

Applicable Codes from McCall City Code:

**3.16.07: DESIGN REVIEW CRITERIA:**

The commission or administrator shall determine the following before approval is given:

- (A) The project is in general conformance with the comprehensive plan.
- (B) The project does not jeopardize the health, safety or welfare of the public.
- (C) The project conforms to the applicable requirements of the zoning ordinance and subdivision ordinance as enumerated in section [3.16.01](#) of this chapter.
- (D) The project will have no substantial impact on adjacent properties or on the community at large.
- (E) If applicable, a subdivision design review document has been reviewed and approved by the commission in lieu of the design guidelines.
- (F) For projects in the shoreline and river environs zone, the project will not have an unreasonable and adverse impact on the visual quality of its setting or the water quality.
- (G) For projects in the scenic route zone, the project will preserve and enhance the scenic quality of the street or highway.

**Scenic Review**

**3.7.032: REQUIREMENTS FOR DEVELOPMENT:**

Prior to the issuance of a building permit, and prior to any clearing, grubbing, excavation, or other construction (including removal of any existing structures or improvements), the owner shall apply for scenic route and design review approval in accordance with the procedure outlined in chapter 16 of this title, which application shall include a site plan as set forth in section [3.8.21](#) of this title. A building permit shall neither be issued, nor any such work or construction undertaken, until approval of the site plan and design approval of proposed structures.

(A) **Materials Provided By Applicant:** The applicant shall furnish graphic or pictorial material sufficient to indicate the nature of any proposed development or improvement to include signing and landscaping, and an indication of obscured views, if any.

(B) **Commission Determination:** The commission shall ascertain whether the proposed development, improvement or use will:

1. Block or disrupt the visibility of significant views or features.

provided, that the driveway distances in the applicable zone shall apply. In such cases, common driveways on common lot lines, thus two (2) driveway accesses per four (4) lots, may be required.

(F) Bike Paths: Some or all of the routes listed in section [3.7.031](#) of this chapter are designated by the parks and recreation master plan (also see the "McCall area pathways master plan") to have a bike path, walkway or other recreational routing alongside, or as a part of the scenic route. Where such designation exists, the commission shall assist in the effectuation of the master plans by the exaction of recreational easements or dedication of additional right of way or other techniques to ensure a continuous route for such uses. In all cases, the city must show that such exaction is roughly proportional to the impacts of the development and that the conditions for implementing portions of the bike paths are to be based upon an individualized determination for each development that the conditions are related to both the nature and extent of such impacts. Digital data for easements shall be provided according to the digital data submittal standards policy.

(G) For Sale: Along the scenic route, vehicles and other personal property shall not be displayed for sale outside of a building unless the occupant of the property is an authorized dealer of merchandise that is consistent with the primary business and has obtained approval from the administrator. The owner or occupant of property along the scenic route may display his or her own vehicle or other personal property for sale on his or her own premises.

(H) Building Clustering: Building clustering shall be encouraged to provide more efficiency and cohesion in design, reducing the number of access points, and reserving the natural landforms, vegetation and open space.

(I) Landscaping: In addition to the requirements set forth in section 3.8.13 "Landscaping, Screening And Buffering," development within the scenic route zones shall provide the following landscaping:

1. One (1) native tree including evergreen and deciduous and three (3) native shrubs each ten feet (10') of the linear street frontage along the scenic route. Not less than fifty percent (50%) shall be evergreen trees.

2. The required landscaping shall be located with a twenty-five feet (25') setback from the scenic route. Landscaping shall be arranged within groups or clustered allowing spacing for natural maturity. Linear designed landscaping is not acceptable.

3. If conflicts arise between this section and section 3.8.04 "Fire Mitigation Standards," or in the use of any snow storage or utility easements, a recommended resolution will be the responsibility of the McCall Fire Protection District or the Administrator



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ARCHITECTURE**

200 w. 36th st., boise, idaho 83714 • phone 208.475.3204 • fax 208.475.3205 • email info@hatchda.com

## Narrative in Support of Stor-It

March 10, 2025

City of McCall  
216 East Park St  
McCall, ID 83638

**RE: Design Review and Scenic Route application for Stor-It Self Storage - McCall  
379 Elo Rd and TBD Elo Rd, McCall, ID 83638**

### DESIGN REVIEW

#### **1. General Project Description:**

This project is an expansion of the Stor-It facility located at 379 Elo Rd. in McCall's area of impact. There is an existing self-storage facility on the western adjacent parcel of the proposed development. An approximately 3,600 sq ft fire station is proposed on the western parcel. The eastern parcel will consist of an approximately 148,171 sq ft expansion of the existing self-storage facility. This site is buffered from view along Hwy 55 using a large berm and natural landscaping.

There is a proposed pathway along Elo Rd from Hwy 55 to S. Samson Trail. The trail would also have a section along Samson Trail between the North and South boundary of the proposed project. These additions would fill in some of the desired sections of pathway mentioned in the master pathway plan. A 120' wide wildlife corridor easement along S. Samson trail will be proposed to preserve the natural landscape. This easement will serve as a large buffer between the storage facility and the residence to the East. This preserved natural landscape will screen the site and maintain the current views of the neighbors.

The development would include a fire station. This will greatly benefit the residents within a 5-mile radius. The location will improve response times and expand the fire districts firefighting capability, thus making the community safer.

#### Overall Site Amenities:

- Landscape buffers, featuring native plantings and an extension of the greenbelt pathway system along Elo Rd. and Samson Trail.
- Fire station.
- Large drive aisles for vehicle maneuvering
- Adequate open space for snow storage.
- 5 standard parking stalls and 1 ADA parking stall for the office, single living quarters above office, and restroom.
- 4 standard parking stalls and 1 ADA parking stall for the fire station.

#### Data and Numbers:

- Prior approvals:
  - PUD 22-04 (Valley County BOCC approved 01/06/2025)
  - CUP 22-04 (Valley County BOCC approved 01/06/2025)
- Property Size: 786,607 sq ft (18.1 acres)
- New building footprints: Storage - 148,171 sq ft, Fire Station – 3600 sq ft.
- Existing building footprints: 73,900 sq ft



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- Total Lot Coverage: 29%
- Road, driveway and common parking areas: 31% (199,184 sq ft)
- Landscaping/Open Space: 40% (316,459 sq ft)

**2. The applicant and development team:**

- Owner/Developer: Stor-it Self Storage, LLC
- Architect: Hatch Design Architecture – Jeff Hatch
- Engineer / Surveyor: The Land Group – Jim Gute
- Landscape Architect: The Land Group – Jim Gute
- Legal Counsel – Justin M. Fredin, Hawley Troxell

**3. Applications:**

- PUD 22-04 (Valley County BOCC approved 01/06/2025)
- CUP 22-04 (Valley County BOCC approved 01/06/2025)
- Design Review
- Scenic Route Review

**SCENIC ROUTE REVIEW**

The proposed development is within the Scenic Route Zone due to its location on State Hwy 55 and Samson Trail. The proposed setback for the fire station is 95' from Hwy 55. The storage facility proposes a setback of 120' off of Samson Trail.

**Land Clearing:** The development will require the removal of some of the trees on the Eastern Parcel, to accommodate the building foot prints, drive aisles, and other site improvements. The trees within the wildlife corridor easement will remain. To mitigate this land clearing the PUD landscape plan proposes 104 new trees. These trees along with other landscaping will be added to the site.

**Excavation:** Excavation will be required to bring all utilities to the site as well as prepping the private drive aisles, proposed pedestrian pathway, and preparation for building construction.

**Building Construction:** 12 building consisting of 555 units, an office, and fire station will be built on the site. The following site amenities will also be constructed: pathway along Elo Rd. and Samson Trail. The existing self-storage facility on the western parcel will remain.

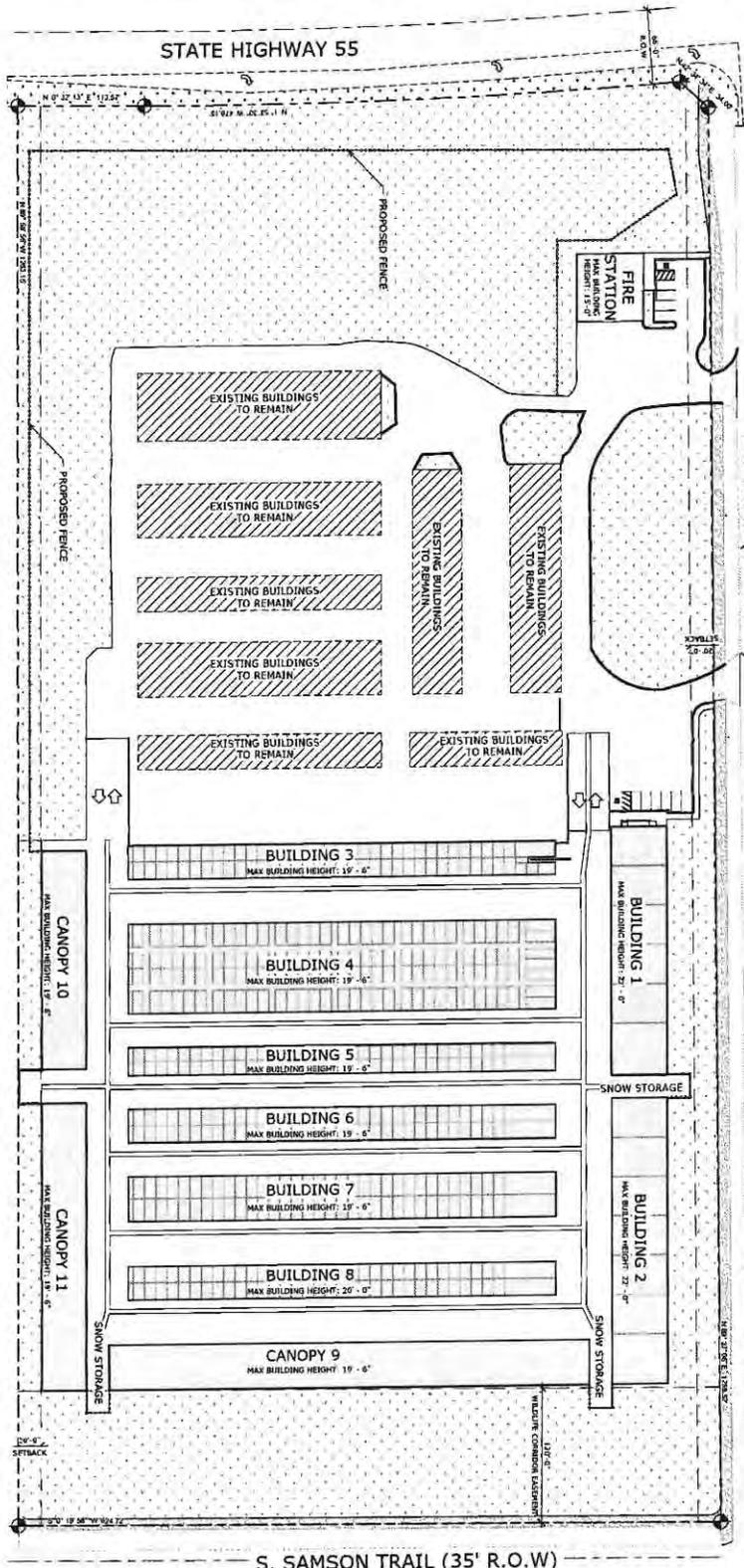
**Parking Improvements:** Adequate parking is provided for the office and fire station. 9 parking stalls and 2 ADA parking stall are provided.

Please contact our office with any questions you may have in reviewing the application materials.

Sincerely,

Jeff Hatch, AIA LEED AP  
**HATCH DESIGN ARCHITECTURE**

SITE PLAN  
SCALE: 1" = 50'-0"



SITE RECAP	
PROJECT SITE:	786,607 SF (18.06 ACRES)
TOTAL PROPERTY SIZE:	786,607 SF (18.06 ACRES)
EXISTING BUILDING FOOTPRINTS:	66,870 SF
TOTAL LOT COVERAGE:	33% (231,137 SF)
LANDSCAPING/OPEN SPACE:	40% (316,459 SF)
ZONING:	RE
SETBACKS:	
ELO ROAD SETBACK:	20'-0"
S. SAMSON TRAIL SETBACK:	120'-0"
R.O.W. SETBACK:	25'-0"
PARKING:	
STANDARD 30 PARKING SPACES	
R.V. 50 PARKING SPACES	

BUILDING AREA RECAP	
BUILDING 1	11,320 SF
BUILDING 2	11,320 SF
BUILDING 3	30,400 SF
BUILDING 4	9,500 SF
BUILDING 5	11,400 SF
BUILDING 6	15,200 SF
BUILDING 7	11,400 SF
BUILDING 8	11,400 SF
CANOPY 9	7,000 SF
CANOPY 10	10,200 SF
CANOPY 11	10,200 SF
TOTAL:	148,171 SF

DATE: 07/02/2024  
 DRAWN BY: JMM  
 CHECKED BY: JMM  
 DESIGNED BY: JMM  
 SCALE: 1" = 50'-0"

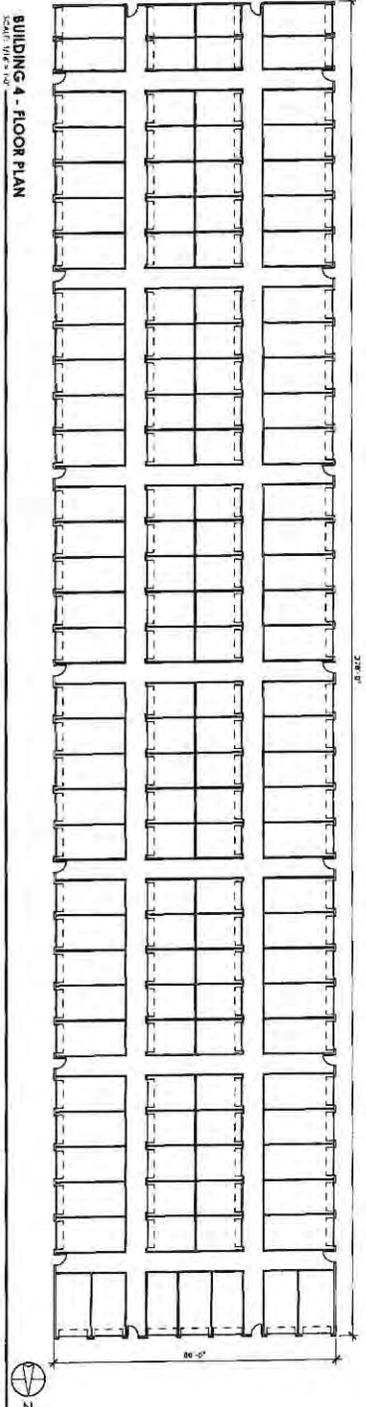
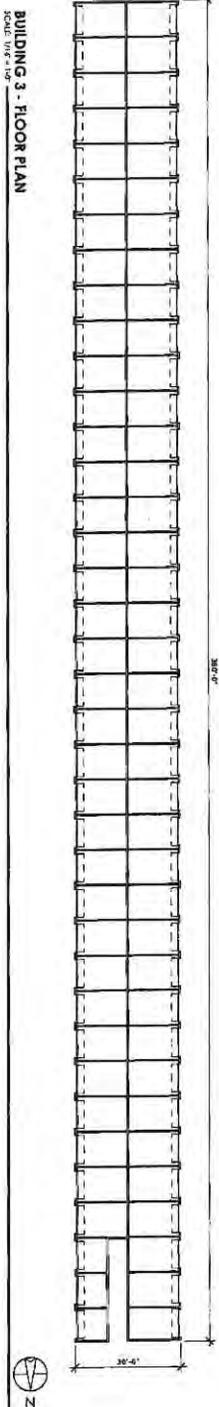
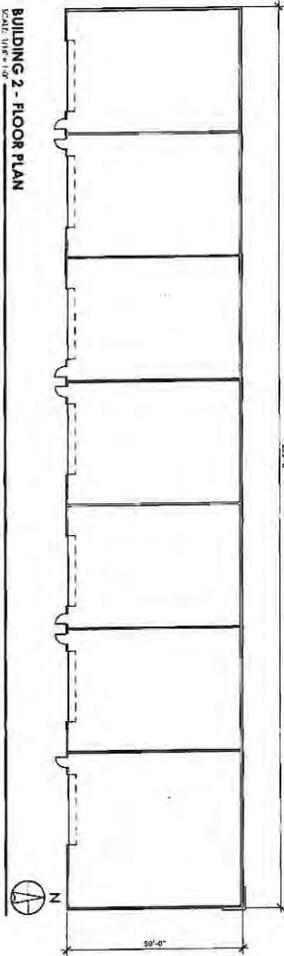
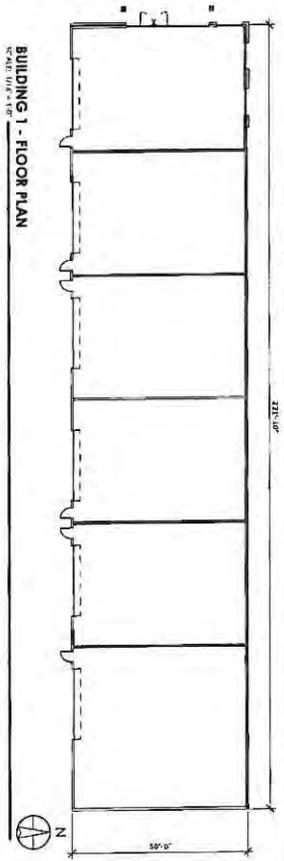
**A-1.0**

SITE PLAN

NEW SELF STORAGE EXPANSION;  
**STOR-IT SELF STORAGE**  
 379 ELO RD, McCALL, ID

NOT FOR CONSTRUCTION

**HATCH DESIGN ARCHITECTURE**  
 250 W. 36TH ST.  
 BOISE, IDAHO 83714  
 OFFICE: (208) 475-3264  
 FAX: (208) 475-475-3265  
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BUILDING AREA RECAP	
BUILDING 1	11,600 SF
BUILDING 2	11,250 SF
BUILDING 3	11,280 SF
BUILDING 4	30,400 SF

THIS PLAN REPRESENTS THE WORK TO BE CONSTRUCTED ON THE BASIS OF THE INFORMATION PROVIDED TO THE ARCHITECT BY THE CLIENT. THE ARCHITECT HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE INFORMATION PROVIDED AND HAS FOUND IT TO BE REASONABLY ACCURATE. THE ARCHITECT HAS NOT CONDUCTED SURVEYING OR ENGINEERING AND DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED. THE ARCHITECT HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE INFORMATION PROVIDED AND HAS FOUND IT TO BE REASONABLY ACCURATE. THE ARCHITECT HAS NOT CONDUCTED SURVEYING OR ENGINEERING AND DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED.



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NEW SELF STORAGE EXPANSION:  
**STOR-IT SELF STORAGE**  
379 ELO RD, McCALL, ID

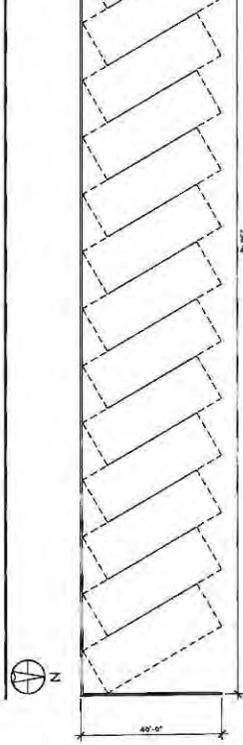
**NOT FOR CONSTRUCTION**

**A-2.0**

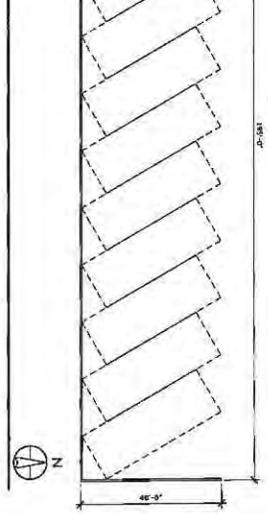
FLOOR PLANS - BUILDING 1-5

DATE:	5/18/22
DRAWN BY:	AMC
CHECKED BY:	AMC
DATE:	5/18/22
SCALE:	AS SHOWN

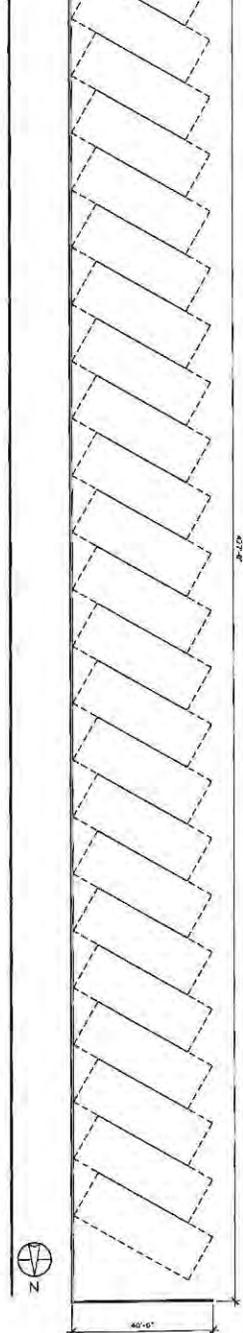
CANOPY 11 - FLOOR PLAN  
SCALE: 1/8" = 1'-0"



CANOPY 10 - FLOOR PLAN  
SCALE: 1/8" = 1'-0"



CANOPY 9 - FLOOR PLAN  
SCALE: 1/8" = 1'-0"



BUILDING AREA RECAP	
CANOPY 10	7,800 SF
CANOPY 11	11,000 SF
CANOPY 9	17,000 SF

**A-2.2**

FLOOR PLANS - CANOPY 9-11

DATE: APRIL 2022  
DRAWN BY: CHANG  
CHECKED BY: CHANG  
JOB NUMBER: 17-0001

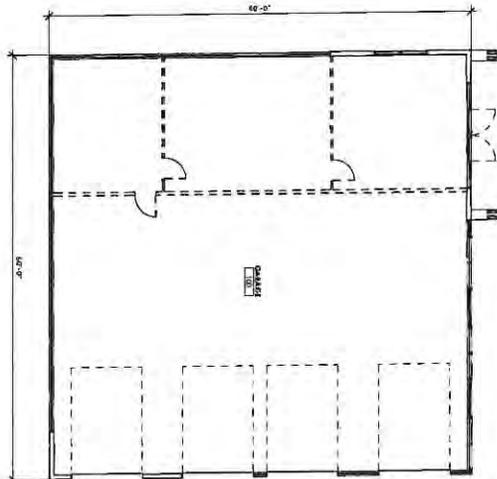
NEW SELF STORAGE EXPANSION:  
**STOR-IT SELF STORAGE**  
379 ELO RD, McCall, ID

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**FIRE STATION - FLOOR PLAN**



**BUILDING AREA RECAP**  
3,693 SF

A-2.3

FLOOR  
PLANS - FIRE  
STATION

DATE: APRIL 2022  
DRAWN BY: [unintelligible]  
CHECKED BY: [unintelligible]  
APP. BY: [unintelligible]

NEW SELF STORAGE EXPANSION:  
**STOR-IT SELF STORAGE**

379 ELO RD, McCall, ID

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# STOR-IT SELF STORAGE EXPANSION PUD APPLICATION AVEST LP 379 ELO ROAD, MCCALL, IDAHO

**Project Contacts:**  
**OWNER / DEVELOPER:**  
 AVEST LP | STOR-IT SELF STORAGE  
 CONTACT: C.W. HURLESS  
 PHONE: 208.807.8579  
 EMAIL: cwh@stor-it.com

**ARCHITECT:**  
 HATCH DESIGN ARCHITECTURE  
 CONTACT: STEVE THIESSEN  
 200 WEST 36TH STREET  
 BOISE, ID 83714  
 PHONE: 208.475.2204  
 EMAIL: steve@hatchia.com

**CIVIL ENGINEER:**  
 THE LAND GROUP, INC.  
 CONTACT: JAMES W. GUTE PE  
 462 E. SHORE DR., STE. 100  
 EAGLE, ID 83616  
 PHONE: 208.839.4041  
 EMAIL: jgute@thelandgroupinc.com



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Vicinity Map



379 ELO Road  
 McCall, Idaho 83638



Situated in a portion of the  
 SE 1/4 of Section 21, Township 18 North, Range 3 East, Boise Meridian  
 City of McCall  
 Valley County, Idaho

Sheet Number	Sheet Title
C100	Site Plan
C105	Grading Plan
C110	Construction Plan
C115	Site Plan - Overall
C200	Lottery Conditions and Specifications PUD
C201	Lottery Plan - Area 1
C202	Lottery Plan - Area 2
C203	Lottery Plan - Area 3
C204	Lottery Plan - Area 4
C205	Lottery Plan - Area 5
C210	Lottery Plan - Area 6
C211	Lottery Plan - Area 7
C212	Lottery Plan - Area 8
C213	Lottery Plan - Area 9
C214	Lottery Plan - Area 10
C215	Lottery Plan - Area 11
C216	Lottery Plan - Area 12
C217	Lottery Plan - Area 13
C218	Lottery Plan - Area 14
C219	Lottery Plan - Area 15
C220	Site Details
C221	Grading Plan - Area 1
C222	Grading Plan - Area 2
C223	Grading Plan - Area 3
C224	Grading Plan - Area 4
C225	Grading Plan - Area 5
C226	Grading Plan - Area 6
C227	Grading Plan - Area 7
C228	Grading Plan - Area 8
C229	Grading Plan - Area 9
C230	Grading Plan - Area 10
C231	Grading Plan - Area 11
C232	Grading Plan - Area 12
C233	Grading Plan - Area 13
C234	Grading Plan - Area 14
C235	Grading Plan - Area 15
C236	Site Grading Profile (S-GP)
C237	Drinking Water
C238	Drinking Water Plan - Overall
C239	Drinking Water - Area 1
C240	Drinking Water - Area 2
C241	Drinking Water - Area 3
C242	Drinking Water - Area 4
C243	Drinking Water - Area 5
C244	Drinking Water - Area 6
C245	Drinking Water - Area 7
C246	Drinking Water - Area 8
C247	Drinking Water - Area 9
C248	Drinking Water - Area 10
C249	Drinking Water - Area 11
C250	Drinking Water - Area 12
C251	Drinking Water - Area 13
C252	Drinking Water - Area 14
C253	Drinking Water - Area 15

**STOR-IT SELF STORAGE EXPANSION  
 PUD APPLICATION  
 AVEST LP**  
 McCall, Idaho 83638  
 379 ELO ROAD



Cover Sheet  
**C1.00**

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- Sheet Notes:**
1. REFER DRAWING TO INCLUDE ANY/ALL CHANGES IN RELATION TO SITE CONDITIONS. CONTRACTOR TO VERIFY ALL TO EXISTING PRIOR TO CONSTRUCTION.
  2. VERIFY ALL UTILITIES AND RECORD THEM PRIOR TO CONSTRUCTION.
  3. VERIFY ALL UTILITIES AND RECORD THEM PRIOR TO CONSTRUCTION.
  4. PROVIDE CURBS AS SHOWN OR AS NOTED. CURBS ARE AN INTEGRAL PART OF THE PAVING AND SHALL BE CONCRETE. CURBS SHALL BE 4" HIGH AND 6" WIDE. CURBS SHALL BE SET TO MATCH EXISTING CURBS. CURBS SHALL BE SET TO MATCH EXISTING CURBS.
  5. TRANSPORT OF CURBS BY OTHER CONTRACTORS AND DRIVERS TO THE SITE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
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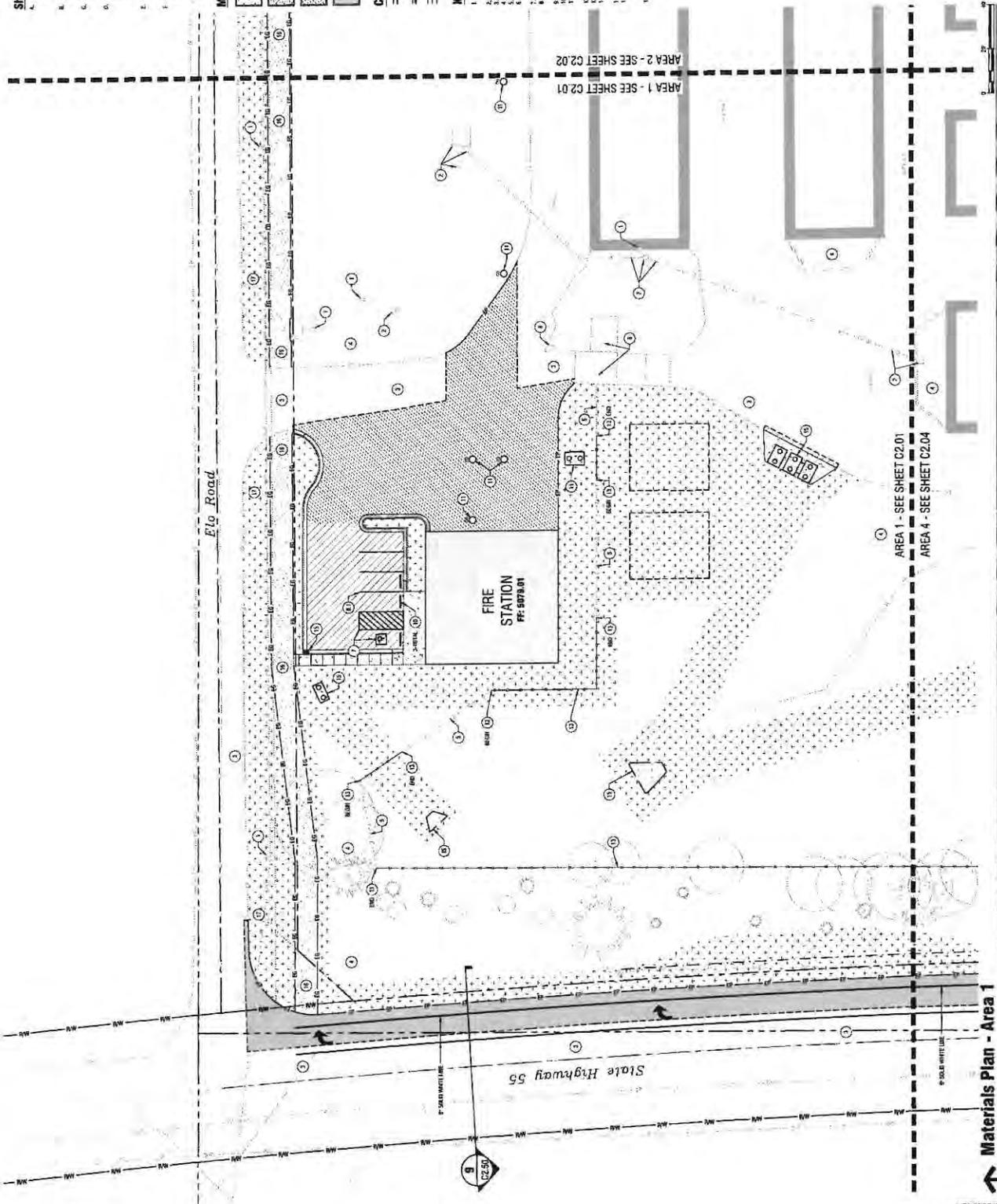
**Material Legend**

	CONCRETE
	ASPHALT
	GRAVEL
	SAND
	STONE
	BRICK
	TILE
	GLASS
	METAL
	WOOD
	PLASTIC
	RUBBER
	FABRIC
	PAPER
	GLASS (2)
	METAL (2)
	WOOD (2)
	PLASTIC (2)
	RUBBER (2)
	FABRIC (2)
	PAPER (2)

**Curb and Gutter Legend:**

- 1. 4" HIGH VERTICAL CURB AND GUTTER PER SPEC. 02.01
- 2. 4" HIGH VERTICAL CURB AND GUTTER PER SPEC. 02.02
- 3. 4" HIGH VERTICAL CURB AND GUTTER PER SPEC. 02.03
- 4. 4" HIGH VERTICAL CURB AND GUTTER PER SPEC. 02.04
- 5. 4" HIGH VERTICAL CURB AND GUTTER PER SPEC. 02.05
- 6. 4" HIGH VERTICAL CURB AND GUTTER PER SPEC. 02.06
- 7. 4" HIGH VERTICAL CURB AND GUTTER PER SPEC. 02.07
- 8. 4" HIGH VERTICAL CURB AND GUTTER PER SPEC. 02.08
- 9. 4" HIGH VERTICAL CURB AND GUTTER PER SPEC. 02.09
- 10. 4" HIGH VERTICAL CURB AND GUTTER PER SPEC. 02.10
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- 15. 4" HIGH VERTICAL CURB AND GUTTER PER SPEC. 02.15
- 16. 4" HIGH VERTICAL CURB AND GUTTER PER SPEC. 02.16
- 17. 4" HIGH VERTICAL CURB AND GUTTER PER SPEC. 02.17
- 18. 4" HIGH VERTICAL CURB AND GUTTER PER SPEC. 02.18
- 19. 4" HIGH VERTICAL CURB AND GUTTER PER SPEC. 02.19
- 20. 4" HIGH VERTICAL CURB AND GUTTER PER SPEC. 02.20

- Keynotes:**
1. EXISTING UTILITIES AND RECORD THEM PRIOR TO CONSTRUCTION.
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  20. EXISTING UTILITIES AND RECORD THEM PRIOR TO CONSTRUCTION.





- Street Notes:**
- AREA 1: EXISTING TRAILING LANE TO BE REMOVED TO BRING LANE WIDTH CONSTRUCTION TO 15' TO 16' TO MEET STATE REQUIREMENTS FOR 15' TO 16' LANE WIDTH.
  - AREA 2: EXISTING TRAILING LANE TO BE REMOVED TO BRING LANE WIDTH CONSTRUCTION TO 15' TO 16' TO MEET STATE REQUIREMENTS FOR 15' TO 16' LANE WIDTH.
  - AREA 3: EXISTING TRAILING LANE TO BE REMOVED TO BRING LANE WIDTH CONSTRUCTION TO 15' TO 16' TO MEET STATE REQUIREMENTS FOR 15' TO 16' LANE WIDTH.
  - AREA 4: EXISTING TRAILING LANE TO BE REMOVED TO BRING LANE WIDTH CONSTRUCTION TO 15' TO 16' TO MEET STATE REQUIREMENTS FOR 15' TO 16' LANE WIDTH.
  - AREA 5: EXISTING TRAILING LANE TO BE REMOVED TO BRING LANE WIDTH CONSTRUCTION TO 15' TO 16' TO MEET STATE REQUIREMENTS FOR 15' TO 16' LANE WIDTH.
  - AREA 6: EXISTING TRAILING LANE TO BE REMOVED TO BRING LANE WIDTH CONSTRUCTION TO 15' TO 16' TO MEET STATE REQUIREMENTS FOR 15' TO 16' LANE WIDTH.

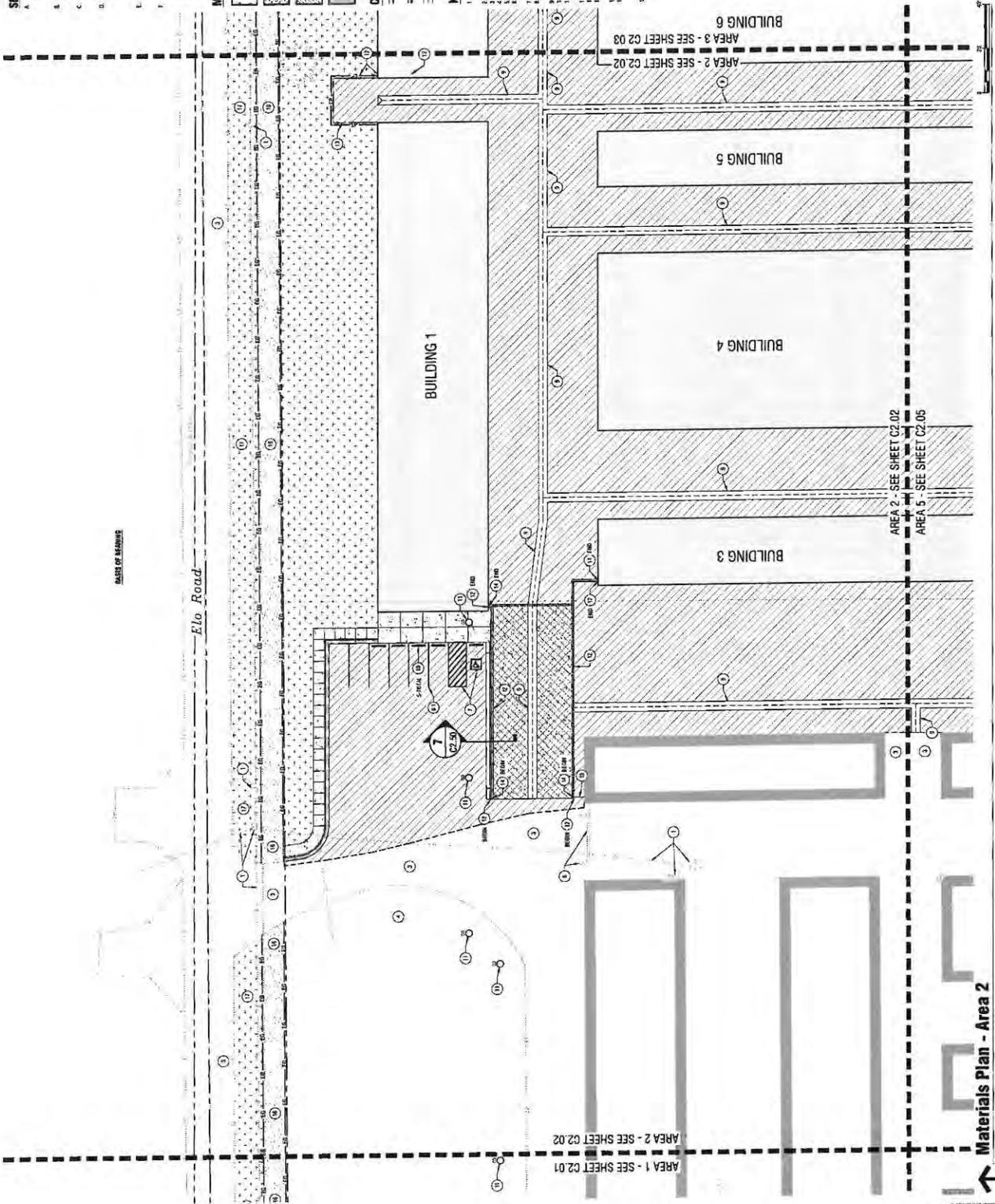
**Material Legend**

[Pattern]	STANDARD CONCRETE
[Pattern]	ADDITIONAL CONCRETE
[Pattern]	ASPHALT
[Pattern]	GRAVEL
[Pattern]	GRAVEL WITH CURB
[Pattern]	GRAVEL WITH GUTTER
[Pattern]	GRAVEL WITH CURB AND GUTTER
[Pattern]	GRAVEL WITH CURB AND GUTTER AND SIDEWALK
[Pattern]	GRAVEL WITH CURB AND GUTTER AND SIDEWALK AND BIKEWAY
[Pattern]	GRAVEL WITH CURB AND GUTTER AND SIDEWALK AND BIKEWAY AND PLANTER
[Pattern]	GRAVEL WITH CURB AND GUTTER AND SIDEWALK AND BIKEWAY AND PLANTER AND BIKEWAY
[Pattern]	GRAVEL WITH CURB AND GUTTER AND SIDEWALK AND BIKEWAY AND PLANTER AND BIKEWAY AND PLANTER AND BIKEWAY
[Pattern]	GRAVEL WITH CURB AND GUTTER AND SIDEWALK AND BIKEWAY AND PLANTER AND BIKEWAY AND PLANTER AND BIKEWAY AND PLANTER AND BIKEWAY

**Curb and Gutter Legend:**

- 1. 4" HIGH CURB AND GUTTER PER SECTION C2.01
- 2. 4" HIGH CURB AND GUTTER PER SECTION C2.02
- 3. 4" HIGH CURB AND GUTTER PER SECTION C2.03
- 4. 4" HIGH CURB AND GUTTER PER SECTION C2.04
- 5. 4" HIGH CURB AND GUTTER PER SECTION C2.05
- 6. 4" HIGH CURB AND GUTTER PER SECTION C2.06
- 7. 4" HIGH CURB AND GUTTER PER SECTION C2.07
- 8. 4" HIGH CURB AND GUTTER PER SECTION C2.08
- 9. 4" HIGH CURB AND GUTTER PER SECTION C2.09
- 10. 4" HIGH CURB AND GUTTER PER SECTION C2.10
- 11. 4" HIGH CURB AND GUTTER PER SECTION C2.11
- 12. 4" HIGH CURB AND GUTTER PER SECTION C2.12
- 13. 4" HIGH CURB AND GUTTER PER SECTION C2.13
- 14. 4" HIGH CURB AND GUTTER PER SECTION C2.14
- 15. 4" HIGH CURB AND GUTTER PER SECTION C2.15
- 16. 4" HIGH CURB AND GUTTER PER SECTION C2.16
- 17. 4" HIGH CURB AND GUTTER PER SECTION C2.17
- 18. 4" HIGH CURB AND GUTTER PER SECTION C2.18
- 19. 4" HIGH CURB AND GUTTER PER SECTION C2.19
- 20. 4" HIGH CURB AND GUTTER PER SECTION C2.20

- Keynotes:**
1. SEE KEYNOTE C2.01 FOR DETAILS OF CURB AND GUTTER.
  2. SEE KEYNOTE C2.02 FOR DETAILS OF CURB AND GUTTER.
  3. SEE KEYNOTE C2.03 FOR DETAILS OF CURB AND GUTTER.
  4. SEE KEYNOTE C2.04 FOR DETAILS OF CURB AND GUTTER.
  5. SEE KEYNOTE C2.05 FOR DETAILS OF CURB AND GUTTER.
  6. SEE KEYNOTE C2.06 FOR DETAILS OF CURB AND GUTTER.
  7. SEE KEYNOTE C2.07 FOR DETAILS OF CURB AND GUTTER.
  8. SEE KEYNOTE C2.08 FOR DETAILS OF CURB AND GUTTER.
  9. SEE KEYNOTE C2.09 FOR DETAILS OF CURB AND GUTTER.
  10. SEE KEYNOTE C2.10 FOR DETAILS OF CURB AND GUTTER.
  11. SEE KEYNOTE C2.11 FOR DETAILS OF CURB AND GUTTER.
  12. SEE KEYNOTE C2.12 FOR DETAILS OF CURB AND GUTTER.
  13. SEE KEYNOTE C2.13 FOR DETAILS OF CURB AND GUTTER.
  14. SEE KEYNOTE C2.14 FOR DETAILS OF CURB AND GUTTER.
  15. SEE KEYNOTE C2.15 FOR DETAILS OF CURB AND GUTTER.
  16. SEE KEYNOTE C2.16 FOR DETAILS OF CURB AND GUTTER.
  17. SEE KEYNOTE C2.17 FOR DETAILS OF CURB AND GUTTER.
  18. SEE KEYNOTE C2.18 FOR DETAILS OF CURB AND GUTTER.
  19. SEE KEYNOTE C2.19 FOR DETAILS OF CURB AND GUTTER.
  20. SEE KEYNOTE C2.20 FOR DETAILS OF CURB AND GUTTER.



**Materials Plan - Area 2**

1" = 20'

**STOR-IT SELF STORAGE EXPANSION**  
**PUD APPLICATION**  
**AVEST LP**

329 Elio Road  
 Mescal, NM 88369



**C2.02**













# STOR-IT SELF STORAGE EXPANSION

## PUD APPLICATION

### AVEST LP

370 Elm Road  
MCKINNA, IOWA 52558

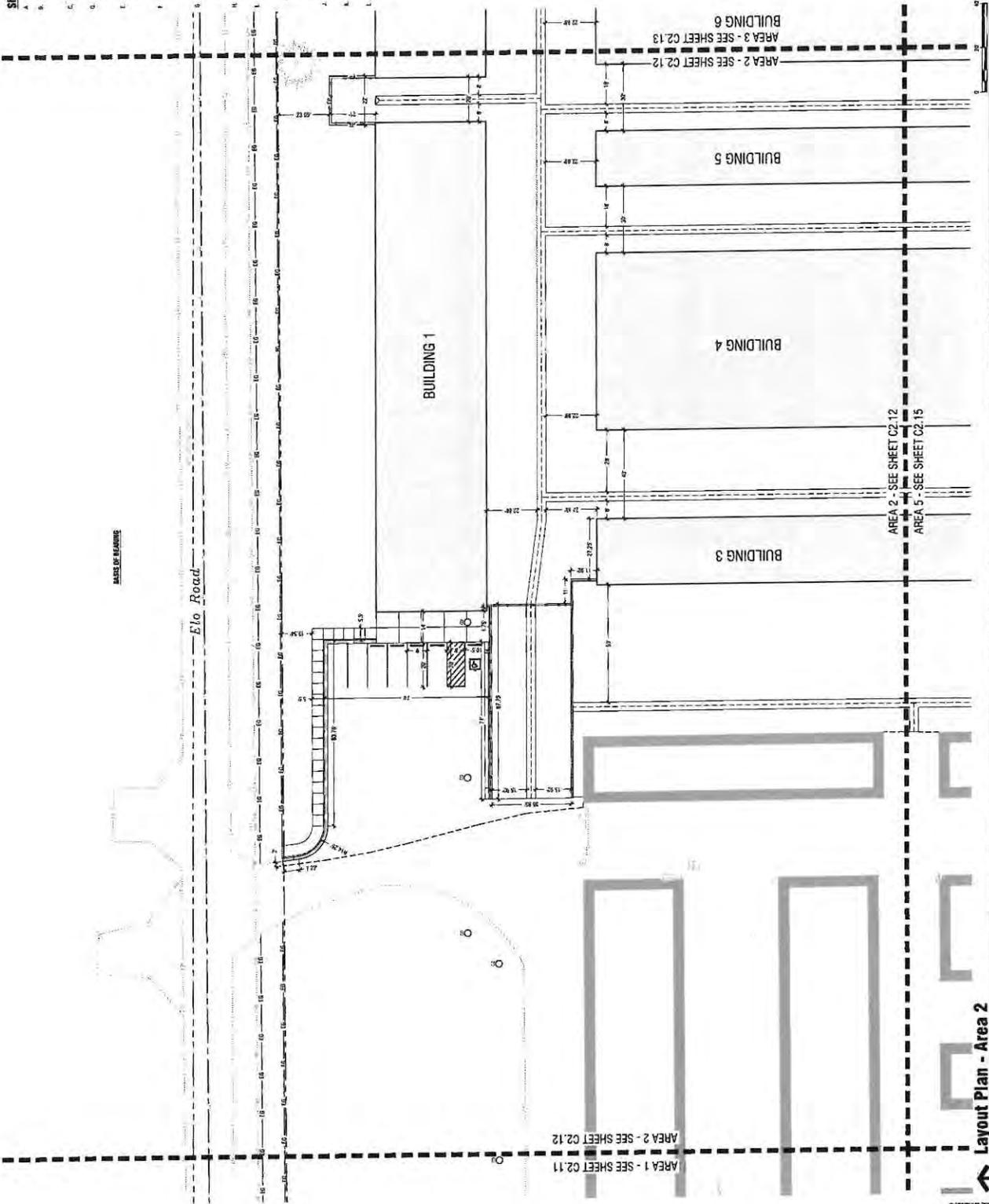


CONTRACTOR  
 PROJECT NO. 14-0001  
 DATE: 04/20/14  
 DRAWN BY: J. H. HARRIS  
 CHECKED BY: J. H. HARRIS

Layout Plan - Area 2

C2.12

- Sheet Notes:**
- A. CONTRACTOR SHALL COMPLY WITH ALL NOTES ON THIS SHEET C2.11.
  - B. REFER TO DRAWING TO BUILDING LAYOUT DIMENSIONS IN ALL WORK TO BE CONSTRUCTED. CONSTRUCTION TO VERIFY LATEST DIMENSIONS FROM TO CONSTRUCTION.
  - C. REFER TO LAYOUT PLAN ON SHEET C2.11 FOR ADDITIONAL.
  - D. CONCRETE SHALL BE 4000 PSI STRENGTH CONCRETE WITH 4% FIBER REINFORCEMENT. CONCRETE SHALL BE PLACED IN ONE LIFT PER FOOT OF THICKNESS. FORMS SHALL BE MAINTAINED UNTIL CONCRETE HAS GAINED SUFFICIENT STRENGTH TO SUPPORT THE FULL LOAD OF FORMS AND ADJACENT WALLS AND PARTIAL LOAD OF FOUNDATION. FORMS SHALL BE MAINTAINED UNTIL CONCRETE HAS GAINED SUFFICIENT STRENGTH TO SUPPORT THE FULL LOAD OF FORMS AND ADJACENT WALLS AND PARTIAL LOAD OF FOUNDATION.
  - E. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SPACINGS AND ATTACHMENT OF THE CONCRETE REINFORCEMENT FOR A SECTION PRIOR TO COMMENCING WITH THE WORK.
  - F. PROVIDE JOISTS AS SHOWN ON DRAWING. JOISTS ARE TO BE INSTALLED WITH SPACING AS SHOWN ON DRAWING. JOISTS SHALL BE SUPPORTED BY BRACKETS. BRACKETS SHALL BE 2x6 DIMENSIONED TO SUPPORT THE FULL LOAD OF JOISTS AND SHALL BE FASTENED TO CONCRETE WITH 2x4 DIMENSIONED BRACKETS. BRACKETS SHALL BE 2x6 DIMENSIONED TO SUPPORT THE FULL LOAD OF JOISTS AND SHALL BE FASTENED TO CONCRETE WITH 2x4 DIMENSIONED BRACKETS.
  - G. CONCRETE JOISTS IN FINISHED AREAS SHALL ALSO BE PROTECTED WITH 1/2" THICK GYPSONUM BOARD SHEET FLOORING.
  - H. CONCRETE JOISTS IN FINISHED AREAS SHALL ALSO BE PROTECTED WITH 1/2" THICK GYPSONUM BOARD SHEET FLOORING.
  - I. CONCRETE JOISTS IN FINISHED AREAS SHALL ALSO BE PROTECTED WITH 1/2" THICK GYPSONUM BOARD SHEET FLOORING.
  - J. CONCRETE JOISTS IN FINISHED AREAS SHALL ALSO BE PROTECTED WITH 1/2" THICK GYPSONUM BOARD SHEET FLOORING.
  - K. CONCRETE JOISTS IN FINISHED AREAS SHALL ALSO BE PROTECTED WITH 1/2" THICK GYPSONUM BOARD SHEET FLOORING.
  - L. CONCRETE JOISTS IN FINISHED AREAS SHALL ALSO BE PROTECTED WITH 1/2" THICK GYPSONUM BOARD SHEET FLOORING.



Layout Plan - Area 2

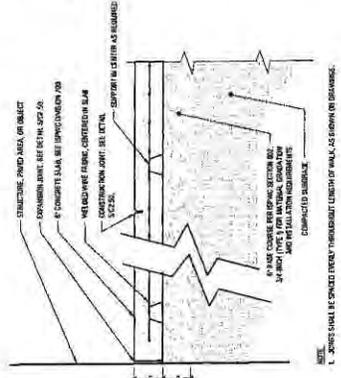
1" = 20'





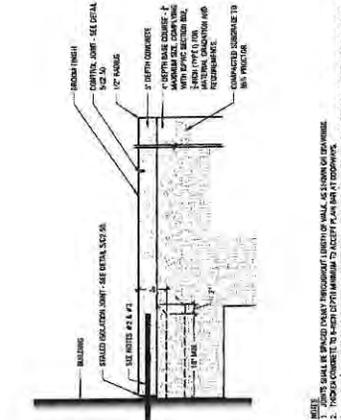






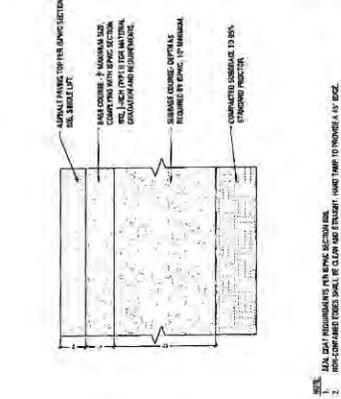
**NOTE:**  
 1. JOINTS SHALL BE SPACED EVERY 7' THROUGHOUT LENGTH OF WALL, AS SHOWN ON DRAWINGS.  
 2. JOINTS SHALL BE SPACED EVERY 7' THROUGHOUT LENGTH OF WALL, AS SHOWN ON DRAWINGS.

**4 Heavy Duty Concrete Flatwork**  
 Scale: 1" = 1'-1"



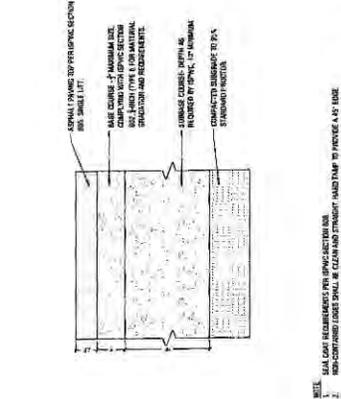
**NOTE:**  
 1. JOINTS SHALL BE SPACED EVERY 7' THROUGHOUT LENGTH OF WALL, AS SHOWN ON DRAWINGS.  
 2. JOINTS SHALL BE SPACED EVERY 7' THROUGHOUT LENGTH OF WALL, AS SHOWN ON DRAWINGS.  
 3. JOINTS SHALL BE SPACED EVERY 7' THROUGHOUT LENGTH OF WALL, AS SHOWN ON DRAWINGS.

**3 Standard Concrete Flatwork**  
 Scale: 1" = 1'-1"



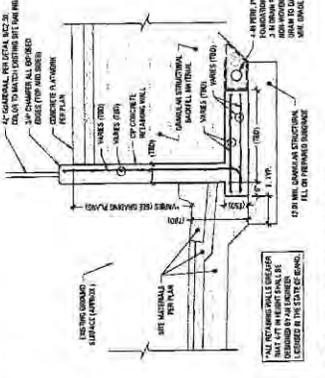
**NOTE:**  
 1. ALL ASPHALT PAVEMENT SHALL BE COMPACTED TO 98% OF MAXIMUM DENSITY.  
 2. ALL ASPHALT PAVEMENT SHALL BE COMPACTED TO 98% OF MAXIMUM DENSITY.  
 3. ALL ASPHALT PAVEMENT SHALL BE COMPACTED TO 98% OF MAXIMUM DENSITY.

**2 Heavy-Duty Asphalt Pavement**  
 Scale: 1" = 1'-1"



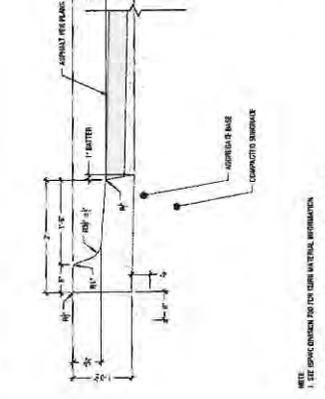
**NOTE:**  
 1. ALL ASPHALT PAVEMENT SHALL BE COMPACTED TO 98% OF MAXIMUM DENSITY.  
 2. ALL ASPHALT PAVEMENT SHALL BE COMPACTED TO 98% OF MAXIMUM DENSITY.  
 3. ALL ASPHALT PAVEMENT SHALL BE COMPACTED TO 98% OF MAXIMUM DENSITY.

**1 Light-Duty Asphalt Pavement**  
 Scale: 1" = 1'-1"



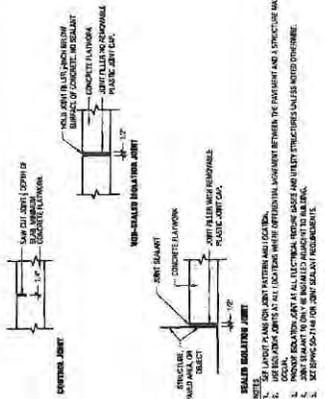
**NOTE:**  
 1. ALL REINFORCEMENT SHALL BE EPOXY COATED.  
 2. ALL REINFORCEMENT SHALL BE EPOXY COATED.  
 3. ALL REINFORCEMENT SHALL BE EPOXY COATED.

**7 CIP Retaining Wall Detail**  
 Scale: 1" = 1'-1"



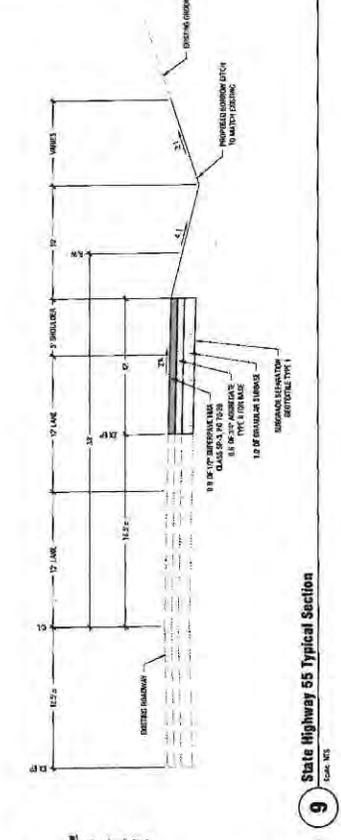
**NOTE:**  
 1. ALL CURBS SHALL BE 4\"/>

**6 Reverse Plate Curb and Gutter**  
 Scale: 1" = 1'-1"



**NOTE:**  
 1. ALL JOINTS SHALL BE SPACED EVERY 7' THROUGHOUT LENGTH OF WALL, AS SHOWN ON DRAWINGS.  
 2. ALL JOINTS SHALL BE SPACED EVERY 7' THROUGHOUT LENGTH OF WALL, AS SHOWN ON DRAWINGS.  
 3. ALL JOINTS SHALL BE SPACED EVERY 7' THROUGHOUT LENGTH OF WALL, AS SHOWN ON DRAWINGS.

**5 Control Joints**  
 Scale: 1" = 1'-1"



**NOTE:**  
 1. ALL GUARDRAIL SHALL BE 4\"/>

**8 Guardrail Detail**  
 Scale: 1" = 1'-1"

**9 State Highway 55 Typical Section**  
 Scale: 1" = 1'-1"





**STOR-IT SELF STORAGE EXPANSION**  
**PUD APPLICATION**  
**AVEST LP**  
 3750 8th Road  
 Lincoln, Nebraska 68508

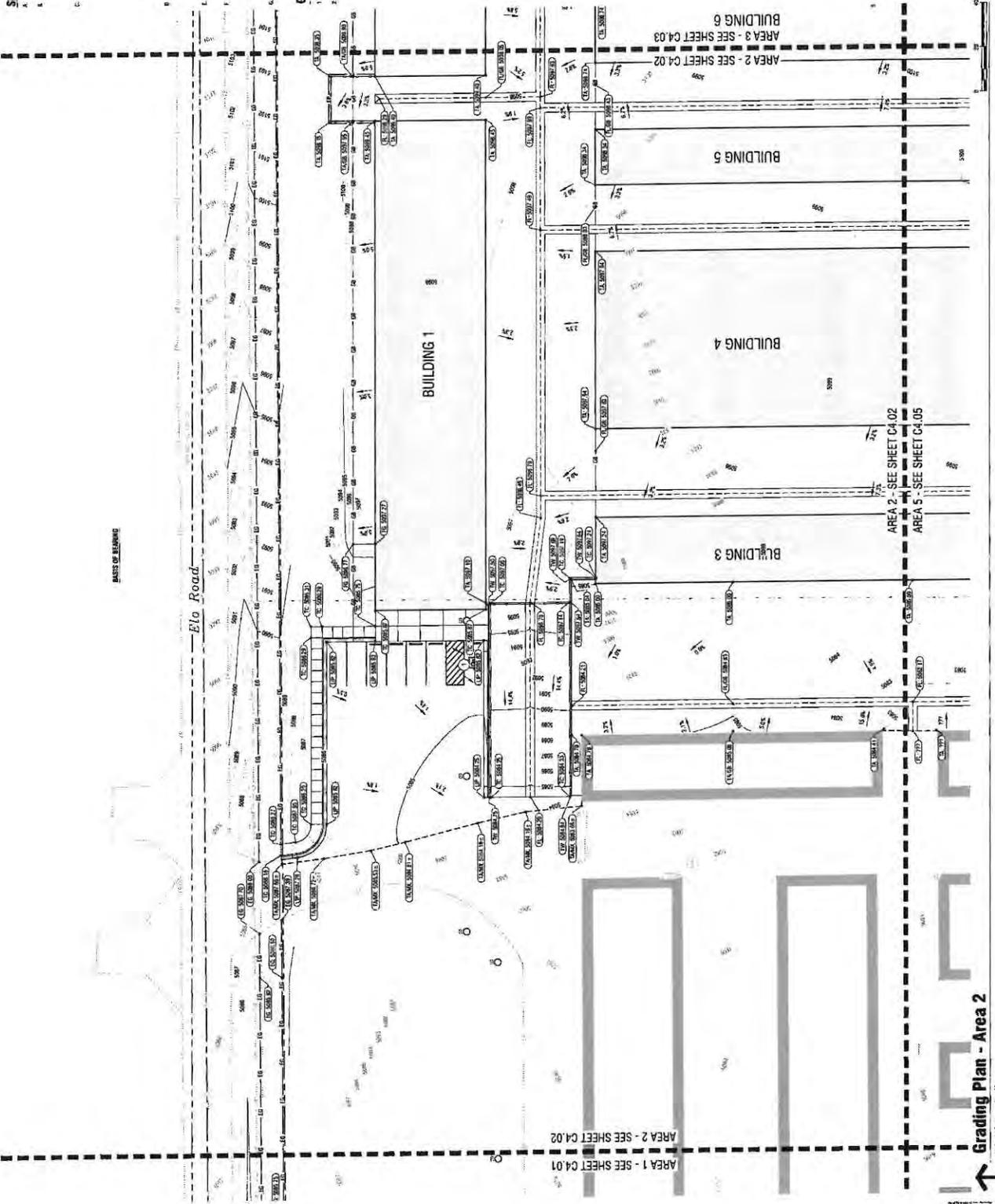


DATE: 11/15/2017  
 PROJECT: AVEST LP  
 SHEET: C4.02  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]

**C4.02**  
 Grading Plan - Area 2

- Sheet Notes:**
- CONTRACTOR SHALL VERIFY WITH GENERAL NOTES SHEET C4.01
  - ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (SP-10), THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION SUPPLEMENTAL SPECIFICATIONS AND THE PROJECT MANUAL SET.
  - SPOT ELEVATIONS AS INDICATED BY THE FOLLOWING ABBREVIATIONS:
    - FS - FINISH GRADE
    - EL - EXISTING ELEVATION
    - CL - CLEARANCE ELEVATION
    - UP - UNFINISHED GRADE
    - MA - MAINTENANCE ELEVATION
    - TO - TOP OF CURB
    - TO - TOP OF ASPHALT
    - TO - TOP OF FINISH GRADE
    - TO - TOP OF FINISH CURB
    - TO - TOP OF FINISH DRIVE
  - UNDESIRABLE CROSS SLOPE OF ALL TERRACES SHALL BE RECTIFIED BY A HORIZONTAL CROSS SLOPE SHALL NOT EXCEED 2% ALONG THE ENTIRE LENGTH OF THE TERRACE. UNDESIRABLE SLOPES SHALL NOT EXCEED 1:1 SLOPE IN ANY DIRECTION.
  - ROOF PITCHES AND ACCESSORY FRAMES SHALL BE SET TO 0.00.
  - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE DESIGNER'S INTENT. CONSULT THE LAND GRAB AT 17000 8000 ROAD, LINCOLN, NEBRASKA FOR THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION SUPPLEMENTAL SPECIFICATIONS AND THE PROJECT MANUAL SET.
  - CONTRACTOR SHALL VERIFY WITH GENERAL NOTES SHEET C4.01

- Grading Keynotes:**
- ADVANCED GRADE SLOPE SHALL NOT EXCEED 2% IN ANY DIRECTION
  - DESIGN POSITIVE DRAINAGE TO STREET



**Grading Plan - Area 2**  
 11/15/2017

11/15/2017





**STOR-IT SELF STORAGE EXPANSION**  
**PUD APPLICATION**  
**AVEST LP**  
 McColl Idaho 83088



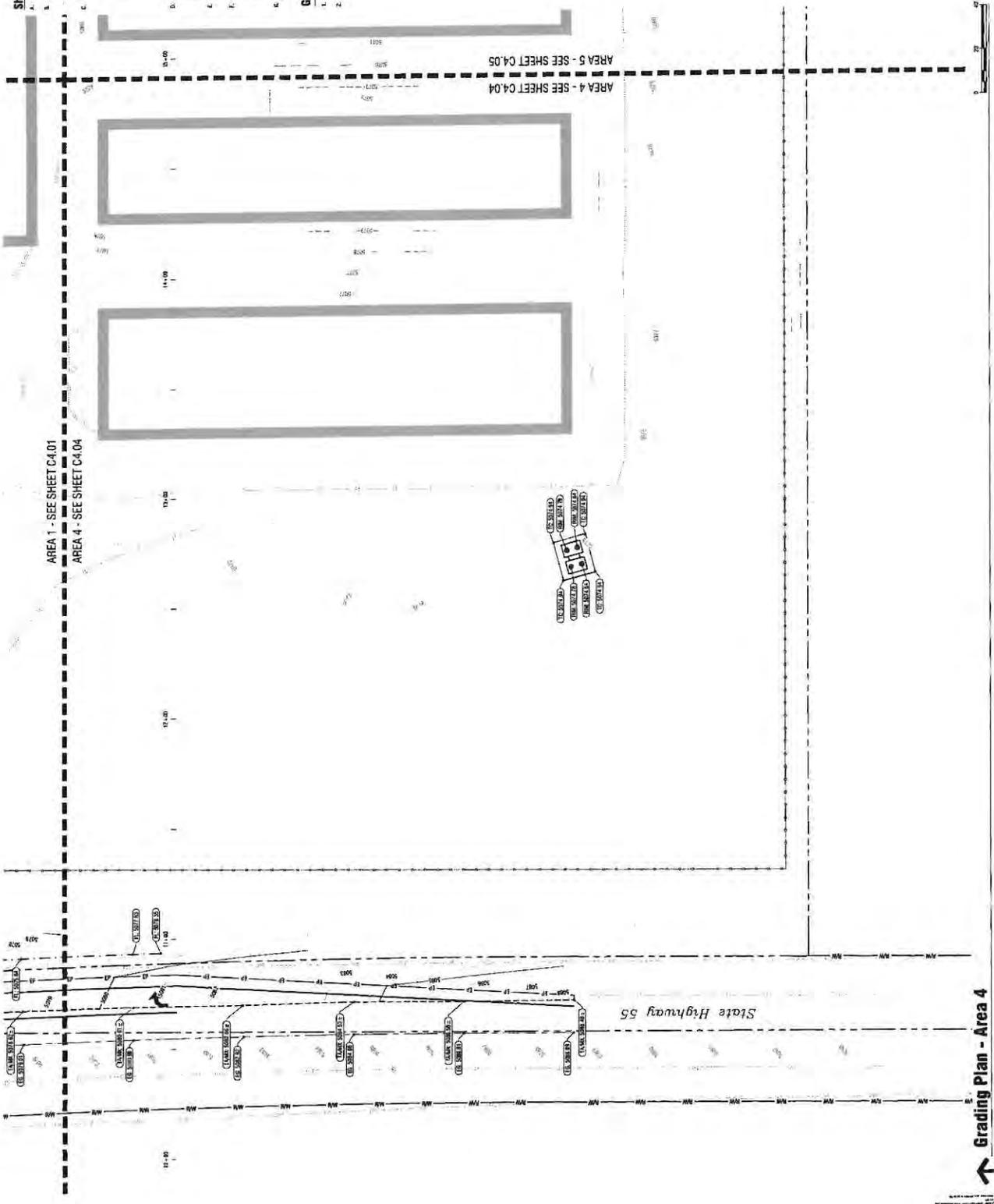
DATE: 02/28/2017  
 DRAWN BY: JACOB W. BAKER  
 CHECKED BY: JACOB W. BAKER  
 PROJECT: AVEST LP

Grading Plan - Area 4

**C4.04**

- Sheet Notes:**
- CONTRACTOR SHALL COMPLY WITH GENERAL NOTES SHEET C4.01
  - ALL WORK SHALL BE DONE IN ACCORDANCE WITH LATEST EDITION OF LOCAL ORDINANCES AND PERMITS. VERIFY ALL REQUIREMENTS BEFORE CONSTRUCTION BEGINS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
  - SPOT ELEVATIONS ARE INDICATED BY THE FOLLOWING ABBREVIATIONS:  
 NO. - FINISH GRADE  
 FL. - FINISH FLOOR LINE  
 G.S. - GRADE SURFACE  
 M.S. - MOUNTAIN SURFACE  
 T.S. - TOP OF SURFACE  
 T.C. - TOP OF CURB  
 T.P. - TOP OF PAVEMENT
  - CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHALL NOT EXCEED 1/4" SLOPE IN ANY DIRECTION. CROSS SLOPE SHALL NOT EXCEED 1:1 SLOPE IN ANY DIRECTION.
  - CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHALL NOT EXCEED 1/4" SLOPE IN ANY DIRECTION. CROSS SLOPE SHALL NOT EXCEED 1:1 SLOPE IN ANY DIRECTION.
  - ALL DIMENSIONS SHALL BE INDICATED BY THE DESIGN ENGINEER. CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHALL NOT EXCEED 1/4" SLOPE IN ANY DIRECTION. CROSS SLOPE SHALL NOT EXCEED 1:1 SLOPE IN ANY DIRECTION.
  - CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHALL NOT EXCEED 1/4" SLOPE IN ANY DIRECTION. CROSS SLOPE SHALL NOT EXCEED 1:1 SLOPE IN ANY DIRECTION.

- Grading Keynotes:**
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHALL NOT EXCEED 1/4" SLOPE IN ANY DIRECTION.
  - CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHALL NOT EXCEED 1/4" SLOPE IN ANY DIRECTION.

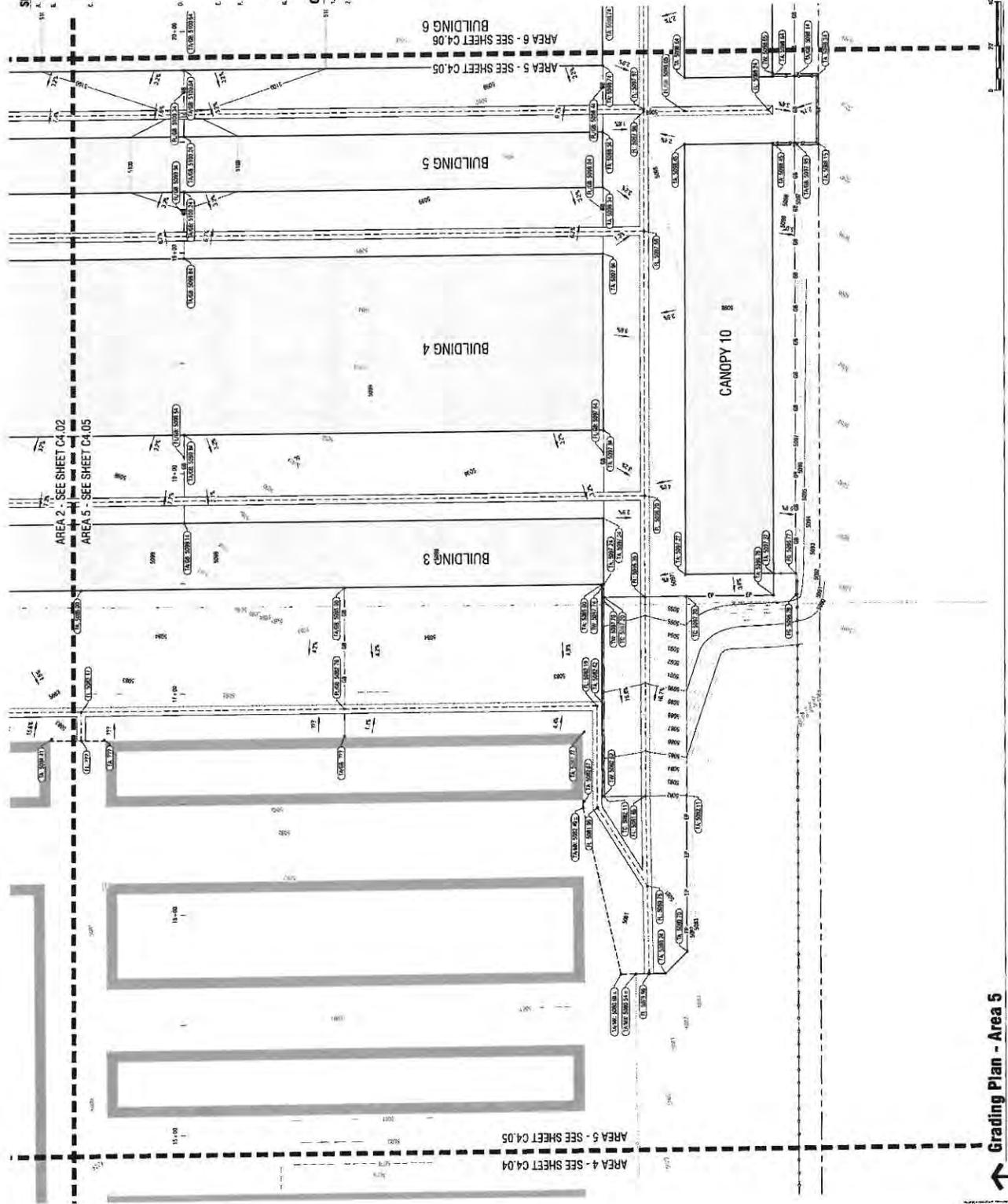


Grading Plan - Area 4  
 1" = 20'



- Sheet Notes:**
1. CONTRACTOR SHALL COMPLY WITH GENERAL NOTES SHEET C4.01
  2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH LATEST EDITIONS OF IOWA STATUTES FOR PUBLIC WORKS CONSTRUCTION SPECIFICATIONS, THE SPECIFICATIONS AND THE PROJECT MANUAL.
  3. SLOPE CALCULATIONS ARE INDICATED BY THE FOLLOWING:
    - 1. - FINISH GRADE
    - 2. - EXISTING GRADE
    - 3. - SLOPE BREAK
    - 4. - SLOPE
    - 5. - MAXIMUM DISTANCE
    - 6. - TOP OF ASPHALT
    - 7. - TOP OF GRADE
    - 8. - TOP OF CURB
  4. UNLESS OTHERWISE NOTED, ALL DIMENSIONS SHALL BE MEASURED FROM THE EXISTING CENTERLINE OF THE ROAD AND SHALL NOT EXCEED 2% SLOPE. DIMENSIONS FOR INTERSECTION PAVEMENT SHALL EXCEED 1% SLOPE IN ANY DIRECTION.
  5. ALL DIMENSIONS SHALL BE MEASURED BY THE CHECK ENGINEER. CONSULT THE LAND GROUP AT LEAST 48 HOURS PRIOR TO CONSTRUCTION. ALL DIMENSIONS SHALL BE MEASURED TO THE CENTERLINE OF THE ROAD.
  6. ENSURE PROTECTIVE FURNISHING TO ALL EXISTING STRUCTURES WITHIN THE LOT.

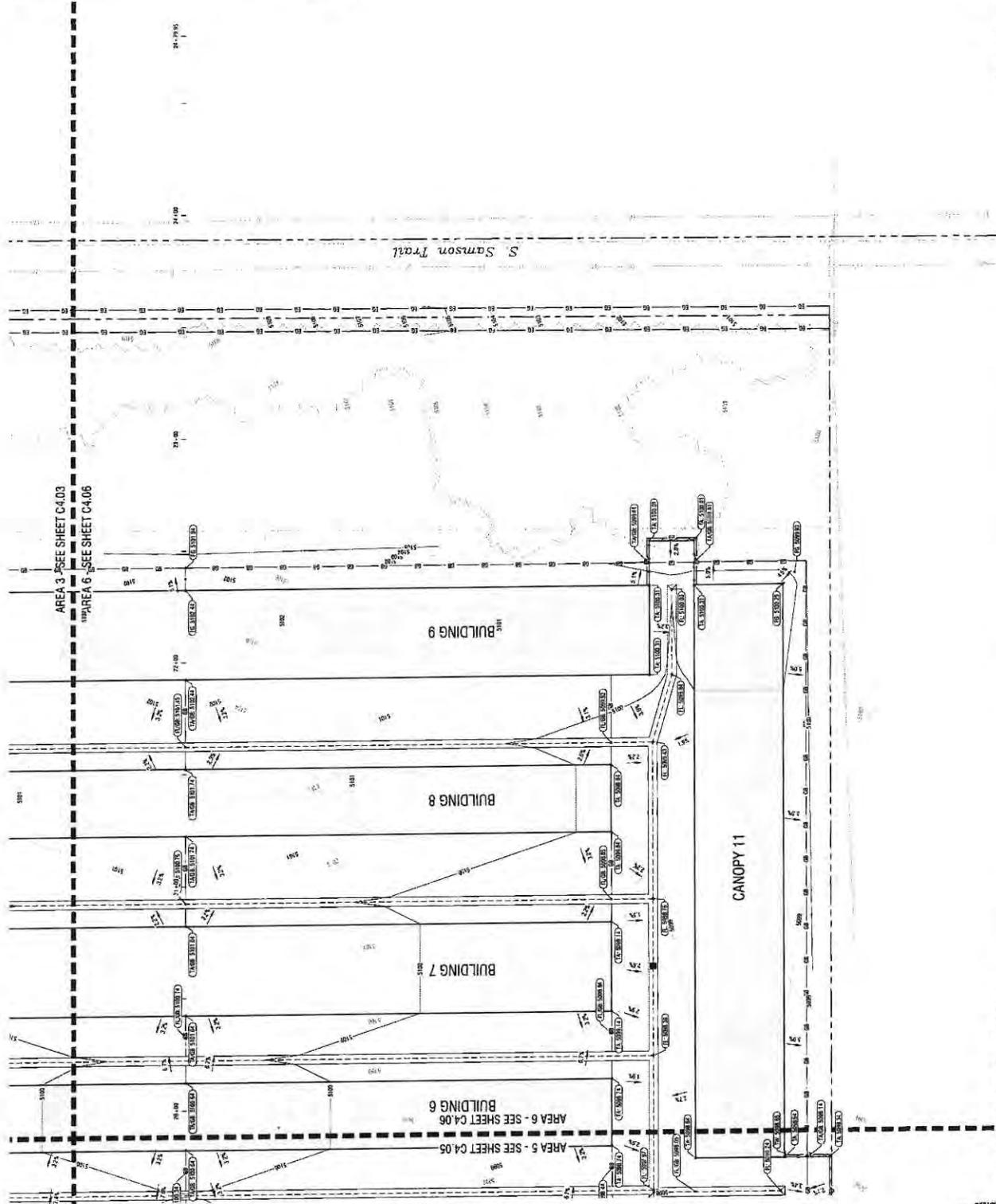
- Grading Keynotes:**
1. 404 FLOORING AREA. SLOPE SHALL NOT EXCEED 2% IN ANY DIRECTION.
  2. BREAKLINE POSITION FURNISHING TO BE SET.





- Sheet Notes:**
- CONTRACTOR SHALL COMPLY WITH GENERAL NOTES, SHEET C4.02
  - ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF GRADE STANDARDS FOR PUBLIC UTILITIES CONSTRUCTION (GSPUC), THE SPECIFICATIONS AND THE PROJECT MANUAL SET.
  - SPOT ELEVATIONS ARE INDICATED BY THE FOLLOWING ABBREVIATION CODES:
    - EG - FINISH GRADE
    - FL - FINISH FLOOR
    - FL - FINISH FLOOR LINE
    - GG - GROUND GRADE
    - GG - GROUND GRADE
    - MG - MAT TO EXISTING
    - MG - MAT TO EXISTING
    - TA - TOP OF ASPHALT
    - TC - TOP OF CURB
    - TC - TOP OF CURB
  - UNDESIGNATED AREAS TO BE GRADED SHALL BE GRADABLE TO EXISTING GRADE UNLESS OTHERWISE NOTED. EXISTING GRADE SHALL NOT EXCEED 1% SLOPE IN ANY DIRECTION.
  - ALL DRAINAGE FACILITIES SHALL BE INSPECTED BY THE DESIGN ENGINEER. CONTACT THE LAND GROUP AT (405) 330-8447 IN ORDER TO MAKE AN APPOINTMENT FOR A VISUAL INSPECTION. THE TIME TO BE DEDICATED TO THIS PURPOSE TO INSPECT THE WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
  - INDICATE POSITIVE DRAINAGE TO ALL DRAINAGE STRUCTURES WITH DIRECTIONAL ARROWS.

- Grading Keynotes:**
- FOR FINISH AREA, ELEVATION SHALL NOT EXCEED 2% IN ANY DIRECTION.
  - INDICATE POSITIVE DRAINAGE TO INLET.





# STOR-IT SELF STORAGE EXPANSION PUD APPLICATION AVEST LP

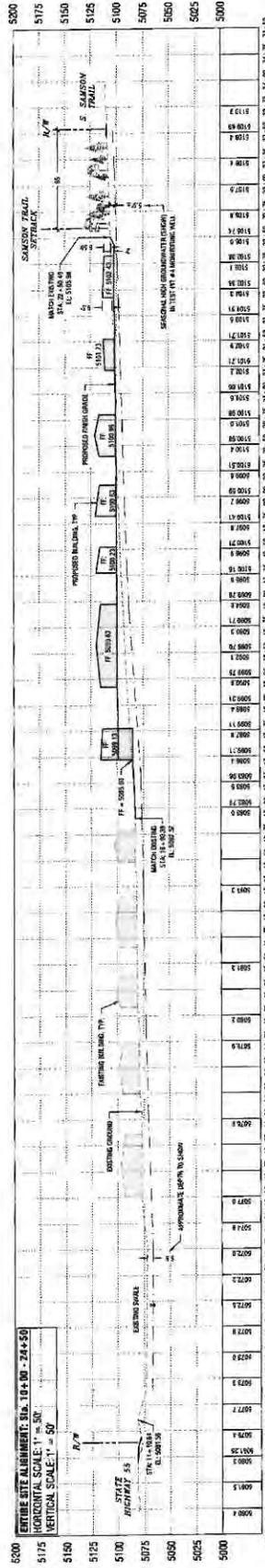
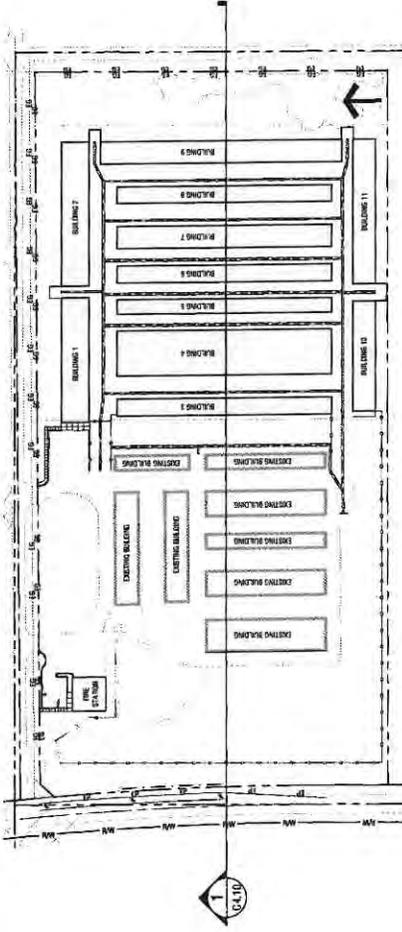
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MCCLENDEN 69438



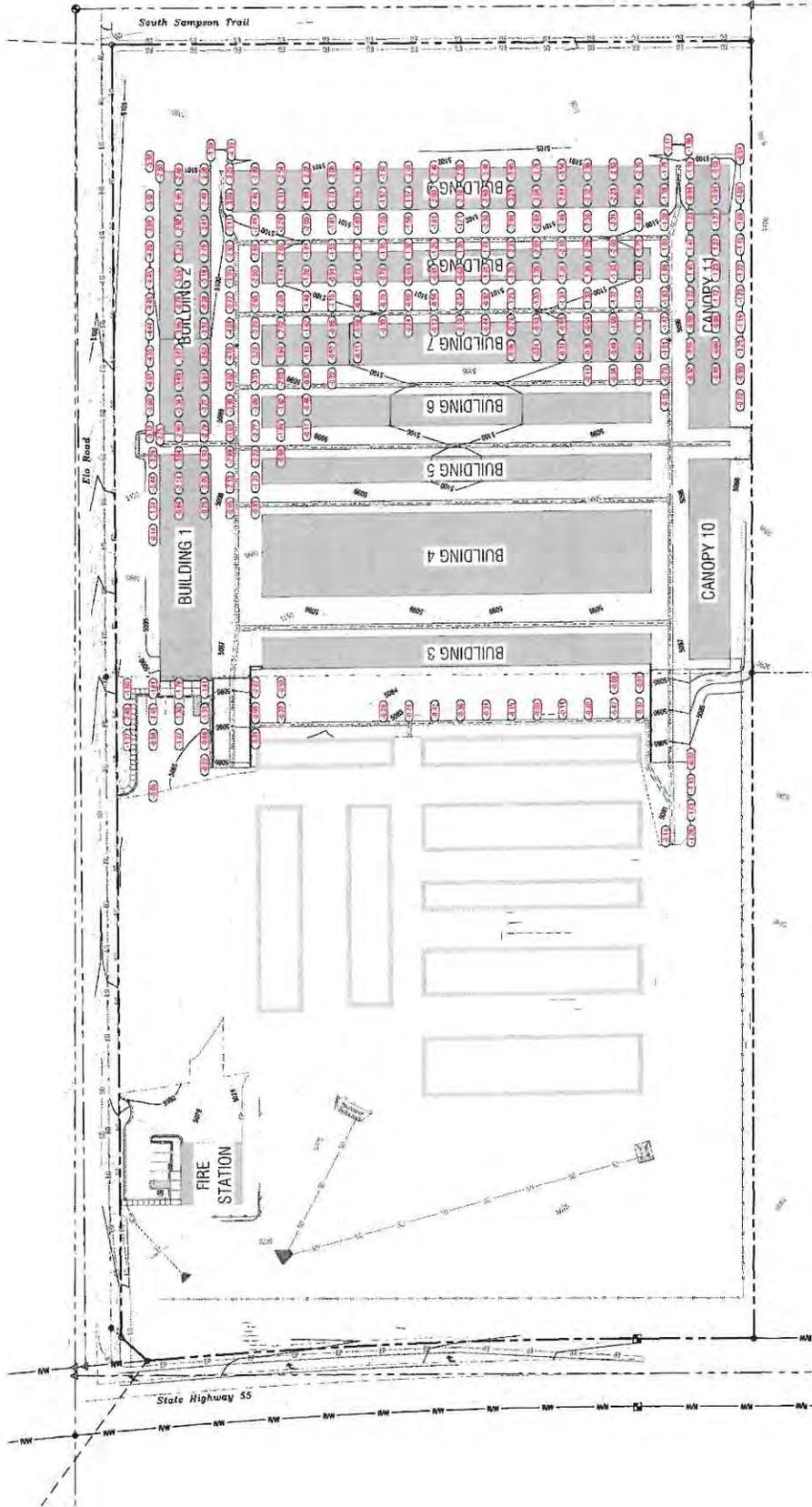
DATE: 02/20/20  
DRAWN BY: JACOB S. WATSON  
CHECKED BY: JACOB S. WATSON

Site Grading Profile  
(E-W)

C4.10



1 Site Grading Profile (E-W)  
PROJECT DATE: 11-20-20



**Grading Comparison**  
 1" = 20'

North Arrow

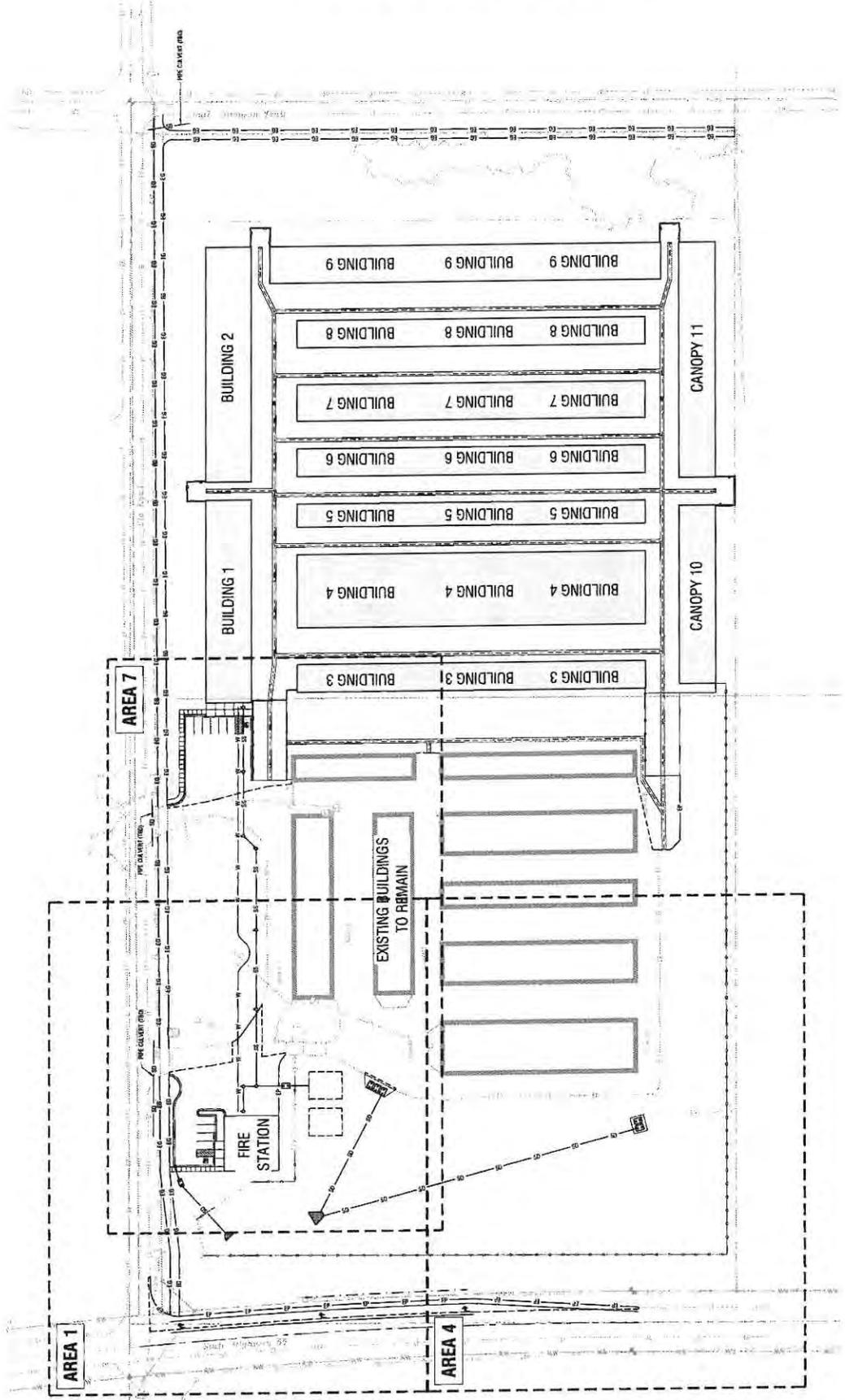


**STOR-IT SELF STORAGE EXPANSION  
PUD APPLICATION  
AVEST LP**  
379 E. ROAD  
MCCOY, IOWA 52638



**CONTRACTOR**  
Name: [Redacted]  
Address: [Redacted]  
City: [Redacted]  
State: [Redacted]  
Zip: [Redacted]

**Drainage & Utility Plan - Overall**  
C5.00



**Drainage & Utility Plan - Overall**  
Horizontal Scale: 1" = 50'



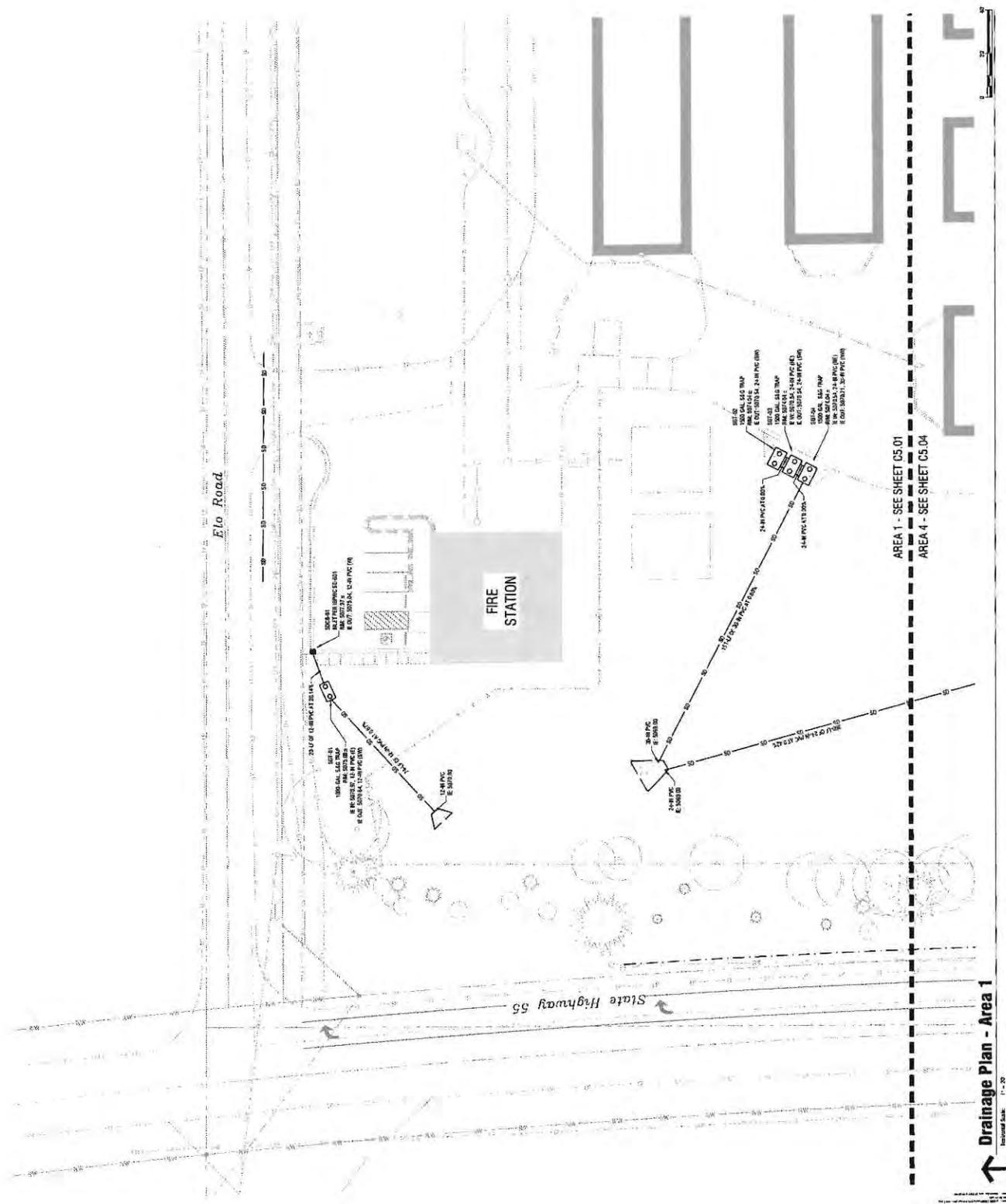


**STOR-IT SELF STORAGE EXPANSION**  
**PUD APPLICATION**  
**AVEST LP**  
 379 E. Road  
 MCKIN, IOWA 89339



**NOT FOR CONSTRUCTION**  
 SHEET NO. C5.01  
 DATE: 03/23/2018  
 PROJECT: AVEST LP

**Drainage Plan - Area 1**  
**C5.01**



*Elo Road*

State Highway 55

AREA 1 - SEE SHEET C5.01  
 AREA 4 - SEE SHEET C5.04

**Drainage Plan - Area 1**  
 1" = 20'



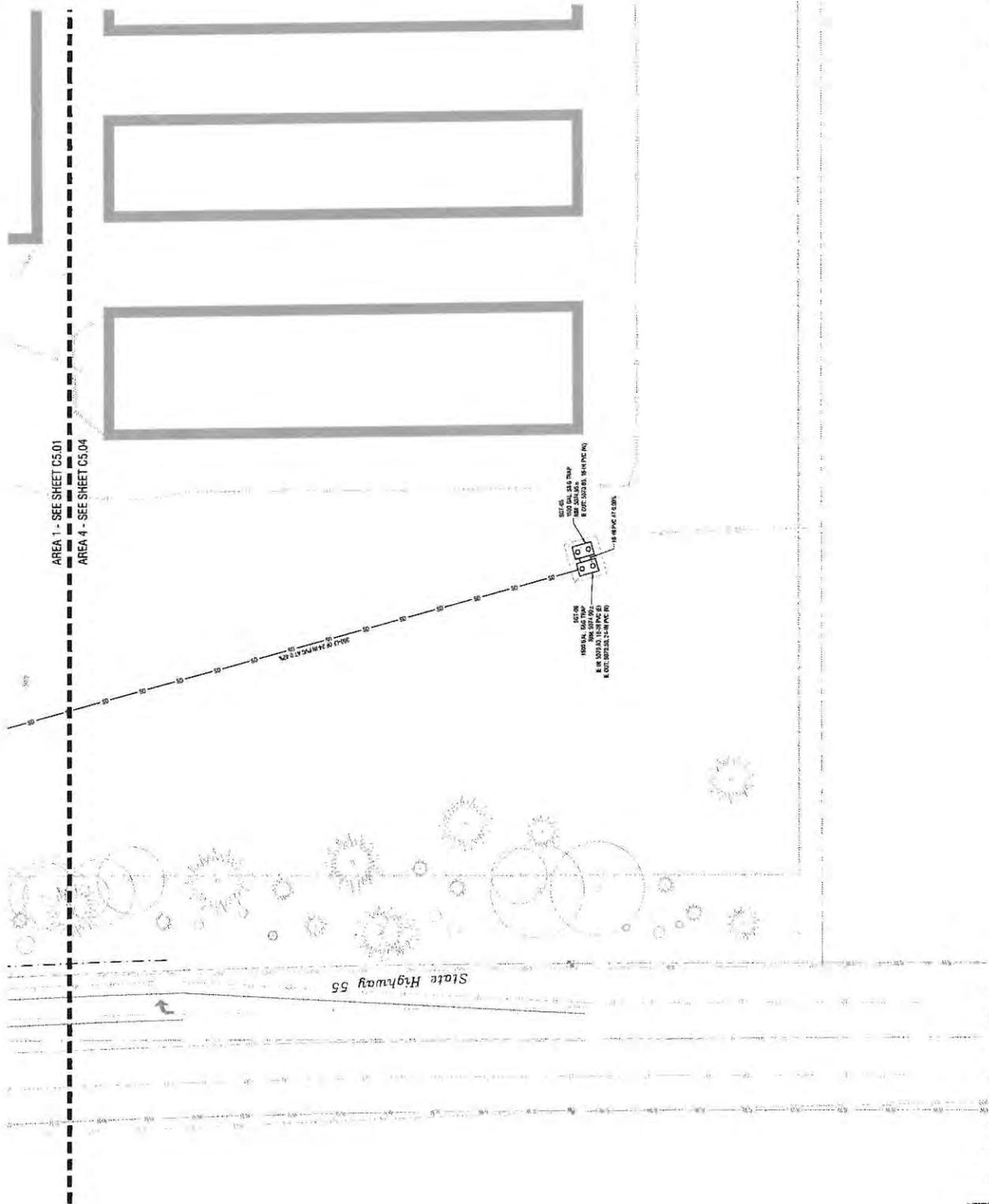
**STOR-IT SELF STORAGE EXPANSION**  
**PUD APPLICATION**  
**AVEST LP**  
 379 9th Road  
 Mt. Carmel, MO 64838



CONTRACTOR  
 BITUM  
 1000 N. 10th St.  
 St. Louis, MO 63103  
 (314) 433-1111

Drainage Plan - Area 4

**C5.04**



**Drainage Plan - Area 4**

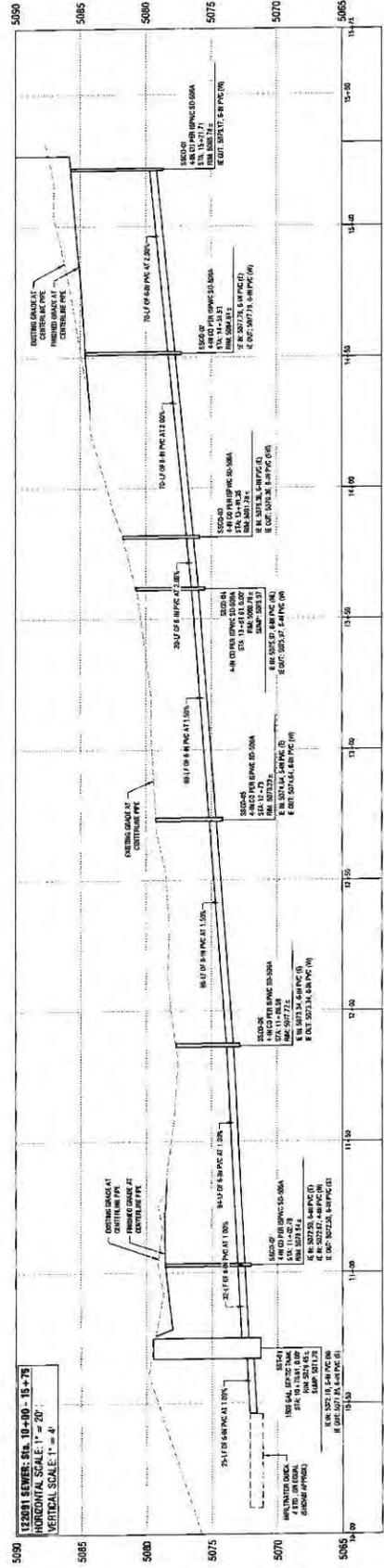
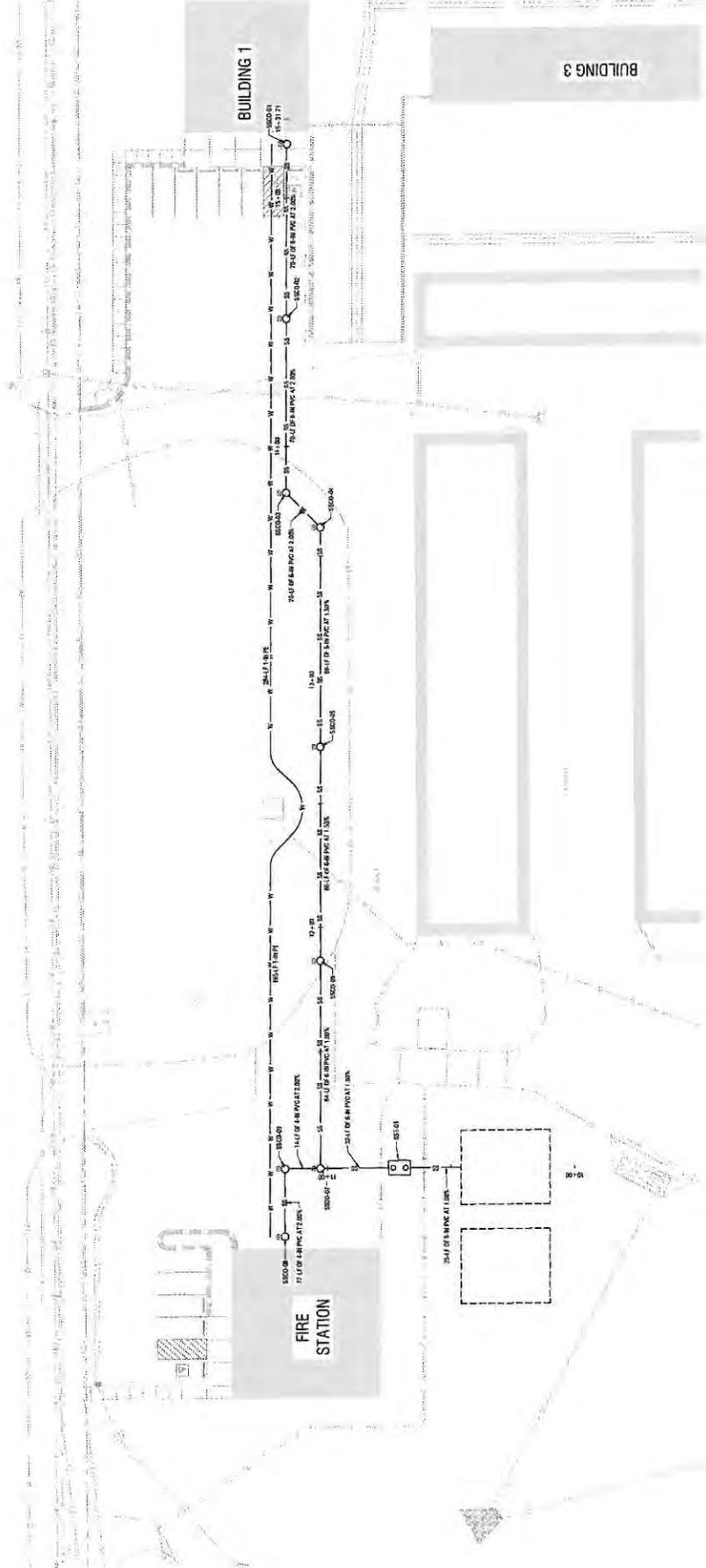
Horizontal Scale 1" = 20'



DATE: 11/15/17  
 DRAWN BY: J. W. HARRIS  
 CHECKED BY: J. W. HARRIS  
 PROJECT NO.: 17-000000-0000

Utility Plan - Area 7

**C5.07**



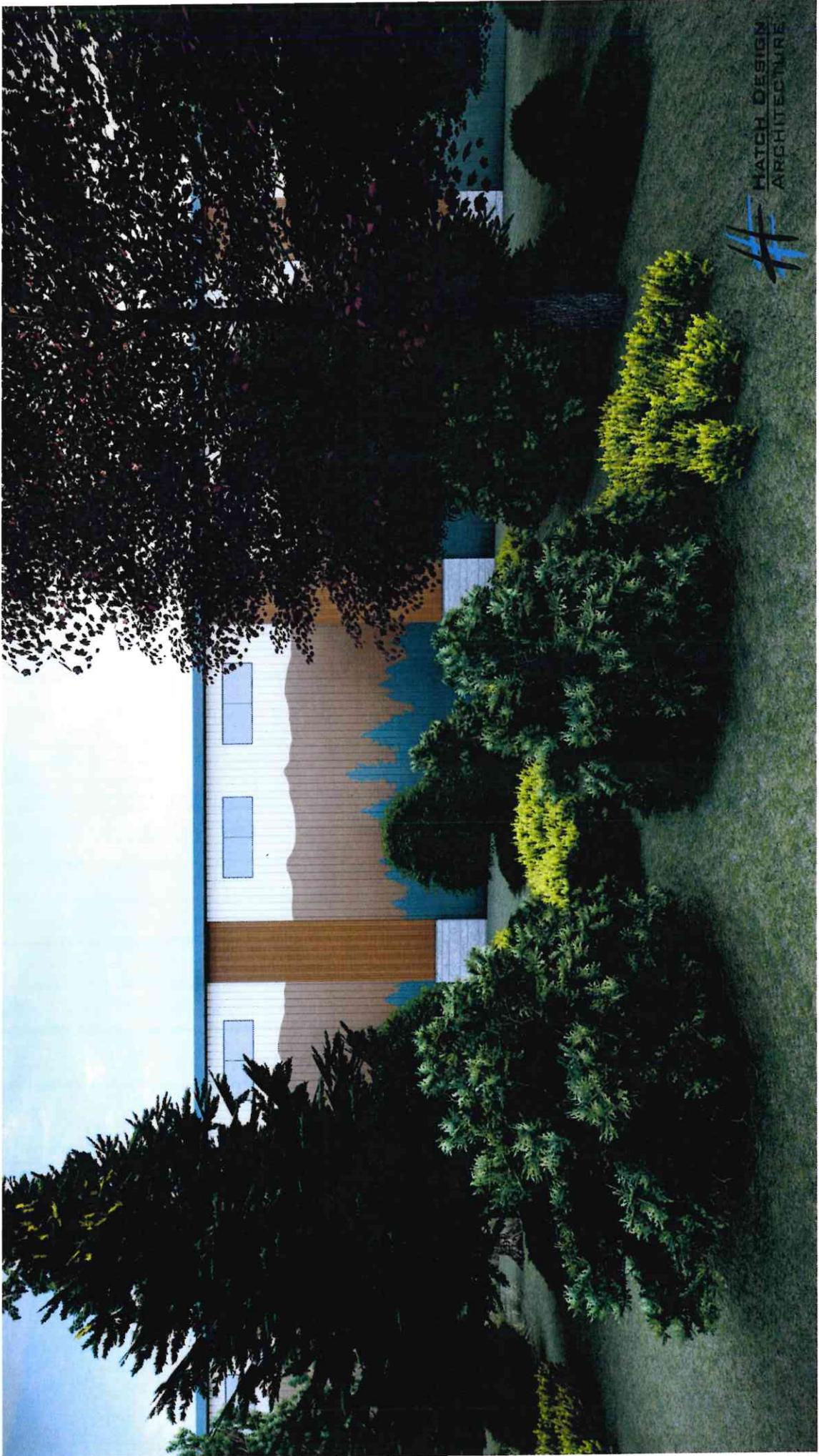
**Utility Plan - Area 7**  
 1" = 20'





HATCH DESIGN  
ARCHITECTURE





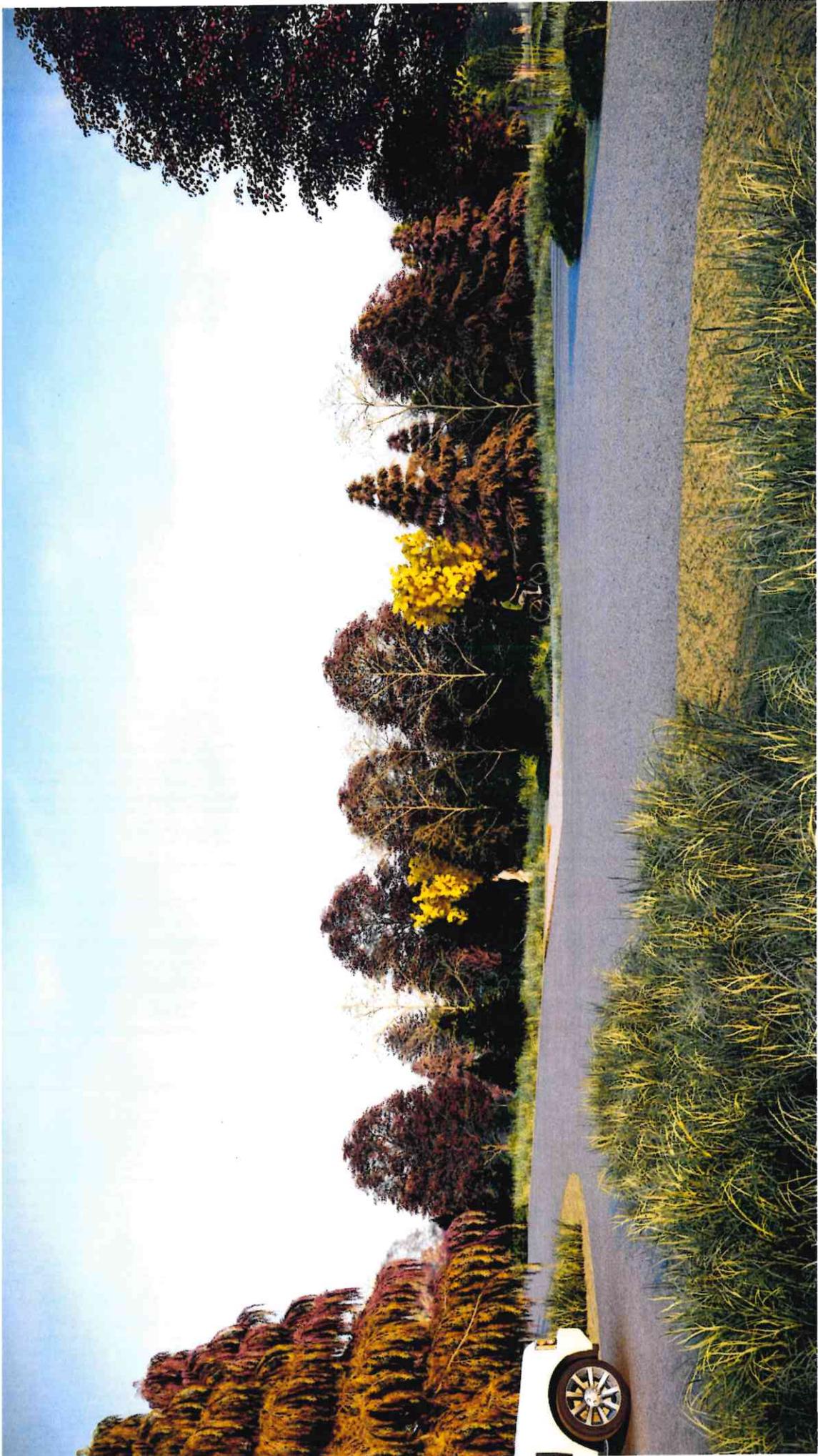
MATCH DESIGN  
ARCHITECTURE











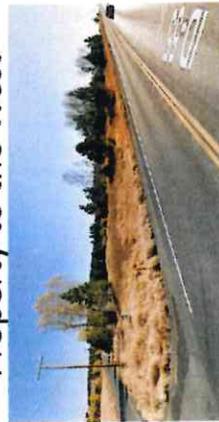
# S i t e P h o t o s



Southeast View



Property to the West



South View



Northeast View



Existing Storage



Property to the North



Elo Rd. East



Elo Rd. West



Southwest View



Hwy 55 Buffer



Property to the South



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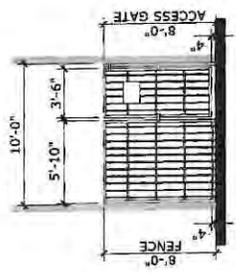
DATE:	7/1/2020	BY:	MM
DATE:	6/1/2020	BY:	MM
DATE:	5/1/2020	BY:	MM

PROJECT NUMBER: 19-001  
 SHEET NUMBER: 19-001

SITE  
 FENCING  
 DETAILS

A-1.4

- KEYNOTES**
- 1 2" WROUGHT IRON POST, PER WROUGHT IRON MANUFACTURER SPECS.
  - 2 1" WROUGHT IRON RAIL, PER WROUGHT IRON MANUFACTURER SPECS.
  - 3 WROUGHT IRON FENCE, PER WROUGHT IRON MANUFACTURER SPECS.
  - 4 10' WROUGHT IRON FENCE
  - 5 3"x6" PEDESTAL ACCESS GATE, MAINTAIN ADA COMPLIANT AND ACCESSIBLE PATH.
  - 6 8" WROUGHT IRON FENCE
  - 7 3"x5" & 7"-8" WROUGHT IRON SWINGING GATE, PER WROUGHT IRON MANUFACTURER SPECS. CONTRACTOR INSTALLED.
  - 8 (3) GATE HINGES AT ACCESS GATE, HATCH WROUGHT IRON FENCE.
  - 9 GATE LATCH w/ FIRE DEPARTMENT APPROVED WROUGHT IRON FENCE.
  - 10 2" WROUGHT IRON TOP RAIL, PER WROUGHT IRON MANUFACTURER SPECS.
  - 11 FIRE DEPARTMENT APPROVED EMERGENCY ACCESS SIGN ON BOTH SIDES OF GATE.
  - 12 EXTERIOR BUILDING WALL, SEE PLANS.

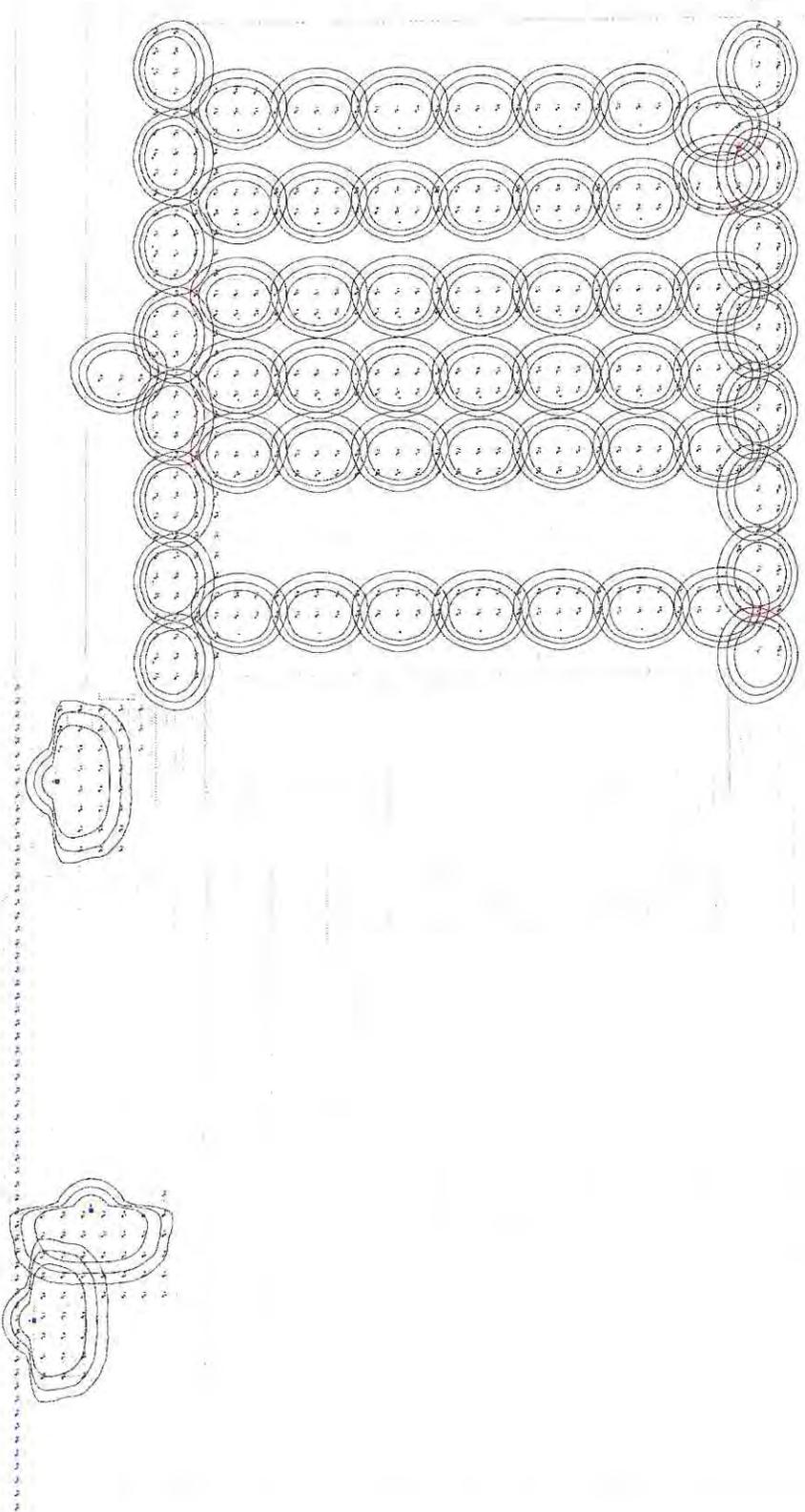


**IRON FENCE GATE DETAIL**  
 SCALE: 1/8" = 1'-0"



Contributor	Area	Rate	Area	Rate	Total Area	Total Rate
PARKING 1	1.0%	4.0%	0.1%	40.0%	10.0%	10.0%
PARKING 2	1.7%	0.2%	0.0%	N/A	N/A	N/A
PROPERTY LINE 1	0.1%	0.7%	0.0%	N/A	N/A	N/A
PROPERTY LINE 2	0.3%	0.0%	0.0%	N/A	N/A	N/A
SITE	7.6%	8.3%	0.2%	41.5%	31.0%	31.0%

Item	Description	Area	Rate	Total Area	Total Rate
1	Site	7.6%	8.3%	41.5%	31.0%
2	Parking 1	1.0%	4.0%	0.1%	4.0%
3	Parking 2	1.7%	0.2%	0.0%	0.0%
4	Property Line 1	0.1%	0.7%	0.0%	0.0%
5	Property Line 2	0.3%	0.0%	0.0%	0.0%



1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100