CUT-OFF LUMINAIRE
- 40w SITE POST LIGHT W/ OPAQUE TOP (24" TALL)

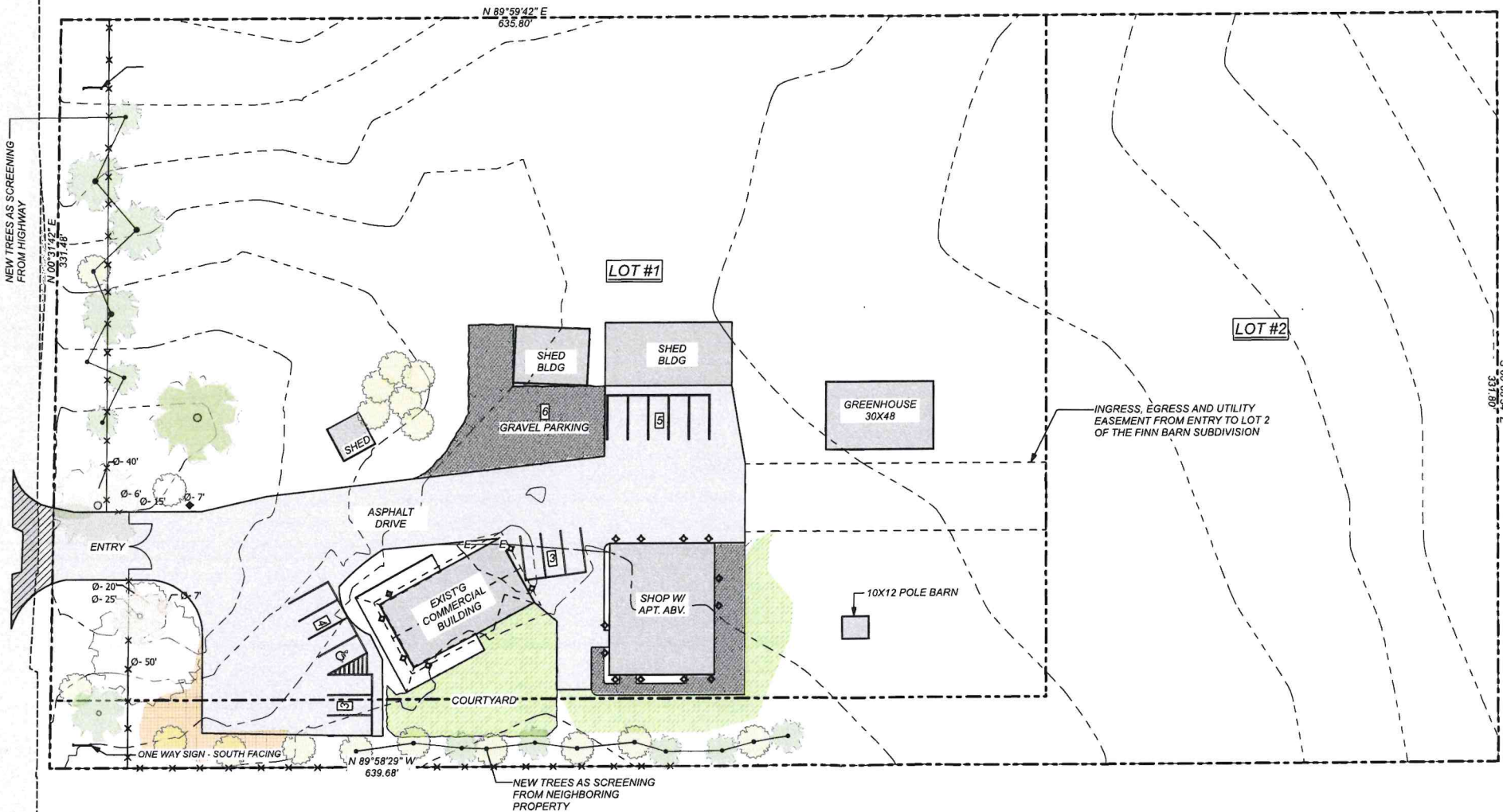
NOTE: ALL OUTDOOR LIGHTING TO CONFORM W/ VALLEY COUNTY OUTDOOR LIGHTING ORDINANCE

IRRIGATION NOTES:

- AUTOMATIC SPRINKLER SYSTEM TO BE INSTALLED @ NEW LAWN AREAS
- NEW TREES TO BE ON DRIP IRRIGATION UNTIL ESTABLISHED

LANDSCAPING LEGEND

- LAWN
- REVEGETATE W/ NATIVE PLANTS & GRASSES
- SNOW STORAGE
- SEED WITH NATIVE WILDFLOWER MIX
- COMPACTED GRAVEL
- EXIST'G TREE
CANOPY DIA. IN FEET
- NEW DECIDUOUS TREE
- NEW CONIFEROUS TREES



LANDSCAPE & EXTERIOR LIGHTING PLAN
SCALE: 1" = 30'

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McCALL DESIGN & PLANNING
PO Box 729
McCALL, IDAHO 83638
208-634-5707
SUSEMIHL - VANNOY

DATE: 10/7/25

DRAWN BY: LAV, CS, HSS

FINN BARN SUBDIVISION
McCALL, VALLEY COUNTY

CUP3