

Valley County Planning and Zoning

PO Box 1350 • 700 South Main Street
Cascade, ID 83611-1350



Phone: 208-382-7115
Email: cherrick@valleycountyid.gov

STAFF REPORT: C.U.P. 21-07 Jug Mountain Ranch Storage Units – Extension Request
MEETING DATE: April 9, 2026
TO: Planning and Zoning Commission
STAFF: Cynda Herrick, AICP, CFM
Planning and Zoning Director
**APPLICANT /
PROPERTY OWNER:** Jug Mountain Ranch LLC, c/o David John Carey II, Manager,
PO Box 2332, McCall, ID 83638
REPRESENTATIVE: Amy K. Holm, Millemann, Pemberton & Holm LLP
PO Box 1066, McCall, ID 83638
LOCATION: 280 Jug Mountain Ranch Road
Within the Jug Mountain Ranch P.U.D. and located in the SW ¼ Section
1, T.17N, R.3E, Boise Meridian, Valley County, Idaho
SIZE: 22.8 acre parcel
REQUEST: Extension of Approval of Storage Units

Jug Mountain Ranch LLC is requesting a two-year extension of a conditional use permit for four new buildings for recreational vehicle storage. Construction was to be completed by April 20, 2026.

The proposed buildings range in size from 5,616-sqft to 6,240-sqft. The first building has been constructed. The remaining buildings will only be constructed if demand for the units exist. The storage units would be primarily rented to the Jug Mountain Ranch property owners but also used by Jug Mountain Ranch and the golf course. There will be no rental of units to owners outside of Jug Mountain Ranch.

The 22.8-acre site is addressed as 280 Jug Mountain Ranch Road.

FINDINGS:

1. Approval of C.U.P. 21-07 was effective April 20, 2021. Recorded conditional use permit is attached.
2. An extension request was submitted on February 23, 2026.
3. Legal notice was posted in the *Star News* on March 19, 2026, and March 26, 2026. Potentially affected agencies were notified on March 10, 2026. Neighbors within 300 feet of the property line were notified by fact sheet sent March 10, 2026. The site was posted on March 19, 2026. The notice and application were posted online at www.co.valley.id.us on March 10, 2026.

4. Agency comment received regarding extension:

Idaho Department of Environmental Quality (DEQ) provided general comments on air quality, wastewater, drinking water, surface water, solid waste, hazardous waste, water quality, ground water contamination, and best management practices. (March 16, 2026)

Parametrix commented that the original CUP conditions and review apply. (March 31, 2026)

Brent Copes, Central District Health, has no objection to the extension. (March 27, 2026)

5. Public comment received: *none*

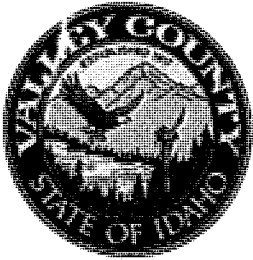
STAFF COMMENTS / QUESTIONS:

1. Has the landscape plan been completed? If not, what is the proposed timeline to do so? Pictures from the applicant would be useful.
2. Condition of Approval #5 requires a letter from the McCall Fire District. The applicant should submit this as a letter is not in the file.
3. If this is in the Riparian Area Overlay, they must comply with new standards.

ATTACHMENTS:

- Conditional Use Permit 21-07, Instrument #439479
- Location Map
- Aerial Map
- Google Maps - Aerial View
- Google Maps -Street Views
- Photos taken March 19, 2026
- Assessor Plat – T.17N R.3E Section 1
- Recorded Plat – Jug Mountain Ranch PUD Phase 1, Stage 2 – Sheets 1 and 6
- Approved Site Plan with Landscaping Plan
- Relevant PZ Commission Meeting Minutes – April 8, 2021
- Responses
- Extension Request

END OF STAFF REPORT



Planning and Zoning Commission
VALLEY COUNTY
IDAHO

P.O. Box 1350/219 North Main Street/Cascade, Idaho 83611-1350

Phone: 208.382.7115

FAX: 208.382.7119

Instrument# 439479

VALLEY COUNTY, CASCADE, IDAHO

4-21-2021 10:18:54 AM No. of Pages: 3

Recorded for : PLANNING AND ZONING

DOUGLAS A. MILLER Fee: 0.00

Ex-Officio Recorder Deputy

Index to: COUNTY MISC

A handwritten signature in black ink, appearing to be "DM", written over a horizontal line.

CONDITIONAL USE PERMIT

NO. 21-07

Jug Mountain Ranch Storage Units

Issued to: Jug Mountain Ranch LLC
PO Box 2332
McCall, ID 83638

Property Location: The site is 22.8 acres, addressed at 280 Jug Mountain Ranch RD in Jug Mountain Ranch Phase 1, Stage 2, Block 4, Lot 55, in the SW ¼ Section 1, T.17N, R.3E, Boise Meridian, Valley County, Idaho.

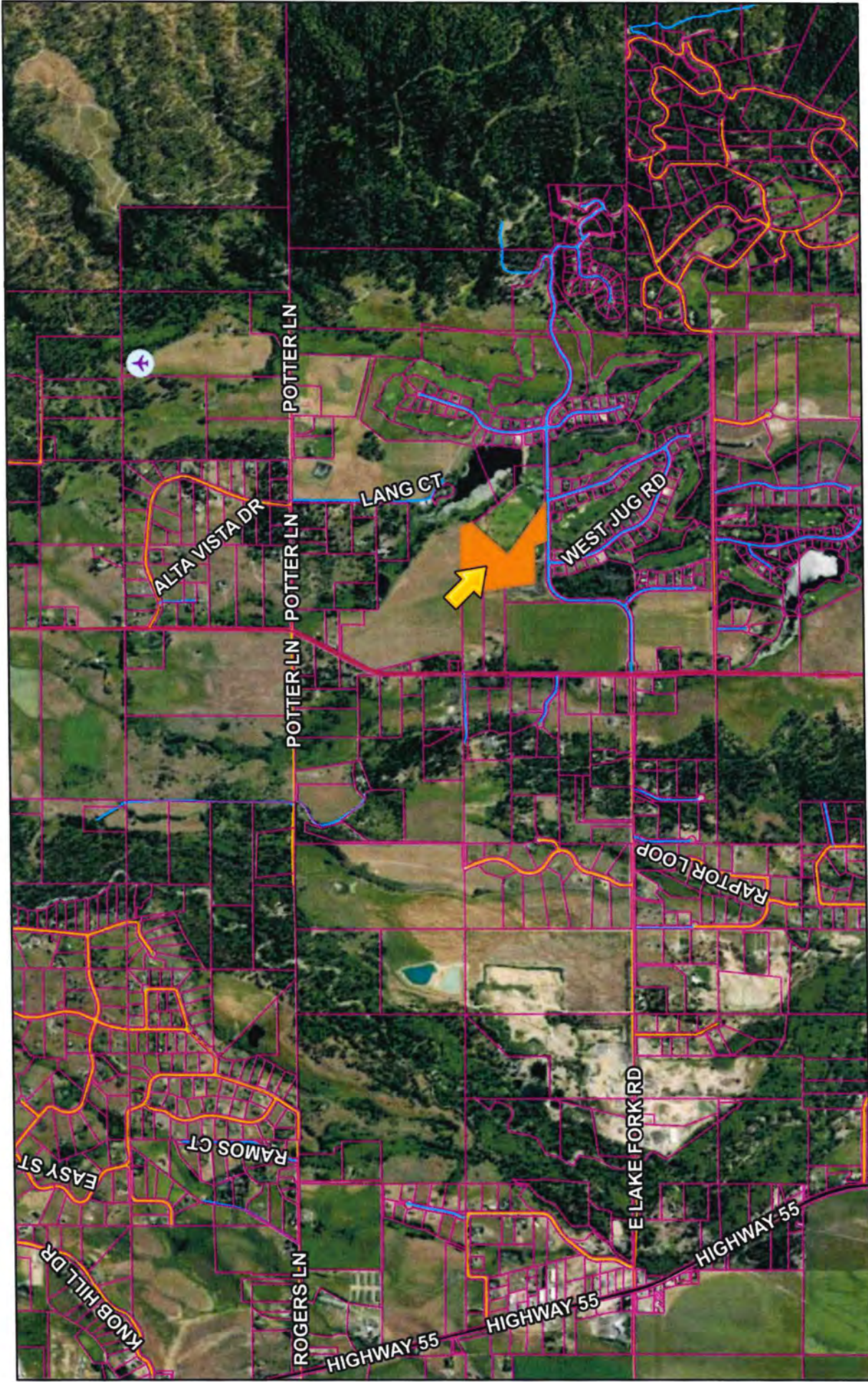
There have been no appeals of the Valley County Planning and Zoning Commission's decision of April 8, 2021. The Commission's decision stands, and you are hereby issued Conditional Use Permit No. 21-07 with Conditions for establishing storage units as described in the application, staff report, and minutes.

The effective date of this permit is April 20, 2021.

Conditions of Approval:

1. The application, the staff report, and the provisions of the Land Use and Development Ordinance are all made a part of this permit as if written in full herein.
2. Any change in the nature or scope of land use activities shall require an additional Conditional Use Permit.
3. The use shall be established within five years of the date of approval or this permit shall be null and void. The date of approval shall be the current date.

C.U.P. 21-07 Location Map



2/26/2026, 2:14:04 PM

1:36,361

0 0.2 0.4 0.7 1.4 km

0 0.35 0.8 mi

Earthstar Geographics

Created by Valley County

Airstrips **Private**

Municipal Boundaries **Collector** **Urban/Rural** **Other**

Parcel Boundaries **Major** **Minor Collector** **USFS** **Other**

C.U.P. 21-07 Aerial Map



13893 LANG CT

280 JUG MOUNTAIN RANCH RD

360 JUG MOUNTAIN RANCH RD

JUG MOUNTAIN RANCH RD

JUG MOUNTAIN RANCH RD

201 WEST JUG RD

202 WEST JUG RD

205 WEST JUG RD

206 WEST JUG RD

209 WEST JUG RD

201 COLD CREEK CT

202 COLD CREEK CT












206 COLD CREEK CT

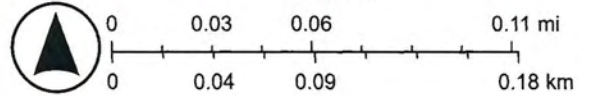
205 COLD CREEK CT

210 COLD CREEK CT

2/26/2026, 1:58:57 PM

1:4,704

-  Airstrips
-  Address Points
-  Parcel Boundaries
- Roads**
-  MAJOR
-  MINOR COLLECTOR
-  COLLECTOR
-  URBAN/RURAL
-  USFS
-  PRIVATE
-  OTHER
-  Other



Vantor

Google Maps – Aerial View



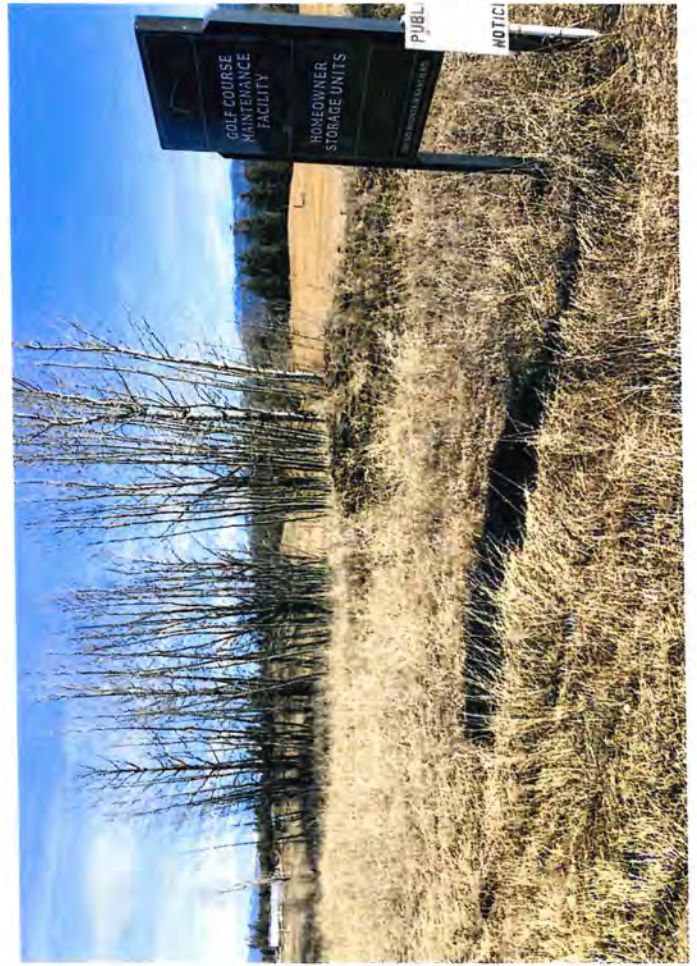
Looking Northerly from Jug Mountain Road
(Source Google Maps – Street View, August 2024)



Looking Northerly from Jug Mountain Road
(Source Google Maps – Street View, August 2024)

Storage Building





JUG MOUNTAIN RANCH PLANNED UNIT DEVELOPMENT PHASE 1 STAGE 2

Located in the S 1/2 of Section 1 and the N 1/2 of the N 1/2 of Section 12, T.17N., R.3E., B.M. Valley County, Idaho

Instrument # 283337
 COUNTY: VALLEY
 RECORDED BY: STEVE M.
 EXEMPT FROM RECORDATION

NOTES:

- All made and road rights of way depicted on this Final Plat are private, except Ashton Road which is a public road owned and maintained by the Jug Mountain Ranch Association, as is further provided in the Private Road Declaration, which is being recorded concurrently with this Final Plat with the Office of Recorder of Valley County, Idaho, as Instrument Number **283334**.
- All properties shown on this Final Plat are subject to and governed by the provisions of the General Declaration for Jug Mountain Ranch, the Supplemental Declaration for Jug Mountain Ranch, the Declaration for Open Space Lots, the Declaration for Open Space Lots with the Office of Supplemental, and which are being recorded concurrently with this Final Plat with the Office of Supplemental, Valley County, Idaho, as Instrument Number **283334**, together with any additional Declarations and/or Sub-association Articles of Incorporation and Bylaws which may be recorded by the Declarant pursuant to the General Declaration for Jug Mountain Ranch and/or the Bylaws for Jug Mountain Ranch Association, Inc.
- All properties shown on this Final Plat are subject to and governed by the Jug Mountain Ranch Design and Development Guidelines and the Jug Mountain Ranch Rules and Regulations as may be amended or supplemented.
- All properties shown on this Final Plat are subject to and governed by the provisions of the Declaration for Open Space Lots, the Supplemental Declaration for Open Space Lots, the Declaration for Open Space Lots with the Office of Supplemental, Valley County, Idaho, as Instrument Number **283334**, together with any additional Declarations and/or Sub-association Articles of Incorporation and Bylaws which may be recorded by the Declarant pursuant to the General Declaration for Jug Mountain Ranch and/or the Bylaws for Jug Mountain Ranch Association, Inc.
- The Declarant reserves the right, without limitation, to assign the rights to any one or more easements which are depicted on this Final Plat, in whole or in part.
- All roads and road rights of way except Ashton Lane, which is public and all Utility Easements, the Access Easement to lot 47 for the well, and all Open Space Lots which are depicted on this Final Plat, are dedicated for the use and enjoyment of the members of the Jug Mountain Ranch Association, together with their guests, visitors, and invitees, and are subject to the Declaration for Open Space Lots, the Supplemental Declaration for Open Space Lots with the Office of Supplemental, Valley County, Idaho, as Instrument Number **283334**.
- The Final Easements depicted on this Final Plat shall be reserved for such recreational uses as the Declarant shall designate, including but not limited to the following uses: walking, bicycling, and horseback riding, and the use and control of the Final Plat for the Mountain Ranch Phase 1, Stage 2. In the case of any conflict between the location of the Final Easements as depicted on this Final Plat, and as actually located on the ground, the on-ground location shall control.
- Open Space Lots which are depicted on this Final Plat shall be used, managed and maintained in accordance with the General Declaration for Open Space Lots, the Supplemental Declaration for Open Space Lots with the Office of Supplemental, Valley County, Idaho, as Instrument Number **283334**, together with any additional Declarations and/or Sub-association Articles of Incorporation and Bylaws which may be recorded by the Declarant pursuant to the General Declaration for Open Space Lots and/or the Bylaws for Open Space Lots with the Office of Supplemental, Valley County, Idaho, as Instrument Number **283334**.
- There shall be no further division of any Lot depicted on this Final Plat, with the exception of Lot 47, as provided in the Supplemental Declaration for Jug Mountain Ranch Phase 1 Stage 2.
- The Ditch Easement depicted on this Final Plat is reserved for the downstream water course.
- This Plat is subject to compliance with Idaho Code Section 31-3605. No irrigation is provided.
- Bearings based on State Plane Grid 51.
- Utilities will be completed as provided in the Declaration of Installation of Utilities, which is being recorded concurrently with this Final Plat with the Office of Recorder of Valley County, Idaho, as Instrument Number **N.A.**
- The Golf Safety Zones depicted in the Open Space Lots on this Final Plat are subject to additional restrictions as provided in the Supplemental Declaration for Jug Mountain Ranch Phase 1 Stage 2.
- The mitigated wetlands areas as identified on this Final Plat are subject to regulation by the Corps of Engineers (COE). Any proposed change must be submitted and reviewed and approved by the COE prior to any wetland change.
- The drainage easement in lots 26, 27, 28, 29 and 30 may be modified pursuant to the provisions provided in the Supplemental Declaration for Jug Mountain Ranch Phase 1 Stage 2.

LINE TABLE

LINE	LENGTH	BEARING
L1	75.00	N002°23'01"E
L2	95.58	S45°30'00"E
L3	70.00	N003°00'00"E
L4	91.86	S47°22'51"E
L5	70.02	S45°33'08"W
L6	95.56	N45°00'00"E
L7	75.04	N01°52'02"W
L8		

CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	BEARING	CHORD
C1	50.00	34.38	120.00	N45°00'00"E	50.00
C2	50.00	34.38	120.00	S45°00'00"E	50.00
C3	350.00	141.43	243.37	S72°23'13"E	140.30
C4	570.00	171.48	173.53	N42°23'26"W	170.63
C5	485.00	26.43	328.51	S26°25'25"E	26.62
C6	500.00	131.54	153.02	N33°30'34"W	131.16
C7	370.00	227.80	351.78	N72°24'40"E	223.70

1/4 CORNER SEC. 12
 FOUND 5/8" REBAR
 CHOP POST #283334

1/4 CORNER SEC. 12
 FOUND 5/8" REBAR
 CHOP POST #283335

1/4 CORNER SEC. 12
 FOUND 5/8" REBAR
 CHOP POST #283336

1/4 CORNER SEC. 12
 FOUND 5/8" REBAR
 CHOP POST #283337

1/4 CORNER SEC. 12
 FOUND 5/8" REBAR
 CHOP POST #283338

1/4 CORNER SEC. 12
 FOUND 5/8" REBAR
 CHOP POST #283339

1/4 CORNER SEC. 12
 FOUND 5/8" REBAR
 CHOP POST #283340

1/4 CORNER SEC. 12
 FOUND 5/8" REBAR
 CHOP POST #283341

1/4 CORNER SEC. 12
 FOUND 5/8" REBAR
 CHOP POST #283342

1/4 CORNER SEC. 12
 FOUND 5/8" REBAR
 CHOP POST #283343

1/4 CORNER SEC. 12
 FOUND 5/8" REBAR
 CHOP POST #283344

1/4 CORNER SEC. 12
 FOUND 5/8" REBAR
 CHOP POST #283345

1/4 CORNER SEC. 12
 FOUND 5/8" REBAR
 CHOP POST #283346

1/4 CORNER SEC. 12
 FOUND 5/8" REBAR
 CHOP POST #283347

1/4 CORNER SEC. 12
 FOUND 5/8" REBAR
 CHOP POST #283348

1/4 CORNER SEC. 12
 FOUND 5/8" REBAR
 CHOP POST #283349

1/4 CORNER SEC. 12
 FOUND 5/8" REBAR
 CHOP POST #283350

1/4 CORNER SEC. 12
 FOUND 5/8" REBAR
 CHOP POST #283351

1/4 CORNER SEC. 12
 FOUND 5/8" REBAR
 CHOP POST #283352

1/4 CORNER SEC. 12
 FOUND 5/8" REBAR
 CHOP POST #283353

1/4 CORNER SEC. 12
 FOUND 5/8" REBAR
 CHOP POST #283354

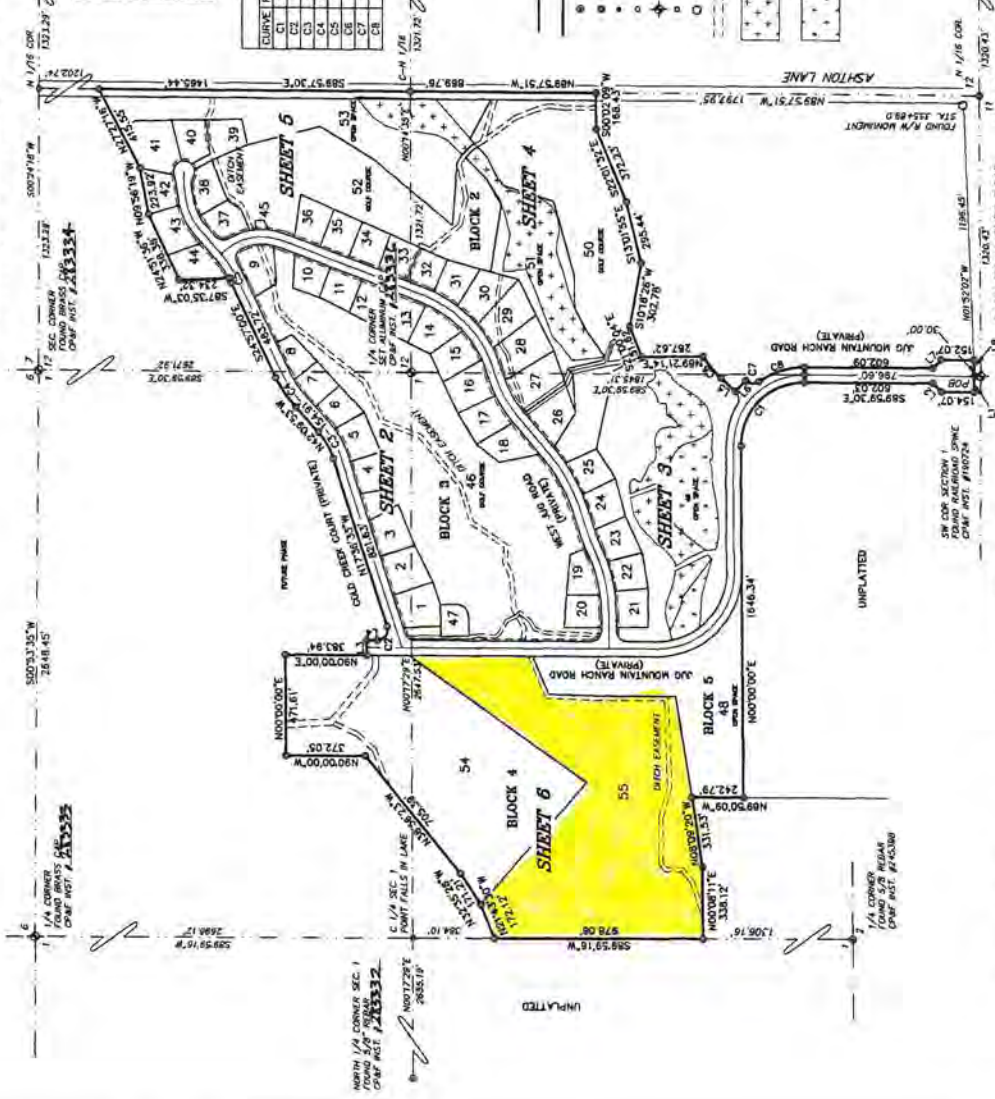
1/4 CORNER SEC. 12
 FOUND 5/8" REBAR
 CHOP POST #283355

1/4 CORNER SEC. 12
 FOUND 5/8" REBAR
 CHOP POST #283356

1/4 CORNER SEC. 12
 FOUND 5/8" REBAR
 CHOP POST #283357

1/4 CORNER SEC. 12
 FOUND 5/8" REBAR
 CHOP POST #283358

1/4 CORNER SEC. 12
 FOUND 5/8" REBAR
 CHOP POST #283359



LEGEND

- SUBDIVISION BOUNDARY
- FOUND 5/8" IRON PIN
- SET 5/8" X 90" REBAR W/ 1/2" 8577
- FOUND 1/2" IRON PIN
- SET 1/2" X 24" REBAR W/ 1/2" 8577
- FOUND BRASS CAP MONUMENT
- ANGLE POINT - NOTHING SET
- P/W MONUMENT FOR FARM TO MARKET ROAD
- EASEMENT LINE
- WETLANDS
- WETLAND MITIGATION AREA



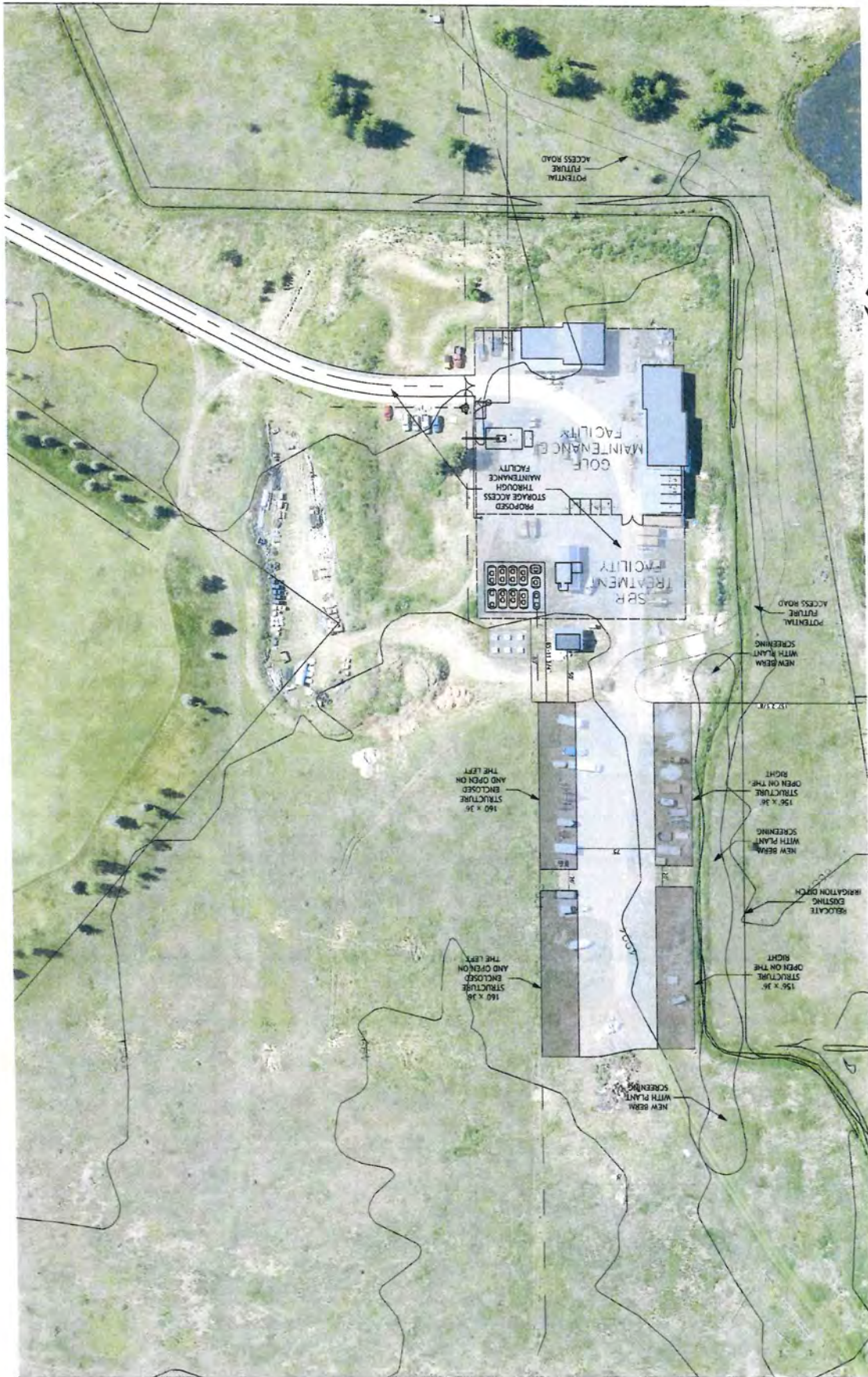
MONUMENT CERTIFICATE

IT IS TO CERTIFY THAT THIS PLAT IS BEING RECORDED UNDER THE PROVISIONS OF IDAHO CODES 50-1311, 50-1312 AND 50-1313 AND THAT ALL INTERIOR MONUMENTS WILL BE SET WITHIN ONE YEAR FROM THE RECORDING DATE OF THIS PLAT.


SECESSH ENGINEERING, INC.
 McColl, Idaho
 PLSN S1812004

SCALE: 1" = 400'

 <p>EPKOS LAND PLANNING ARCHITECTURE</p>	<p>MECALL OFFICE 1114 W. 34th Street P.O. Box 896 MCCALL, IDAHO 83638 www.jmrlandepk.com</p>	<p>JMR SOUTH VILLAGE MCCALL, IDAHO 83638</p>		<p>DESIGN DEVELOPMENT SET</p>	<p>DATE: 11/11/2011 PROJECT NO: 11011 DRAWN BY: JMR CHECKED BY: JMR SCALE: A2-7 2011.07.05</p>
	<p>DESIGN DEVELOPMENT SET</p>			<p>DATE: 11/11/2011 PROJECT NO: 11011 DRAWN BY: JMR CHECKED BY: JMR SCALE: A2-7 2011.07.05</p>	



1 JMR STORES
SCALE: 1" = 40'



Valley County Planning & Zoning Commission

PO Box 1350
219 North Main Street
Cascade, ID 83611-1350



Phone: 208-382-7115
Fax: 208-382-7119
Email: cherrick@co.valley.id.us
Website: www.co.valley.id.us

Johanna Defoort, Chairman
Scott Freeman, Vice-Chair

Brian Benton, Commissioner
Ray Cooper, Commissioner
Neal Thompson, Commissioner

MINUTES

Valley County Planning and Zoning Commission

April 8, 2021

Valley County Court House - Cascade, Idaho

PUBLIC HEARING - 6:00 p.m.

Chairman Defoort explained tonight's public hearing procedures which are based on the Governor's current requirements for Covid-19. The public can livestream the meeting and may testify either in person or telephonically.

A. OPEN: Meeting called to order at 6:00 p.m. Quorum exists.

P&Z Administrator – Cynda Herrick:	Present
P&Z Commissioner – Brian Benton:	Present
P&Z Commissioner – Ray Cooper:	Present
P&Z Commissioner – Johanna Defoort:	Present
P&Z Commissioner – Scott Freeman:	Present
P&Z Commissioner – Neal Thompson:	Present
P&Z Technician – Lori Hunter:	Present

B. MINUTES: Commissioner Cooper moved to approve the minutes of March 11, 2021. Commissioner Benton seconded the motion. Motion carried unanimously.

- 1. VAC 21-01 Vacation of Utility and Drainage Easements:** Steve and Merrie Chapman are requesting a vacation of 10-foot-wide utility and drainage easements that are centered on the lot lines between Lot 244 and 245 of Gold Dust Ranch No. 2. The site is addressed at 57 and 59 E Prospector Drive and is in the SW ¼ Section 10, T.13N, R.4E, Boise Meridian, Valley County, Idaho. Action Item

Chairman Defoort introduced the item and opened the public hearing. Chairman Defoort asked if there was any *ex parte* contact or conflict of interest. There was none.

Chairman Defoort asked for the Staff Report. Staff presented the staff report.

8:05 p.m. – short recess

5. **C.U.P. 21-07 Jug Mountain Ranch Storage Units:** Jug Mountain Ranch LLC is requesting a conditional use permit for four new buildings for recreational vehicle storage. Building size would be 5,616 to 6,240 sqft each. The site is Jug Mountain Ranch Phase 1, Stage 2, Lot 55, Block 4. The parcel is addressed as 280 Jug Mountain Ranch RD in the SW ¼ Section 1, T.17N, R.3E, Boise Meridian, Valley County, Idaho. Action Item.

Chairman Defoort introduced the item and opened the public hearing. Chairman Defoort asked if there was any *ex parte* contact or conflict of interest. There was none.

Chairman Defoort asked for the Staff Report. Staff presented the staff report.

Chairman Defoort asked for the applicant's presentation.

David Carey, 13895 Lang Court, McCall, said the goal of this proposal is to make things look nice and tidy. A map and site plan were projected on the large screen (**Exhibit 1**). The site will be used for long-term storage to keep individual homesites tidy. Seasonal items are currently stored there by homeowners; this will allow covered storage. Additional buildings will be added as needed by property owners. The first building will have 12 bays, a gravel floor, and be tan-and-gray-colored to coordinate with existing structures on lot. Lighting will be inside the buildings and be compliant. No fence or gates. A new berm with plant screening along west side will improve view from neighbors on the west side. There are already berms in the area; they will add additional berms and more trees. Dry storage buildings. No septic system or well needed as Jug Mountain Ranch has their own sewer and water system. The buildings will be owned by Jug Mountain Ranch, not individuals. Jug Mountain Ranch will be charging for the use.

This site is within the McCall Fire District. A portion of Jug Mountain Ranch is within the Donnelly Fire District.

Chairman Defoort asked for proponents. There were none.

Chairman Defoort asked for undecided. There were none.

Chairman Defoort asked for opponents. There were none.

Chairman Defoort closed the public hearing.

The Commission deliberated. They had no issues. The application was thorough.

Commissioner Cooper moved to approve C.U.P. 21-07 Jug Mountain Ranch Storage Units with the stated conditions. Commissioner Benton seconded the motion. Motion carried unanimously.

Chairman Defoort explained the ten-day appeal period to the Valley County Board of Commissioners.

8:28 p.m.



March 16, 2026

Cynda Herrick, Planning & Zoning Director
Valley County Planning & Zoning
700 S. Main Street, Cascade, ID 83611
cherrick@valleycountyid.gov

Subject: VC PZ Commission - April 9, 2026

Dear Cynda Herrick:

Thank you for the opportunity to respond to your request for comment. While DEQ does not review every project on a project-specific basis, we attempt to provide the best review of the information provided. DEQ encourages agencies to review and utilize the Idaho Environmental Guide to assist in addressing project-specific conditions that may apply. This guide can be found at:

<https://www2.deq.idaho.gov/admin/LEIA/api/document/download/15083>.

The following information does not cover every aspect of this project; however, we have the following general comments to use as appropriate:

1. AIR QUALITY

- Please review IDAPA 58.01.01 for all rules on Air Quality, especially those regarding fugitive dust (58.01.01.651), trade waste burning (58.01.01.600-617), and odor control plans (58.01.01.776).
For questions, contact David Luft, Air Quality Manager, at (208) 373-0201.
- IDAPA 58.01.01.201 requires an owner or operator of a facility to obtain an air quality permit to construct prior to the commencement of construction or modification of any facility that will be a source of air pollution in quantities above established levels. DEQ asks that cities and counties require a proposed facility to contact DEQ for an applicability determination on their proposal to ensure they remain in compliance with the rules.
- For questions, contact the DEQ Air Quality Permitting Hotline at 1-877-573-7648.

2. WASTEWATER AND RECYLED WATER

- DEQ recommends verifying that there is adequate sewer to serve this project prior to approval. Please contact the sewer provider for a capacity statement, declining balance report, and willingness to serve this project.
- IDAPA 58.01.16 and IDAPA 58.01.17 are the sections of Idaho rules regarding wastewater and recycled water. Please review these rules to determine whether this or future projects will require DEQ approval. IDAPA 58.01.03 is the section of Idaho rules regarding subsurface disposal of wastewater. Please review this rule to determine whether this or future projects will require permitting by the local public health district.

- All projects for construction or modification of wastewater systems require preconstruction approval. Recycled water projects and subsurface disposal projects require separate permits as well.
- DEQ recommends that projects be served by existing approved wastewater collection systems or a centralized community wastewater system whenever possible. Please contact DEQ to discuss potential for development of a community treatment system along with best management practices for communities to protect groundwater.
- DEQ recommends that cities and counties develop and use a comprehensive land use management plan, which includes the impacts of present and future wastewater management in this area. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.
- For questions, contact Valerie Greear, Water Quality Engineering Manager at (208) 373-0459.

3. DRINKING WATER

- DEQ recommends verifying that there is adequate water to serve this project prior to approval. Please contact the water provider for a capacity statement, declining balance report, and willingness to serve this project.
- DEQ recommends verifying if the current and/or proposed drinking water system is a regulated public drinking water system. A drinking water system is a Public Water System (PWS) if it has at least 15 service connections or regularly serves an average of 25 or more people per day for at least 60 days per year (refer to the DEQ website at: <https://www.deq.idaho.gov/water-quality/drinking-water/>). For non-regulated systems, DEQ recommends annual testing for total coliform bacteria, nitrate, and nitrite.
- IDAPA 58.01.08 is the section of Idaho rules regarding public drinking water systems. Please review these rules to determine whether this or future projects will require DEQ approval.
- All projects for construction or modification of public drinking water systems require preconstruction approval.
- If any private wells will be included in this project, we recommend that they be tested for total coliform bacteria, nitrate, and nitrite prior to use and retested annually thereafter.
- DEQ recommends using an existing drinking water system whenever possible or construction of a new community drinking water system. Please contact DEQ to discuss this project and to explore options to both best serve the future residents of this development and provide for protection of groundwater resources.
- DEQ recommends cities and counties develop and use a comprehensive land use management plan which addresses the present and future needs of this area for adequate, safe, and sustainable drinking water. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.
- For questions, contact Valerie Greear, Water Quality Engineering Manager at (208) 373-0459.

4. SURFACE WATER

- A Construction General Permit from DEQ may be required for projects that meet the eligibility criteria and have an allowable discharge of storm water or authorized non-storm water associated with construction activities. For questions, contact Emily Montague, IPDES Compliance Supervisor, at (208) 813-0872.
- Please contact DEQ to determine whether this project will require an Idaho Pollutant Discharge Elimination System (IPDES) Permit. A Multi-Sector General Permit from DEQ may be required for facilities that have an allowable discharge of storm water or authorized non-storm water associated with the primary industrial activity and co-located industrial activity.
- For questions, contact Emily Montague, IPDES Compliance Supervisor, at (208) 373-0433.

- If this project is near a source of surface water, DEQ requests that projects incorporate construction best management practices (BMPs) to assist in the protection of Idaho's water resources. Additionally, please contact DEQ to identify BMP alternatives and to determine whether this project is in an area with Total Maximum Daily Load stormwater permit conditions.
- The Idaho Stream Channel Protection Act requires a permit for most stream channel alterations. Please contact the Idaho Department of Water Resources (IDWR), Western Regional Office, at 2735 Airport Way, Boise, or call (208) 334-2190 for more information. Information is also available on the IDWR website at: <https://idwr.idaho.gov/streams/stream-channel-alteration-permits.html>
- The Federal Clean Water Act requires a permit for filling or dredging in waters of the United States. Please contact the US Army Corps of Engineers, Boise Field Office, at 10095 Emerald Street, Boise, or call 208-345-2155 for more information regarding permits.
- For questions, contact Lance Holloway, Surface Water Manager, at (208) 373-0564.

5. **SOLID WASTE, HAZARDOUS WASTE AND GROUNDWATER CONTAMINATION**

- **Solid Waste.** No trash or other solid waste shall be buried, burned, or otherwise disposed of at the project site. These disposal methods are regulated by various state regulations including Idaho's Solid Waste Management Regulations and Standards (IDAPA 58.01.06), Rules and Regulations for Hazardous Waste (IDAPA 58.01.05), and Rules and Regulations for the Prevention of Air Pollution (IDAPA 58.01.01). Inert and other approved materials are also defined in the Solid Waste Management Regulations and Standards.
- **Hazardous Waste.** The types and number of requirements that must be complied with under the federal Resource Conservations and Recovery Act (RCRA) and the Idaho Rules and Standards for Hazardous Waste (IDAPA 58.01.05) are based on the quantity and type of waste generated. Every business in Idaho is required to track the volume of waste generated, determine whether each type of waste is hazardous, and ensure that all wastes are properly disposed of according to federal, state, and local requirements.
- **Water Quality Standards.** Site activities must comply with the Idaho Water Quality Standards (IDAPA 58.01.02) regarding hazardous and deleterious-materials storage, disposal, or accumulation adjacent to or in the immediate vicinity of state waters (IDAPA 58.01.02.800); and the cleanup and reporting of oil-filled electrical equipment (IDAPA 58.01.02.849); hazardous materials (IDAPA 58.01.02.850); and used-oil and petroleum releases (IDAPA 58.01.24.060 and 58.01.24.061). Petroleum releases must be reported to DEQ in accordance with IDAPA 58.01.24.060.01 and 58.01.24.061.04. Hazardous material releases to state waters, or to land such that there is likelihood that it will enter state waters, must be reported to DEQ in accordance with IDAPA 58.01.02.850.
- **Groundwater Contamination.** DEQ requests that this project comply with Idaho's Ground Water Quality Rules (IDAPA 58.01.11), which states that "No person shall cause or allow the release, spilling, leaking, emission, discharge, escape, leaching, or disposal of a contaminant into the environment in a manner that causes a ground water quality standard to be exceeded, injures a beneficial use of ground water, or is not in accordance with a permit, consent order or applicable best management practice, best available method or best practical method."
- For questions, contact Matthew Pabich, Waste & Remediation Manager, at (208) 373-0510.

6. ADDITIONAL NOTES

- If an underground storage tank (UST) or an aboveground storage tank (AST) is identified at the site, additional regulations may apply. If an UST is present, the site should be evaluated to determine whether the UST is regulated by DEQ. If an AST is identified, EPA may have additional requirements. Both UST and AST sites should be assessed to determine whether there is potential soil and ground water contamination. Please call DEQ at (208) 373-0550, or visit the DEQ website <https://www.deq.idaho.gov/waste-management-and-remediation/storage-tanks/leaking-underground-storage-tanks-in-idaho/> for assistance. If applicable to this project, DEQ recommends that BMPs be implemented for any of the following land uses: wash water from cleaning vehicles, fertilizers and pesticides, animal facilities, composted waste, ponds and outdoor gun ranges. Please contact DEQ for more information on any of these conditions.

We look forward to working with you in a proactive manner to address potential environmental impacts that may be within our regulatory authority. If you have any questions, please contact me, or any of our technical staff at (208) 373-0550.

Sincerely,

A handwritten signature in black ink, appearing to read "Troy Smith". The signature is stylized with a large, sweeping initial "T" and "S".

Troy Smith
Regional Administrator

Parametrix No. 314-4875-001

Kerstin Dettrich
Valley County Road and Bridge Director
520 South Front Street
P.O. Box 672
Cascade, ID 83611

Re: April 9, 2026, Planning and Zoning Commission Agenda Items

Dear Kerstin:

We have reviewed the items listed in the April 9, 2026, Valley County (VC) Planning and Zoning Commission agenda and have the following comments for your consideration:

Old Business:

1. **C.U.P. 25-032 McClellan/Smith Solar Panels**
Not reviewed (No information attached).
2. **SUB 25-021 Hummingbird Haven Subdivision – Preliminary and Final Plat**
Not reviewed (No information attached).

New Business:

1. **SUB 26-003 Green Acres Subdivision – Preliminary Plat**
Detailed site grading and drainage plans and drainage design documentation signed by a licensed PE for the site improvements to Vickery Court and Green Acres Drive (both private roads) are required for review and approval by the Valley County engineer. Additional stormwater resulting from site improvements will need to be retained on site and addressed in the design and calculations. Improvements to offsite drainage features may be required. Appropriate temporary and permanent best management practices (BMPs) and erosion control measures are required to protect adjacent properties, waterways, and roadway ditches.

All proposed roadways within the development shall meet the criteria outlined in the Valley County Minimum Standards for Private/Public Road Design and Construction. The proposed 26-foot width for Green Acres Drive does not meet the 28-foot minimum required by the Valley County Road Standards; therefore, a variance will be required.

A traffic impact study is not required for this 4-lot subdivision; however, a development agreement identifying public road impacts may be required.
2. **C.U.P. 26-003 Lamon Solar Panels**
The solar panels have already been installed so there are no new changes to site topography and no impacts to roads. Not reviewed.
3. **C.U.P. 26-004 Maxton Short-Term Rental**
Not reviewed (Postponed to May 14, 2026)



4. **C.U.P. 21-07 Jug Mountain Ranch Storage Units - Extension Request**
Extension request. Original CUP conditions and review apply.
5. **SUB 26-004 Orange Sky Subdivision - Preliminary Plat**
Not reviewed (Postponed to May 14, 2026)
6. **SUB 26-005 Pine Creek Ranck South Subdivision - Preliminary Plat**
Not reviewed (Postponed to May 14, 2026)
7. **C.U.P. 21-05 Lake Fork Industrial Center - Extension Request**
Extension request. Original CUP conditions and review apply.
8. **C.U.P. 26-005 Amendment to C.U.P. 25-025 Intermountain Sports Rentals and Repair**
Placement of the containers does not require site grading and drainage plans. No further review required.

Final Plats:

1. **C.U.P. 24-13 Saddle Rock Subdivision Phase 4 - Final Plat**
Further review not required.
2. **C.U.P. 24-02 River Fork Ranch - Final Plat**
Further review not required.
3. **SUB 25-04 Herrick North - Final Plat**
Further review not required.

Please contact me if you have any questions.

Sincerely,

Parametrix



Paul Ashton, PE





Valley County Transmittal
Division of Community and Environmental Health

Return to:

- Cascade
- Donnelly
- McCall
- McCall Impact
- Valley County

Rezone # _____

Conditional Use # CUP 21-07 Tug Mountain Ranch Storage Extension

Preliminary / Final / Short Plat _____

- 1. We have No Objections to this Proposal.
- 2. We recommend Denial of this Proposal.
- 3. Specific knowledge as to the exact type of use must be provided before we can comment on this Proposal.
- 4. We will require more data concerning soil conditions on this Proposal before we can comment.
- 5. Before we can comment concerning individual sewage disposal, we will require more data concerning the depth of:
 - high seasonal ground water
 - bedrock from original grade
 - waste flow characteristics
 - other _____
- 6. This office may require a study to assess the impact of nutrients and pathogens to receiving ground waters and surface waters.
- 7. This project shall be reviewed by the Idaho Department of Water Resources concerning well construction and water availability.
- 8. After written approvals from appropriate entities are submitted, we can approve this proposal for:
 - central sewage
 - interim sewage
 - individual sewage
 - community sewage system
 - central water
 - individual water
 - community water well
- 9. The following plan(s) must be submitted to and approved by the Idaho Department of Environmental Quality:
 - central sewage
 - sewage dry lines
 - community sewage system
 - central water
 - community water
- 10. Run-off is not to create a mosquito breeding problem
- 11. This Department would recommend deferral until high seasonal ground water can be determined if other considerations indicate approval.
- 12. If restroom facilities are to be installed, then a sewage system MUST be installed to meet Idaho State Sewage Regulations.
- 13. We will require plans be submitted for a plan review for any:
 - food establishment
 - beverage establishment
 - swimming pools or spas
 - grocery store
 - child care center

14. CADH has no objection to the CUP extension.

Reviewed By: B. A. Cope

Date: 3/27/26



MILLEMANN PEMBERTON & HOLM LLP
ATTORNEYS AT LAW

Mailing Address: P.O. Box 1066, McCall, ID 83638
Physical Address: 706 North First St., McCall, ID 83638

AMY K. HOLM
EMAIL: aholm@mpmplaw.com

TELEPHONE (208) 634-7641
FACSIMILE (208) 634-4516

February 23, 2026

Via email cherrick@co.valley.id.us

Cynda Herrick
Valley County
Planning and Zoning Director
PO Box 1350
Cascade, ID 83611

Re: Extension Request - Jug Mountain Ranch Storage Units

Dear Cynda:

This letter is an extension request for Conditional Use Permit 21-07 (“CUP 21-07”). On April 20, 2021, Jug Mountain Ranch LLC (“JMR”) received approval for construction of four buildings for recreational vehicle storage (“JMR Storage Units”), CUP 21-07. As described in detail below, the entire build completion of JMR Storage Units cannot be completed five years from CUP 21-07’s approval. Accordingly, JMR is requesting an extension.

A. Summary of JMR Storage Units

JMR is only planning to construct one building with 12 units initially; with each building size ranging from approx. 5,616 sq ft to 6,240 sq ft on 22.8 acres. The remaining three buildings will only be constructed if demand for the units exists.

The storage units for the two westerly buildings will open to the east, so as to reduce any impact to neighbors to the west. It is anticipated that the storage units in two of the buildings will be open at the face of the unit, and the other two buildings will have units with doors enclosing the face of the unit. The width of the buildings will range between 36’ and 40’, and the length of each building will be approximately 156’. The proposed location of the four buildings is shown on the site plan attached as **Exhibit 1**, including the landscape plan.

The first unit to be constructed will be located north of the existing maintenance buildings, and will operate to provide a buffer between the residential properties to the west and much of the equipment located on Lot 55. See attached Construction Plans attached as **Exhibit 2**. Additionally, by having the storage units, much of the equipment and recreational vehicles will be placed inside the storage units, thereby cleaning up the area.

JMR Storage Units would be primarily rented to the Jug Mountain Ranch property owners, but also for use by the developer and the golf course. There will be no rental of units to owners outside of Jug Mountain Ranch. The units will be owned by JMR.

B. Reasons Extension is Needed

As a condition of approval, the establishment of JMR Storage Units was to be completed by April 20, 2026 pursuant to CUP 21-07. Due to the need to build on a timeline that is consistent with the demand for JMR Storage Units, and considering the building costs for the units, the entire build completion of JMR Storage Units cannot be completed five years from CUP 21-07's approval.

C. Overview of What Has Been Completed to Date

The first unit has been completed.

D. Updated Completion Date, Phasing Plan and Timeline

The second unit is planned to start summer 2027.

A list of owners of property within 300' of Jug Mountain Ranch Storage Units is attached as **Exhibit 3**.

Please let us know if you have questions or need any additional information.

Thank you and best regards,



AMY K. HOLM

Enclosures:

- Exhibit 1 – Site Plan
- Exhibit 2 – Construction Plans
- Exhibit 3 – Owners' within 300'
- \$250 Extension Request Fee Paid Receipt



1 JMR Storage
SCALE: 1" = 40'



EPIKOS
LAND PLANNING
+
ARCHITECTURE

McCALL OFFICE
114 N. 3rd Street
Suite D
P.O. Box 2490
McCall, Idaho 83638
Tel: 208.634.4540
www.EpikosDesign.com

JMR SOUTH VILLAGE
JUG MOUNTAIN RANCH
McCALL, IDAHO 83638

Stamp:

DESIGN DEVELOPMENT SET

Revisions:

Date: 2/19/2021

Project No: ###

Drawn by: MM

Checked by: WR

Sheet:

A2-7



P.O. BOX 930220
VERONA, WI 53593-0220
(608) 845-9700 / Fax (608) 845-7070
www.clearybuilding.com



1/6/21

To Whom It May Concern:

Thank you for purchasing your new building from Cleary Building Corp. Please review the contract documents, building plans, and the building design with your Cleary Building Sales Specialist. If the plans are satisfactory as drawn, please sign and date each page on one set of plans as "Approved for Construction" as well as this attached cover letter. Your Building Sales Specialist will return the signed plans to the Engineering Department at our corporate office in Verona, Wisconsin. Please keep the second set of plans for your personal records.

While reviewing the contract documents and plans with your Cleary Building Sales Specialist, please pay special attention to the following items:

- Are all steel, trim, soffit colors correct?
- Are all door and window locations correct?
- Are the number of doors and windows shown correct?
- Are the sizes of the doors and windows correct?
- Are the bottom elevations of all doors and windows correct?
- Are truss clearances correct?
- Please note that unless part of a sub-contract, all overhead doors are by others.

"PLEASE MAKE A NOTE ON THE PLANS OF ANY OTHER DESIGN REQUIREMENTS. IF THE NOTE(S) CHANGE ANYTHING IN THE CONTRACT THEN A CHANGE ORDER WILL BE REQUIRED."

(Please note the Owner-Sign-Off plans are not a part of the Cleary Building Corp. contract and any changes to the building as drawn will need to be submitted on a signed change order.)

Upon receipt of the signed "Approved for Construction" plans, we can continue the process for your new Cleary building. Please be aware we cannot proceed until we have your final approval on the building plans.

Thank you.

Sincerely,

Jeremy Cavil

Jeremy Cavil
AutoCAD Draftsperson
JCavil@clearybuilding.com

cc:
Cleary Building Sales Specialist
Branch Manager
Region Manager
2020106500

APPROVED FOR CONSTRUCTION

Date: _____ By: _____

Note: Before signing, please answer all questions listed above. Thank you.

GENERAL NOTES AND SPECIFICATIONS

- The materials and labor shown on these plans that are provided by Cleary Building Corp. are limited to those materials and labor as defined by the Cleary Building Corp. contract. Additional materials or accessories that are not being provided by Cleary Building Corp. may be shown on plans for context or building code compliance.
- This building is designed in accordance with the following codes and specifications:
 2018 International Building Code (IBC)
 2018 Edition Of "National Design Specifications for Wood Construction"

 Use Group(s) Classification: S-2
 Building Use: RV Storage
 Type of Construction: Type VB
 Building Gross Square Footage: 5616 Sq. Ft.

 Building Design Loads:
 Design Truss Load: 125 PSF Total Load
 Design Snow Load: 91 PSF Ground Snow Load (P_g)
 120 PSF (for balanced roof snow load)

 Design Wind Speed: 115 MPH (EXP C)
 Seismic Use Group: I
 Seismic Design Category: D

 Maximum Considered Earthquake Ground Motion for:
 0.2 Second Spectral Response (S_e): 52.5%g
 1.0 Second Spectral Response ($S_{1.0}$): 15.5%g
- All lumber, unless noted otherwise, shall be S4S #2 SPF or better. All lumber embedded in the ground shall be treated with Chromated Copper Arsenate to a retention level of .60 lbs. per cubic foot.
- Grading should be such that the surface water is drained away from the foundation. Minimum grade would be six inches of vertical drop per ten feet of horizontal away from the foundation (5%).
- Fill used for concrete floor slab sub grade, if present, shall be reasonably graded granular material. Fill used in columns holes shall be the excavated soil unless noted otherwise. All fill shall be free from debris, stones over 4" and frozen material.
- Electrical work is not a part of this drawing and shall be installed as per applicable codes.
- Heating, ventilating, and air conditioning work is not a part of this drawing and shall be installed as per applicable codes.
- Plumbing work is not a part of this drawing and shall be installed as per applicable codes.
- All nails are to be threaded hardened steel unless otherwise noted.
- This design is based on a building site with sand, silty sand, clayey sand, silty gravel, clayey gravel soil. As per the IBC building code and Referenced Standard ASAE 486.1, an assumed soil bearing design value of 1500 psf with increases for depth and width has been used in this design. If information is discovered before or during construction contrary to this, the building designer should be contacted.

NOTE:
 This building, as depicted, must be constructed 10 feet or more from any and all lot lines and 20 feet or more from any other buildings on the same lot. See IBC code and/or the local building official for exceptions.

NOTE:
 This document, as presented and sealed, is not intended to be, nor should it be construed as such, a complete building design. It is intended to represent just the building itself. The design of the electrical, mechanical, plumbing, and site drainage are excluded from this plan. It should also be noted that the designer is unaware of any subsoil investigation reports. Footings have been sized on assumed values as per note 10.0 under General Specifications and Notes. The designer excludes determination that the assumed soil conditions are present at the site. If a concrete floor will be installed, the design of the concrete floor is not part of these plans, nor is it intended to be. If shown, the concrete floor is only depicted to show its location with respect to related components of the building. The client or general contractor is encouraged to contract with other professional engineers or architects for the design of the concrete floor and its subgrade.

TABLE OF CONTENTS

- 110. ELEVATIONS
- 120. FLOOR PLAN
- 130. TYPICAL SECTION
- 140. HEADER DETAILS A
- 141. HEADER DETAILS B
- 150. DIAGONAL BRACING DETAILS
- 151. SHEAR TRUSS BRACING DETAILS
- 160. DIAPHRAGM ACTION and MISC. DETAILS
- 170. TRUSS DIAGRAMS

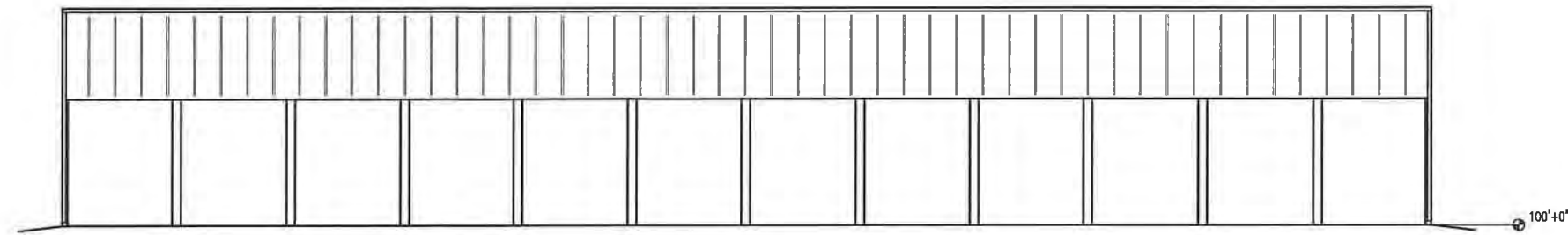


190 PAOLI STREET / P.O. BOX 930220
 VERONA, WI 53583 / (800) 373-5550

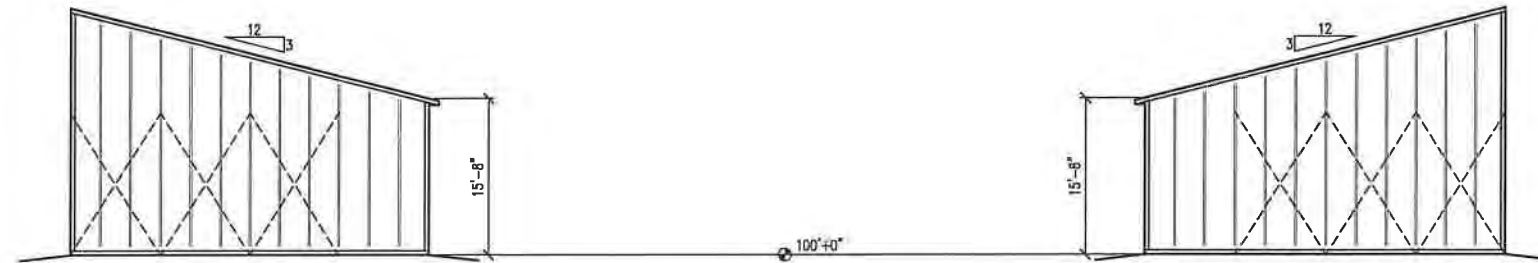
DRAWN BY: CAVIL
 DATE DRAWN: 12/22/2020

PLAN REVISIONS:

NUMBER	DATE	BY
1	1/27/2021	CAVIL
2		
3		
4		

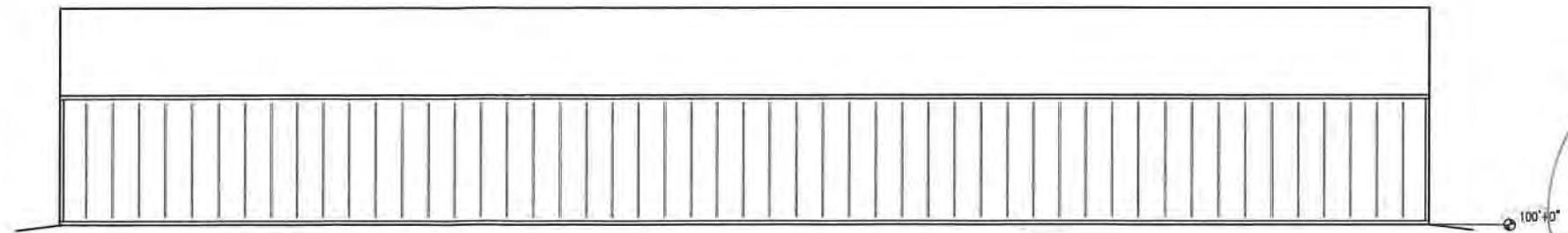


WEST ELEVATION



SOUTH ELEVATION

NORTH ELEVATION



EAST ELEVATION

PROJECT NAME: JUG MOUNTAIN RANCH
 PROJECT SITE ADDRESS: 13834 FARM TO MARKET RD
 MCCALL, ID - VALLEY COUNTY
 BUILDING SIZE: 36' x 156' x 15' 8"
 SHEET NAME: ELEVATIONS

PROJECT NUMBER: 2020106500
 SHEET NUMBER: 110
 SHEET SCALE: NONE



File Name and Path: \\ClearyShares\Eng\Commerc\1\CAD FILES\2020\2020106500\2020106500-120-FP-1.dwg
 Printed By: Jeremy Cavil
 Date Printed: 2/12/2021 8:50 AM

COLUMNS	COLUMN SIZE	HOLE DEPTH	HOLE DIAMETER	FOOTING SIZE	NUMBER OF COLUMNS REQUIRED
(A) SIDEWALL	4-PLY 2x6x20'-0"	4'-10"	30"	AGCO FP-24 FOOTING PAD (SEE NOTE)	33
(B) SIDEWALL	8-PLY 2x6x24'-0"	6'-0"	40"	20"x40" POURED CONCRETE (SEE NOTE)	9
(C) CORNER	3-PLY 2x6x20'-0"	4'-6"	18"	4"x14" PRECAST CONCRETE FOOTING	2
(D) CORNER	5-PLY 2x6x24'-0"	4'-10"	30"	AGCO FP-24 FOOTING PAD (SEE NOTE)	2
(E) CORNER	7-PLY 2x6x24'-0"	5'-10"	36"	18"x36" POURED CONCRETE (SEE NOTE)	2
(F) ENDWALL	3-PLY 2x6x22'-3"	4'-6"	18"	4"x14" PRECAST CONCRETE FOOTING	2
(G) ENDWALL	3-PLY 2x6x22'-4"	5'-2"	20"	10"x20" POURED CONCRETE (SEE NOTE)	2
(H) ENDWALL	3-PLY 2x6x24'-6"	4'-6"	18"	4"x14" PRECAST CONCRETE FOOTING	2
(I) ENDWALL	3-PLY 2x6x24'-7"	5'-1"	18"	9"x18" POURED CONCRETE (SEE NOTE)	2
(J) ENDWALL	3-PLY 2x6x26'-9"	5'-1"	18"	9"x18" POURED CONCRETE (SEE NOTE)	2
(K) ENDWALL	3-PLY 2x6x27'-10"	6'-2"	20"	10"x20" POURED CONCRETE (SEE NOTE)	2
(L) ENDWALL	3-PLY 2x6x21'-0"	6'-1"	18"	9"x18" POURED CONCRETE (SEE NOTE)	2

- NOTES:**
- FIELD VERIFY ALL DOOR AND WINDOW ROUGH OPENING SIZES PRIOR TO INSTALLING FRAME-OUTS
 - ATTACH ALL ROOF, SIDE, END AND GABLE STEEL WITH PAINTED SCREWS
 - ENDWALL COLUMNS ARE 3-PLY TO THE BUILDING EAVE HEIGHT AND SINGLE PLY FROM THERE TO THE ROOF PLANE
 - 2x6 STANDARD DIAGONAL CORNER BRACING AT ALL CORNERS (UNLESS OTHERWISE NOTED)
 - 2x6 JACKBRACING AT ENDWALL COLUMNS (NOT NEEDED AT FULL LENGTH COLUMNS)
 — = LOCATION ON FLOOR PLAN FOR JACKBRACING (SEE DIAPHRAGM ACTION and MISC. DETAILS SHEET)
 - 2x4 PURLIN BLOCKING AT ENDWALL TRUSSES
 - 2x4 CORNER BLOCKING TO BE INSTALLED AT ALL CORNERS
 - (\times) = BAYS WITH 2x4 ROOFLINE X-BRACING (SEE DIAPHRAGM ACTION and MISC. DETAILS SHEET)

BUILDING COLORS		BUILDING ACCESSORIES
ROOF:	CHARCOAL GRAY	(1) CLEARY WEATHERVANE (OWNER LOCATE)
SIDES/GABLES:	ASH GRAY	
WAINSCOT:	---	
SLIDE DOOR(S):	---	
TRIM (TYP.):	CHARCOAL GRAY	
F&J TRIM:	ASH GRAY	

CLEARY BUILDING CORP.
 190 PAOLI STREET / P.O. BOX 930220
 VERONA, WI 53593 / (800) 373-5550

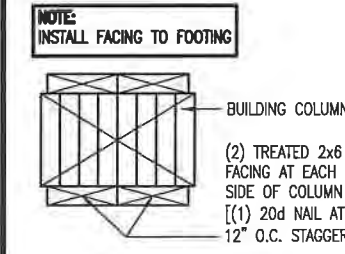
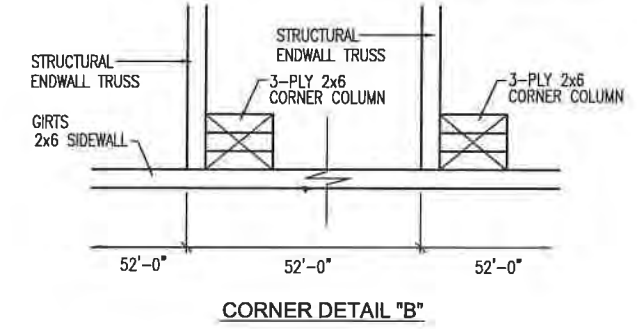
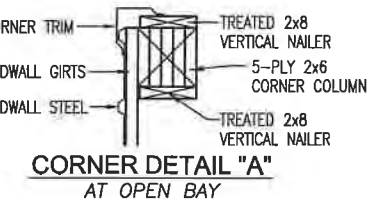
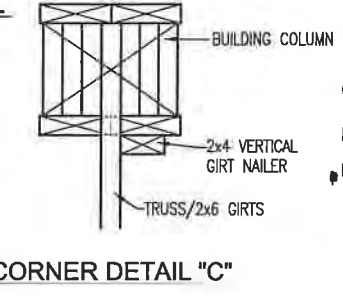
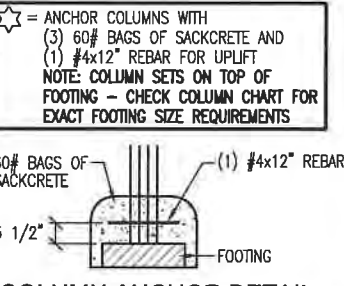
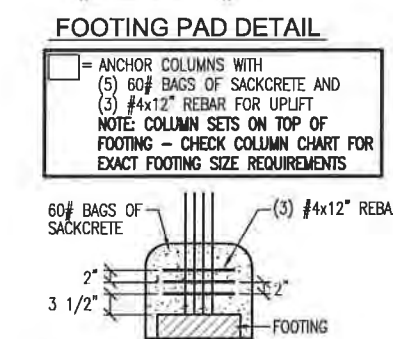
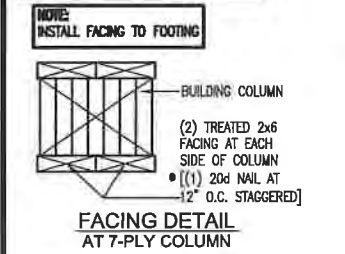
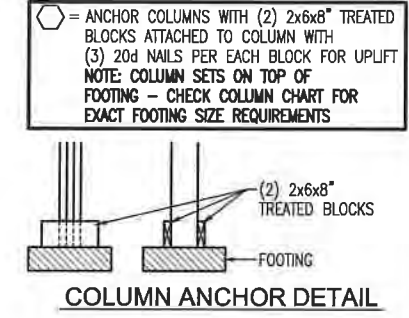
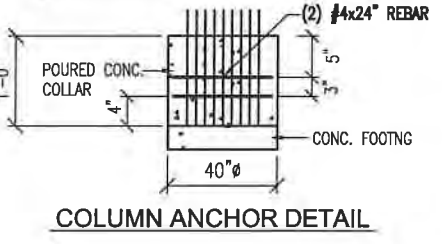
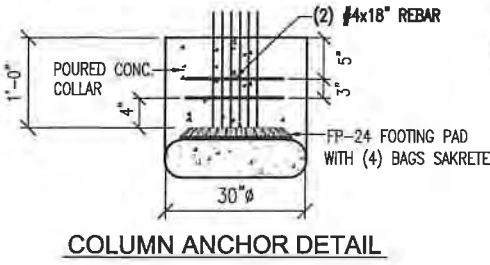
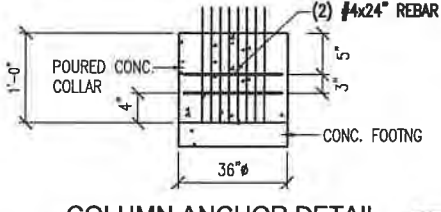
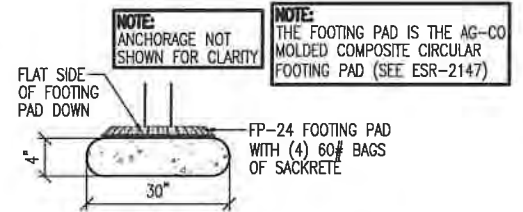
DRAWN BY: CAVIL
 DATE DRAWN: 12/22/2020

PLAN REVISIONS:		
NUMBER	DATE	BY
1	1/27/2021	CAVIL
2		
3		
4		

NOTE:
 6.25 CUBIC YARDS OF 2500 PSI MINIMUM CONCRETE NEEDED FOR POURED FOOTINGS

NOTE:
 9.5 CUBIC YARDS OF 2500 PSI MINIMUM CONCRETE NEEDED FOR COLUMN ANCHORAGE

NOTE:
 156 TOTAL BAGS OF SACKCRETE REQUIRED FOR FOOTINGS AND COLUMN ANCHORAGE



COLUMN ANCHOR DETAIL

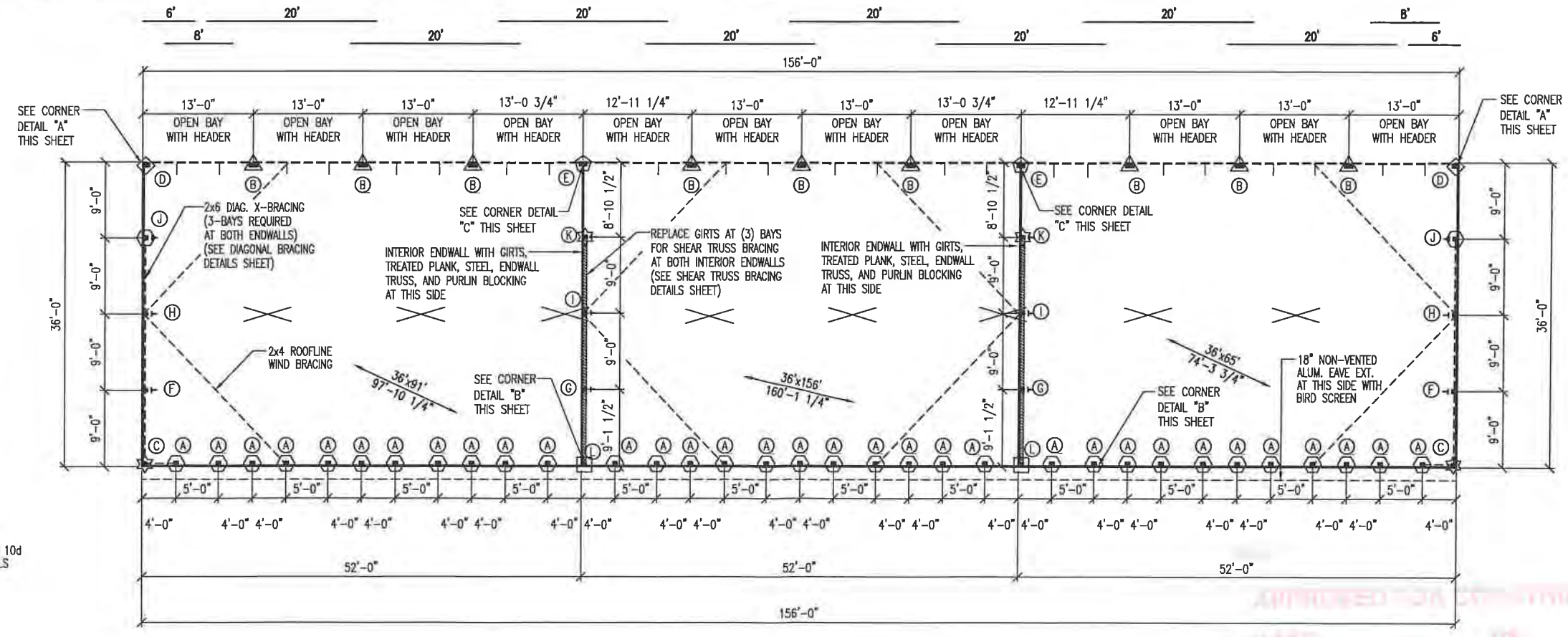
COLUMN ANCHOR DETAIL

PURLIN LAYOUT

CORNER DETAIL "A"

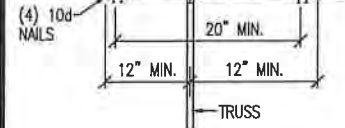
CORNER DETAIL "B"

FACING DETAIL AT 8-PLY COLUMN

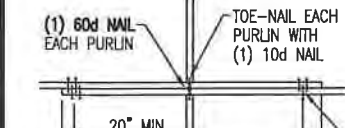


CONT. PURLIN DESIGN

CONSTRUCTION FOREMAN NOTE:
 BE SURE TO MAINTAIN THE OVERALL LAP DISTANCE AND THE SPACING FROM PURLIN END TO CENTER OF TRUSS AS SHOWN



PURLIN LAPS AT FIRST TRUSS FROM EACH ENDWALL



ALL REMAINING PURLIN LAPS

PROJECT NAME: JUG MOUNTAIN RANCH
 PROJECT SITE ADDRESS: 13834 FARM TO MARKET RD
 MCCALL, ID - VALLEY COUNTY
 BUILDING SIZE: 36' x 156' x 15' 8"
 SHEET NAME: FLOOR PLAN

PROJECT NUMBER: 2020106500
 SHEET NUMBER: 120
 SHEET SCALE: NONE



DRAWN BY: CAVIL

DATE DRAWN: 12/22/2020

PLAN REVISIONS:

NUMBER	DATE	BY
1	1/27/2021	CAVIL
2		
3		
4		

PROJECT NAME:
JUG MOUNTAIN RANCH

PROJECT SITE ADDRESS:
13834 FARM TO MARKET RD
MCCALL, ID - VALLEY COUNTY

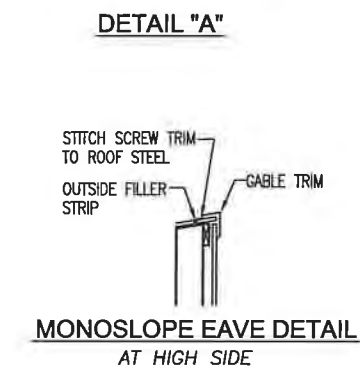
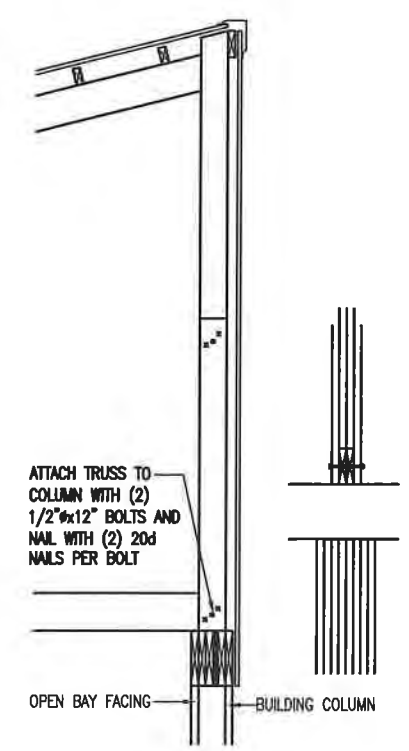
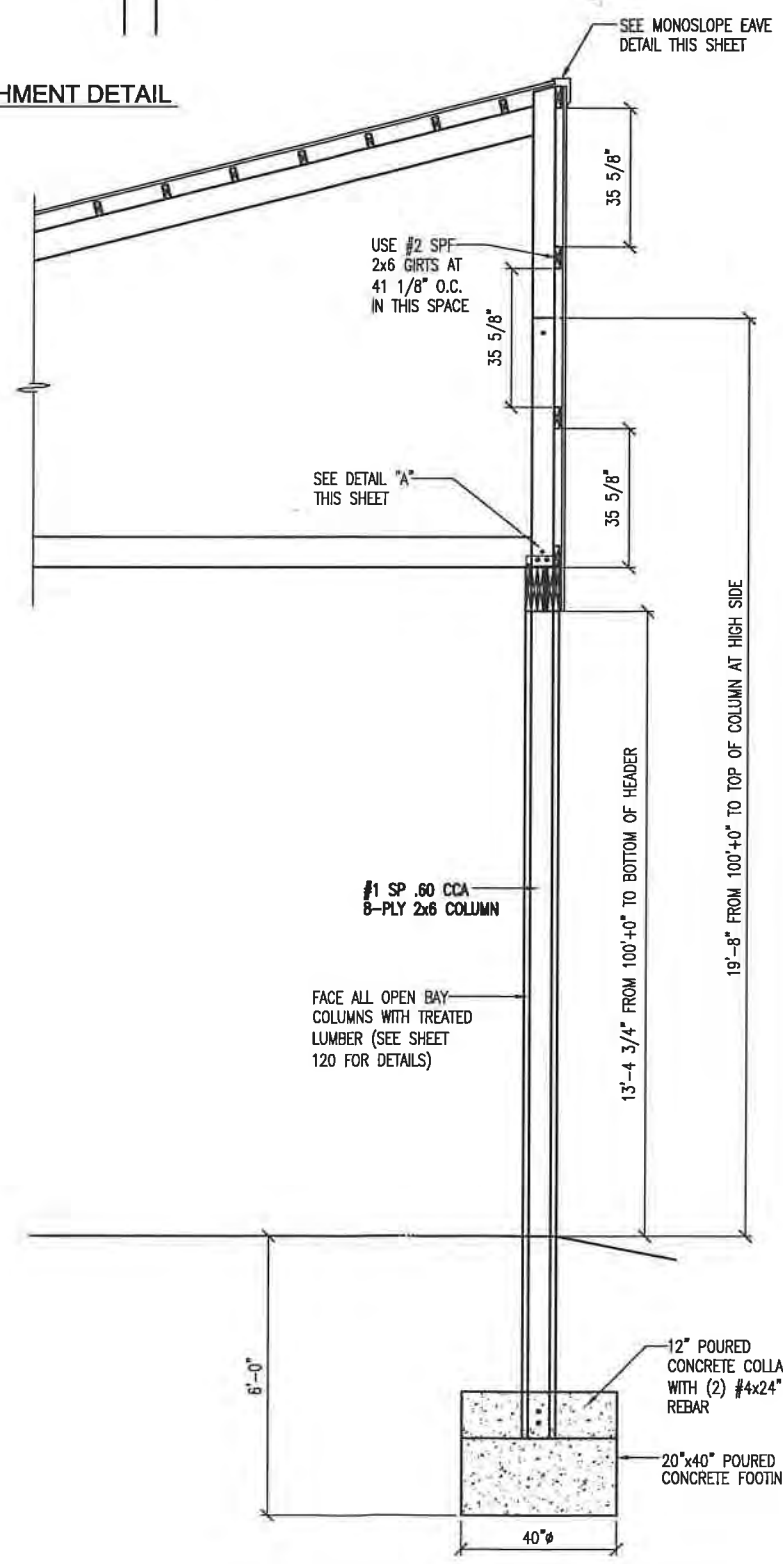
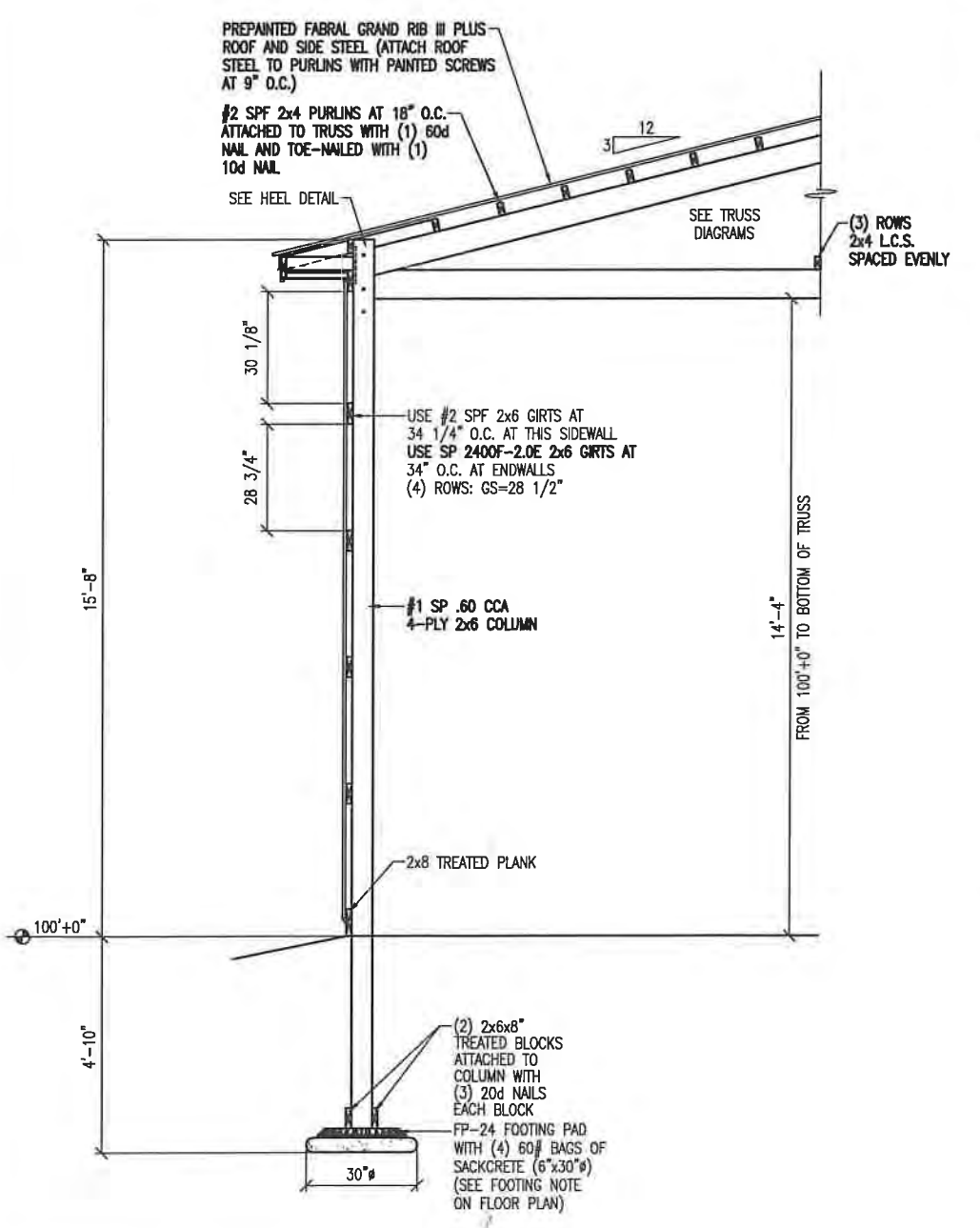
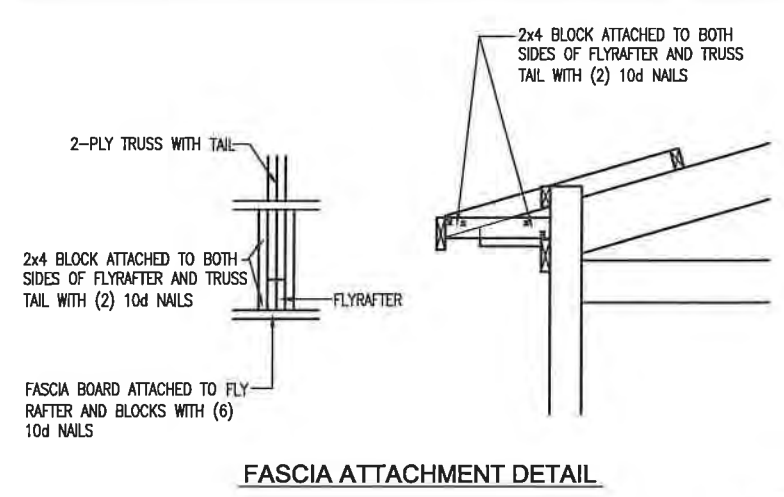
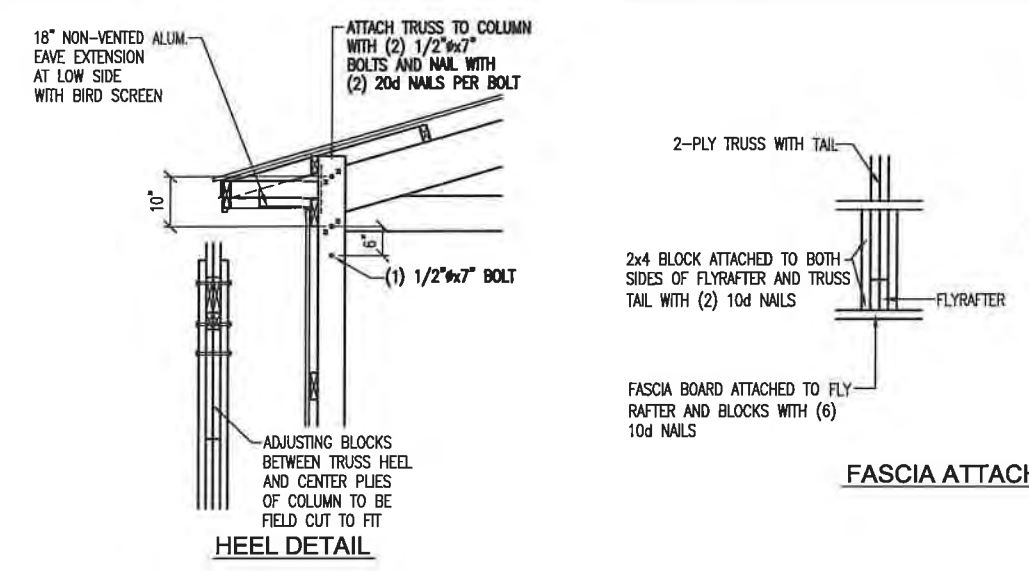
BUILDING SIZE:
36' x 156' x 15' 8"

SHEET NAME:
TYPICAL SECTION

PROJECT NUMBER:
2020106500

SHEET NUMBER:
130

SHEET SCALE: NONE



APPROXIMATE CONSTRUCTION DATE _____ BY _____

NUMBER	DATE	BY
1	1/27/2021	CAVIL
2		
3		
4		

PROJECT NAME:
JUG MOUNTAIN RANCH

PROJECT SITE ADDRESS:
13834 FARM TO MARKET RD
MCCALL, ID - VALLEY COUNTY

BUILDING SIZE:
36' x 156' x 15' 8"

SHEET NAME:
HEADER DETAILS

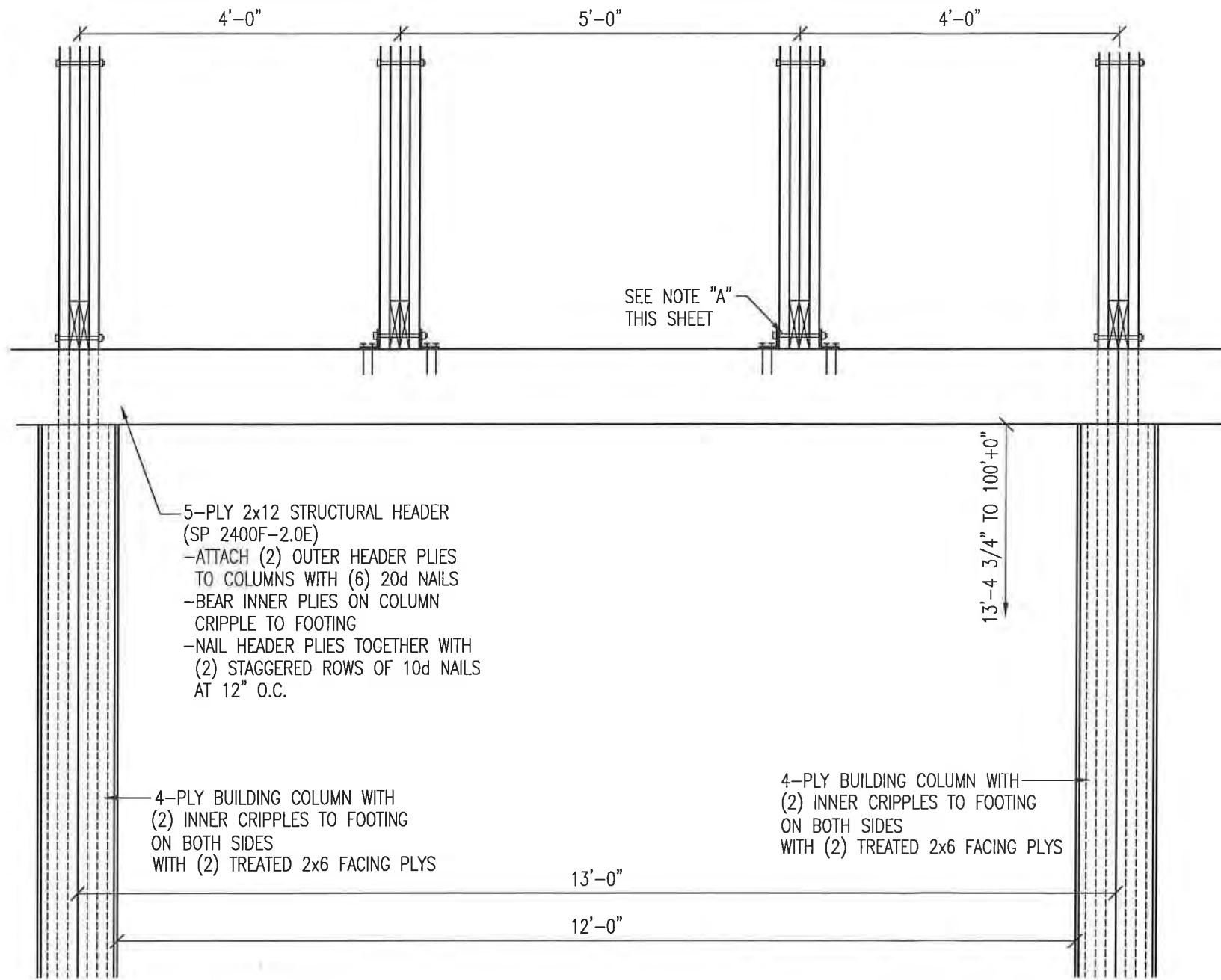
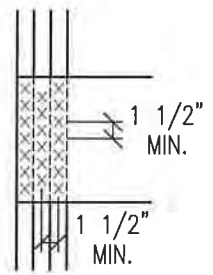
PROJECT NUMBER:
2020106500

SHEET NUMBER:
140

SHEET SCALE: NONE



NOTE-NAILING ALTERNATIVE:
INSTALL (2) 3 1/2" x .131RS GUN NAILS FOR EACH 20d NAIL SPECIFIED (USE 20d NAILS IF NUMBER OF GUN NAILS REQUIRED REDUCES THE SPACING IN A VERTICAL OR HORIZONTAL ROW TO LESS THAN 1 1/2" AT A HEADER POST OR COLUMN AS SHOWN)

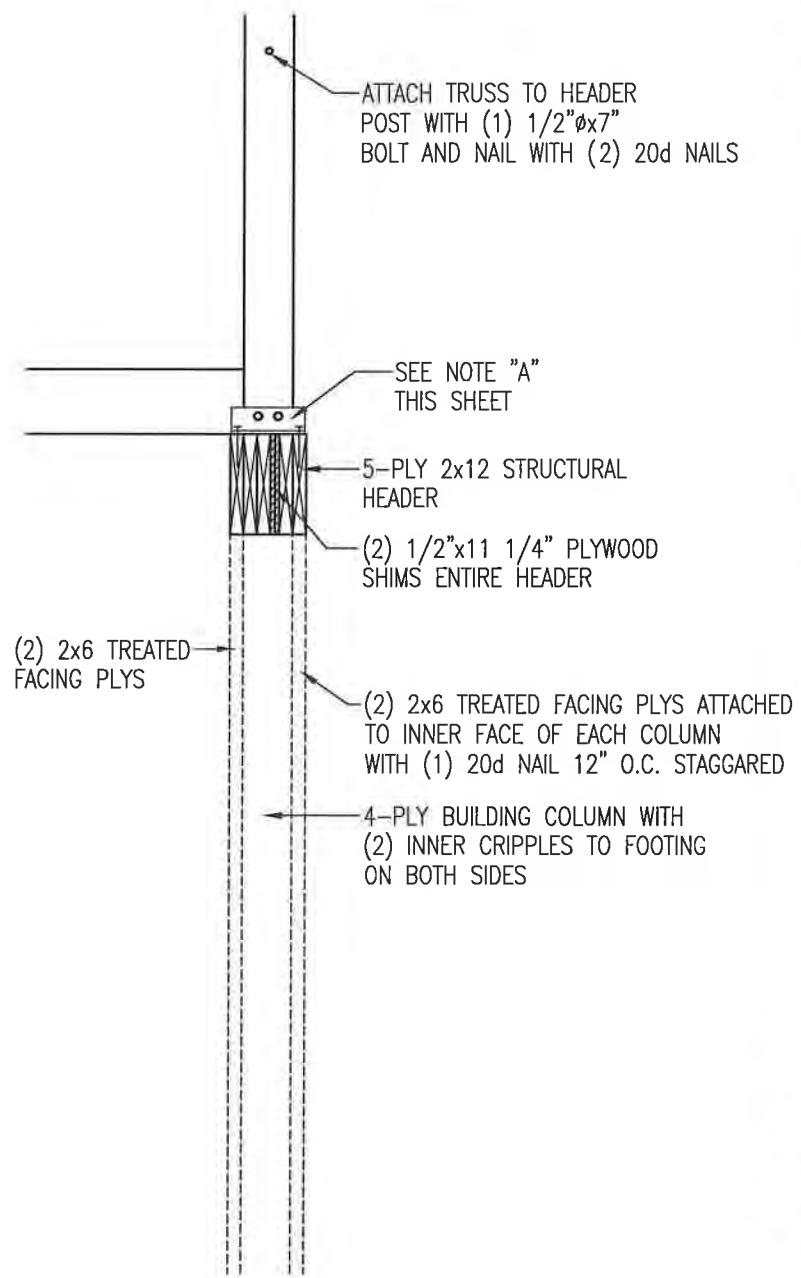


5-PLY 2x12 STRUCTURAL HEADER (SP 2400F-2.0E)
-ATTACH (2) OUTER HEADER PLIES TO COLUMNS WITH (6) 20d NAILS
-BEAR INNER PLIES ON COLUMN CRIPPLE TO FOOTING
-NAIL HEADER PLIES TOGETHER WITH (2) STAGGERED ROWS OF 10d NAILS AT 12" O.C.

4-PLY BUILDING COLUMN WITH (2) INNER CRIPPLES TO FOOTING ON BOTH SIDES WITH (2) TREATED 2x6 FACING PLYS

4-PLY BUILDING COLUMN WITH (2) INNER CRIPPLES TO FOOTING ON BOTH SIDES WITH (2) TREATED 2x6 FACING PLYS

TYPICAL OPEN BAY HEADER DETAIL
VIEW FROM OUTSIDE OF BUILDING



ATTACH TRUSS TO HEADER POST WITH (1) 1/2" x 7" BOLT AND NAIL WITH (2) 20d NAILS

SEE NOTE "A" THIS SHEET

5-PLY 2x12 STRUCTURAL HEADER
(2) 1/2" x 11 1/4" PLYWOOD SHIMS ENTIRE HEADER

(2) 2x6 TREATED FACING PLYS

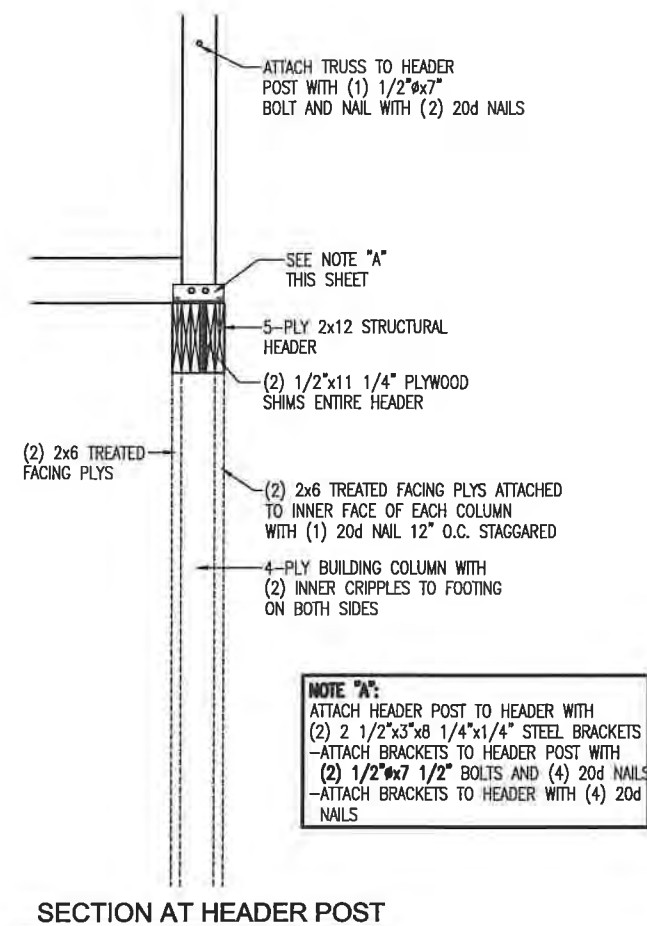
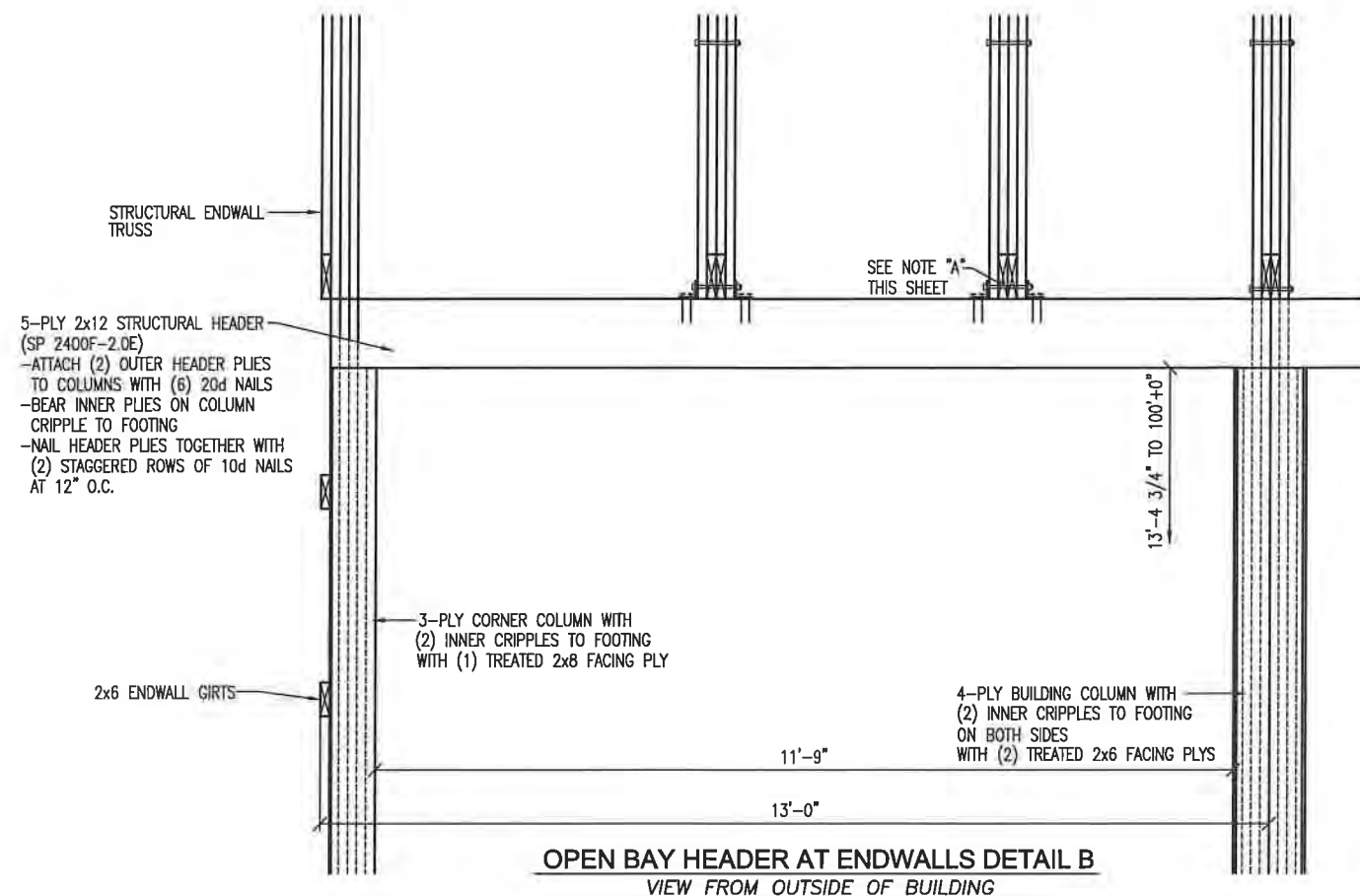
(2) 2x6 TREATED FACING PLYS ATTACHED TO INNER FACE OF EACH COLUMN WITH (1) 20d NAIL 12" O.C. STAGGERED

4-PLY BUILDING COLUMN WITH (2) INNER CRIPPLES TO FOOTING ON BOTH SIDES

SECTION AT HEADER POST

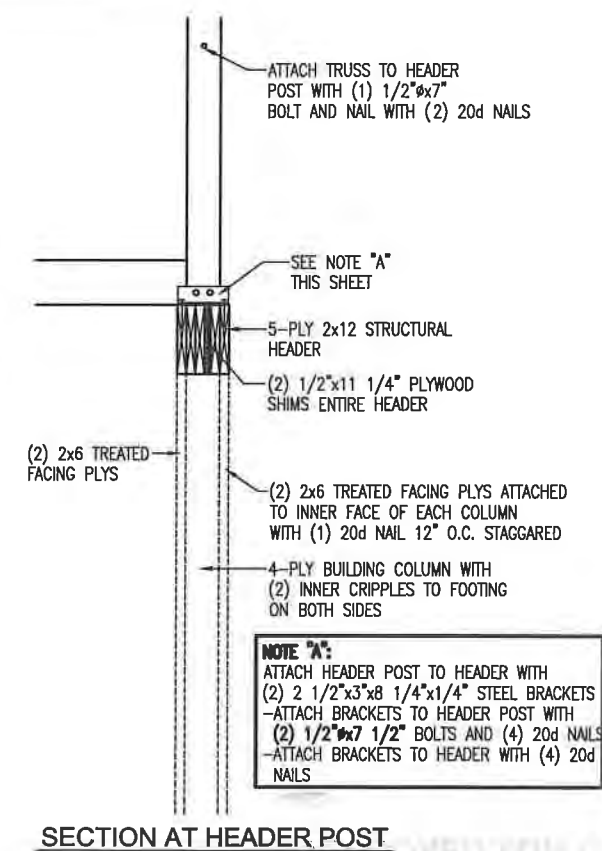
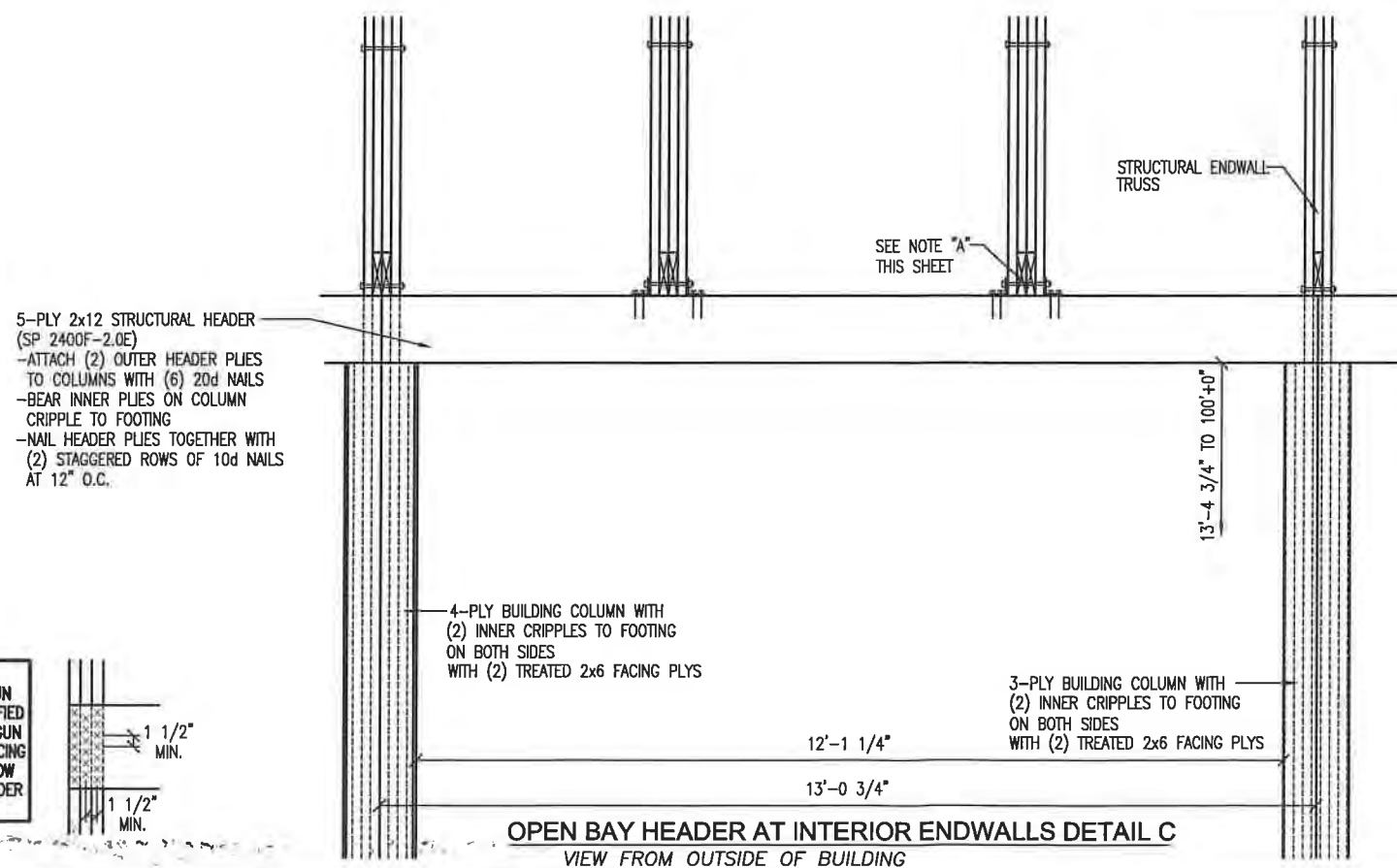
NOTE "A":
ATTACH HEADER POST TO HEADER WITH (2) 2 1/2" x 3" x 8 1/4" x 1/4" STEEL BRACKETS
-ATTACH BRACKETS TO HEADER POST WITH (2) 1/2" x 7 1/2" BOLTS AND (4) 20d NAILS
-ATTACH BRACKETS TO HEADER WITH (4) 20d NAILS

NUMBER	DATE	BY
1	1/27/2021	CAVIL
2		
3		
4		



NOTE "A":
ATTACH HEADER POST TO HEADER WITH
(2) 2 1/2"x3"x8 1/4"x1/4" STEEL BRACKETS
-ATTACH BRACKETS TO HEADER POST WITH
(2) 1/2"x7 1/2" BOLTS AND (4) 20d NAILS
-ATTACH BRACKETS TO HEADER WITH (4) 20d NAILS

File Name and Path: \\ClearyShares\Eng\Commercial\CAD FILES\2020\2020106500\2020106500-141-HEADER BC-1.dwg
Printed By: Jeremy Cavil
Date Printed: 2/2/2021 11:00 AM



NOTE "A":
ATTACH HEADER POST TO HEADER WITH
(2) 2 1/2"x3"x8 1/4"x1/4" STEEL BRACKETS
-ATTACH BRACKETS TO HEADER POST WITH
(2) 1/2"x7 1/2" BOLTS AND (4) 20d NAILS
-ATTACH BRACKETS TO HEADER WITH (4) 20d NAILS

NOTE-NAILING ALTERNATIVE:
INSTALL (2) 3 1/2" x .131RS GUN NAILS FOR EACH 20d NAIL SPECIFIED (USE 20d NAILS IF NUMBER OF GUN NAILS REQUIRED REDUCES THE SPACING IN A VERTICAL OR HORIZONTAL ROW TO LESS THAN 1 1/2" AT A HEADER POST OR COLUMN AS SHOWN)

PROJECT NAME:
JUG MOUNTAIN RANCH
PROJECT SITE ADDRESS:
13834 FARM TO MARKET RD
MCCALL, ID - VALLEY COUNTY
BUILDING SIZE:
36' x 156' x 15' 8"
SHEET NAME:
HEADER DETAILS AT ENDWALLS

PROJECT NUMBER:
2020106500
SHEET NUMBER:
141
SHEET SCALE: NONE

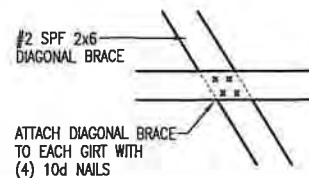


DRAWN BY: CAVIL

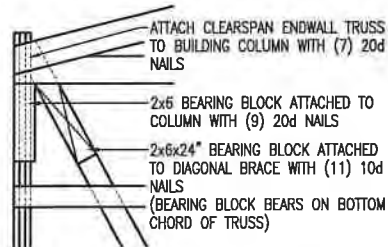
DATE DRAWN: 12/22/2020

PLAN REVISIONS:

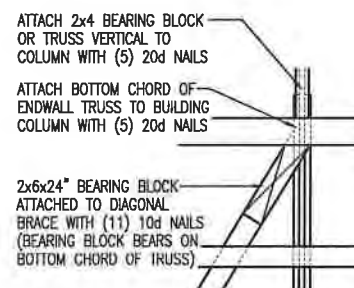
NUMBER	DATE	BY
1		
2		
3		
4		



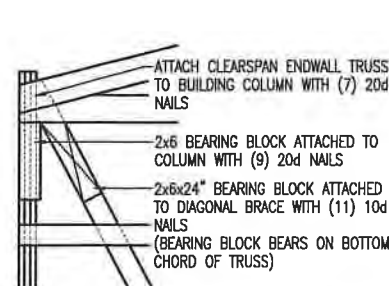
BRACE TO GIRTS CONNECTION DETAIL



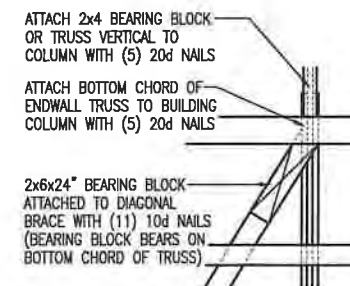
BRACE CONNECTION DETAIL
AT TOP OF BRACE AT CORNER COLUMN



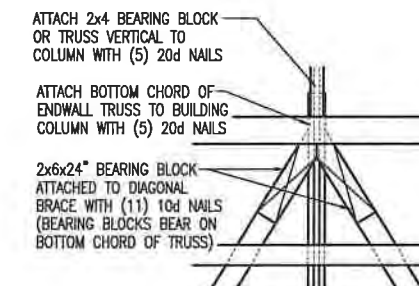
BRACE CONNECTION DETAIL
AT TOP OF BRACE AT ENDWALL COLUMN



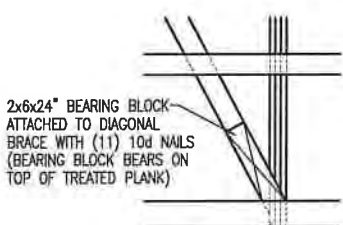
BRACE CONNECTION DETAIL
AT TOP OF BRACE AT CORNER COLUMN



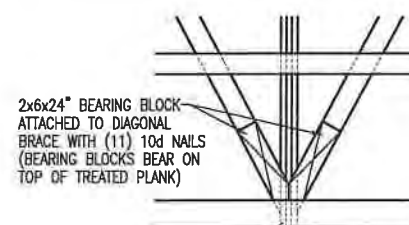
BRACE CONNECTION DETAIL
AT TOP OF BRACE AT ENDWALL COLUMN



BRACE CONNECTION DETAIL
AT TOP OF BRACE AT ENDWALL COLUMN

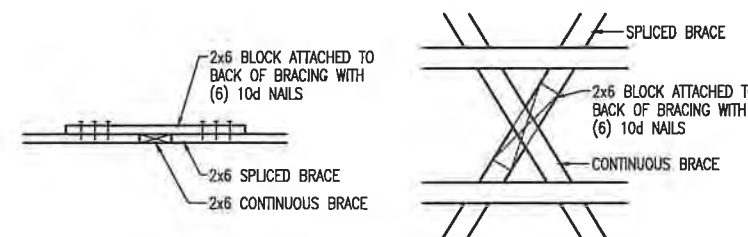


BRACE CONNECTION DETAIL
AT BOTTOM OF BRACE AT ENDWALL COLUMN

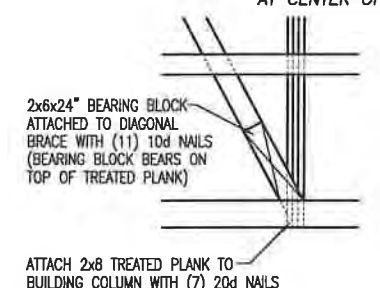


BRACE CONNECTION DETAIL
AT BOTTOM OF BRACE AT ENDWALL COLUMN

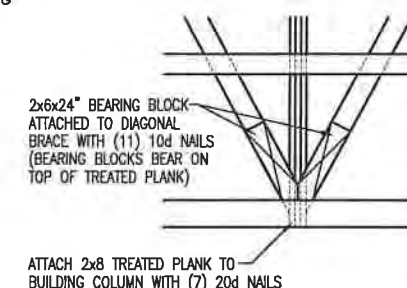
ENDWALL DIAGONAL BRACING DETAIL
AT BOTH ENDWALLS



BRACE SPLICE DETAIL
AT CENTER OF X-BRACING



BRACE CONNECTION DETAIL
AT BOTTOM OF BRACE AT ENDWALL COLUMN



BRACE CONNECTION DETAIL
AT BOTTOM OF BRACE AT ENDWALL COLUMN

ENDWALL DIAGONAL X-BRACING DETAIL
AT ALL INTERIOR ENDWALLS

APPROVED FOR CONSTRUCTION
DATE _____ 2020

PROJECT NAME:
JUG MOUNTAIN RANCH

PROJECT SITE ADDRESS:
13834 FARM TO MARKET RD
MCCALL, ID - VALLEY COUNTY

BUILDING SIZE:
36' x 156' x 15' 8"

SHEET NAME:
DIAGONAL BRACING DETAILS

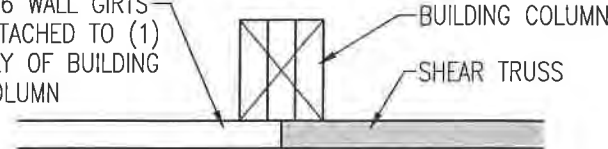
PROJECT NUMBER:
2020106500

SHEET NUMBER:
150

SHEET SCALE: NONE

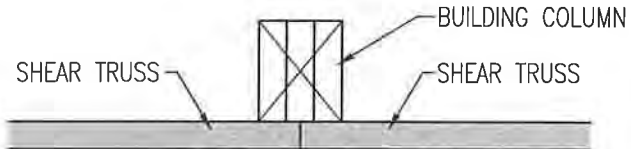


2x6 WALL GIRTS ATTACHED TO (1) PLY OF BUILDING COLUMN

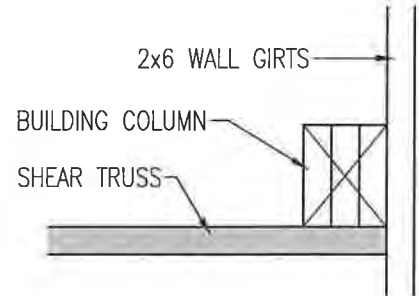


SHEAR TRUSS DETAIL AT BUILDING COLUMN

BUILDING COLUMN SHEAR TRUSS



SHEAR TRUSS DETAIL AT SHARED BUILDING COLUMN



SHEAR TRUSS DETAIL AT CORNER COLUMN

ENDWALL TRUSS

BOTTOM CHORD OF ENDWALL TRUSS ATTACHED TO BUILDING COLUMNS WITH (7) 20d NAILS

SHEAR TRUSS ATTACHED TO BUILDING COLUMNS WITH 20d NAILS AT 6" O.C. OR 3 1/2"x.131 GUN NAILS AT 3" O.C.

#1 SP 2x6 NAILER FIT TIGHT BETWEEN COLUMNS AND ATTACHED TO BOTTOM CHORD OF TRUSS AND TOP OF SHEAR TRUSS WITH 10d NAILS AT 4" O.C. OR 2 3/4"x.120 GUN NAILS AT 2" O.C.

BUILDING COLUMN

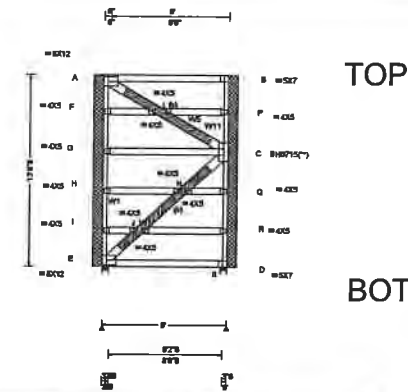
DOUBLE #1 SP 2x6 NAILER FIT TIGHT BETWEEN COLUMNS AND ATTACHED TO 2x8 TREATED PLANK AND BOTTOM OF SHEAR TRUSS WITH 20d NAILS AT 8" O.C. OR 3 1/2"x.131 GUN NAILS AT 3" O.C.

2x8 TREATED PLANK ATTACHED TO BUILDING COLUMNS WITH (7) 20d NAILS

ENDWALL SHEAR TRUSS SECTION

SEON: 30552 FROM: ZEW FLAT Ply: 1 Qty: 1 Job Number: 2020106500 Truss Label: SA9-0x13-8-SHEAR2375

Dist: R 7054 JRet: 1X2G70540018 T49 DwgNo: 028.21.1508.36267 DEH / FK 01/28/2021



Loading Criteria (psf)		Wind Criteria	Snow Criteria (Ps.Ft In PSF)	Def/CSI Criteria	Maximum Reactions (lbs)	
TCLL: 1.00	Wind Std:	Pg: NA Ct: NA CAT: NA	PP Deflection in loc L/def L/#	Gravity	Non-Gravity	
TCDL: 1.00	Speed:	Pf: NA Cc: NA	VERT(LL): 0.009 A 999 240	Loc R+ /R- /Rh /Rw /U /RL		
BCLL: 0.00	Enclosure:	Lr: NA Cs: NA	VERT(UL): 0.009 A 999 180	E - /- /- /215 /198 /1177		
BCDL: 1.00	Risk Category:	Snow Duration: NA	HORZ(LL): 0.075 B - -	S - /- /- /280 /263 /1176		
Des Ld: 3.00	EXP: Kzt: NA	Building Code:	HORZ(UL): 0.075 B - -	Wind reactions based on MWFRS		
NCBCLL: 0.00	Mean Height:	IBC 2018	Creep Factor: 2.0	E Brg Width = 5.5 Min Req = 5.5		
TCDL: 2.00	BCDL: 0.6 psf	TPI Sct: 2014	Max TC CSI: 0.036	S Brg Width = 5.5 Min Req = 5.5		
Soft: 2.00	MWFRS Parallel Dist:	Rep Fac: No	Max BC CSI: 0.856	Bearings E & S are a rigid surface.		
Load Duration: 1.80	C&C Dist a:	FT/RT/PT:20(20)/10(10)/4(0)	Max Web CSI: 1.000	Members not listed have forces less than 375#		
Spacing: 12.0"	Loc. from endwall:	Plate Type(s):	VIEW Ver: 18.02.01A.0205.19	Maximum Top Chord Forces Per Ply (lbs)		
	GCPt:	WAVE_HS		Chords Tens.Comp.		
	Wind Duration:			A - B 2354 - 2356		

Lumber
 Top chord: 2x6 SP 2400F-2.0E;
 Bot chord: 2x6 SP 2400F-2.0E;
 Webs: 2x6 SP 2400F-2.0E; W1, W11 2x4 SP #2; W5, W7 2x6 SP #1.

Bracing
 (b) #3 or better scab reinforcement. Same size & 80% length of web member. Attach with 10d Box or Gun (0.128"x3", min.) nails @ 6" oc.
 In lieu of rigid sheathing use purline to brace TC @ 24" oc.

See Cleary Building Corp. drawings for bearing attachment and bottom chord bracing details. This design applies to both open wall and enclosed wall buildings.



01/28/2021

WARNING READ AND FOLLOW ALL NOTES ON THIS DRAWING!
IMPORTANT FURNISH THIS DRAWING TO ALL CONTRACTORS INCLUDING THE INSTALLERS
 Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to and follow the latest edition of BCSI (Building Component Safety Information, by TPI and SBCA) for safety practices prior to performing these functions. Installers shall provide temporary bracing per BCSI. Unless noted otherwise, top chord shall have properly attached structural sheathing and bottom chord shall have a properly attached rigid ceiling. Locations shown for permanent lateral restraint of webs shall have bracing installed per BCSI sections D3, B7, or B10, as applicable. Apply plates to each face of truss and position as shown above and on the Joint Details, unless noted otherwise. Refer to drawings 1604-2 for standard plate positions. Refer to Job's General Notes page for additional information.
 Alpine, a division of ITW Building Components Group Inc. shall not be responsible for any deviation from this drawing, any failure to build the truss in conformance with ANSI/TPI 1, or for handling, shipping, installation and bracing of trusses. A seal on this drawing or cover page listing this drawing, indicates acceptance of professional engineering responsibility solely for the design shown. The suitability and use of this drawing for any structure is the responsibility of the Building Designer per ANSI/TPI 1 Sec 2.
 For more information see these web sites: Alpine: alpineitw.com, TPI: tpiinst.org, SBCA: sbcindustry.com, ICC: iccsafe.org, AWC: awc.org



FOREMAN NOTE:
 TO ENSURE PROPER INSTALLATION OF SHEAR TRUSS, PLEASE NOTE TOP AND BOTTOM NOTED ON DIAGRAM AND VERIFY ENDWALL GIRT SPACING PRIOR TO INSTALLATION



190 PAOLI STREET / P.O. BOX 930220
 VERONA, WI 53593 / (800) 373-5550

DRAWN BY: CAVIL
 DATE DRAWN: 12/22/2020

PLAN REVISIONS:

NUMBER	DATE	BY
1		
2		
3		
4		

PROJECT NAME: JUG MOUNTAIN RANCH
 PROJECT SITE ADDRESS: 13834 FARM TO MARKET RD
 MCCALL, ID - VALLEY COUNTY
 BUILDING SIZE: 36' x 156' x 15' 8"
 SHEET NAME: SHEAR TRUSS BRACING DETAILS

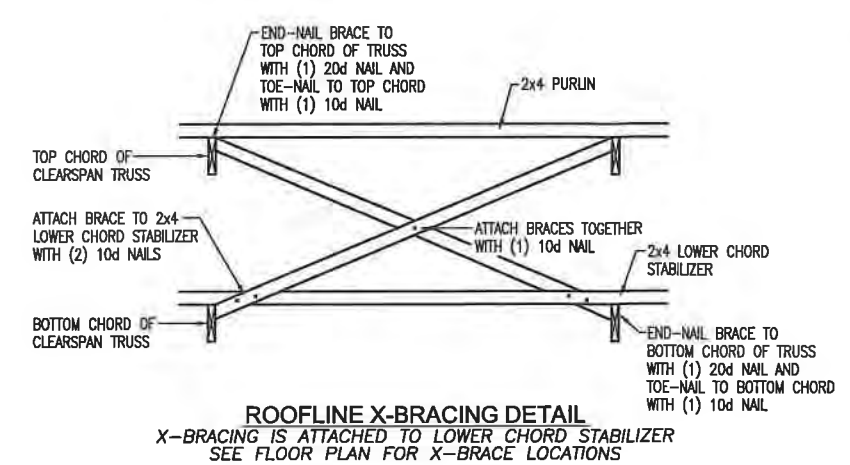
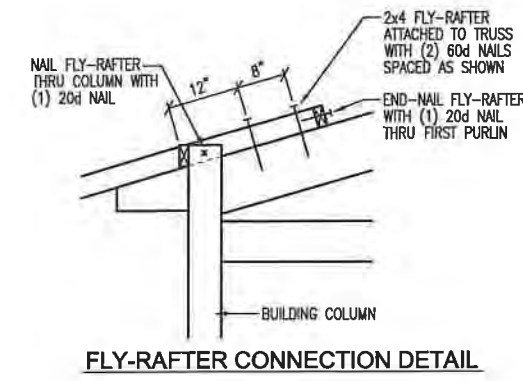
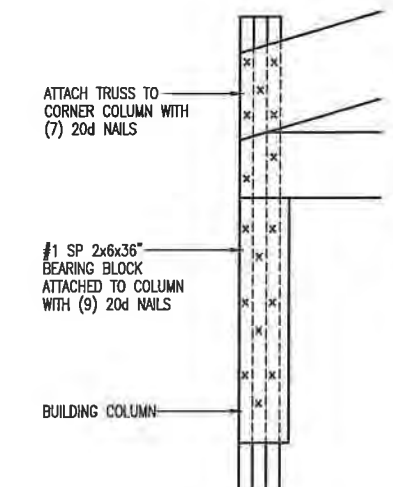
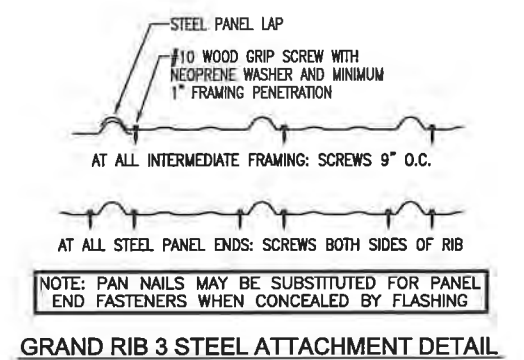
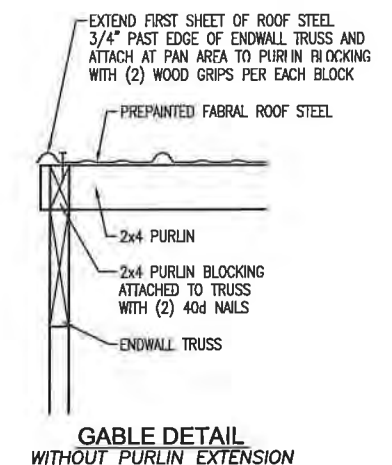
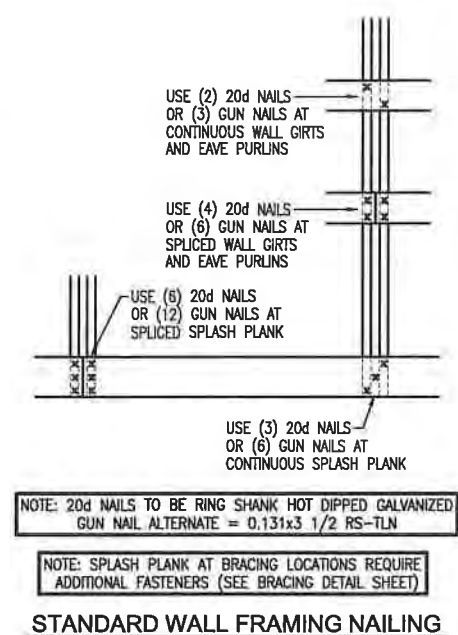
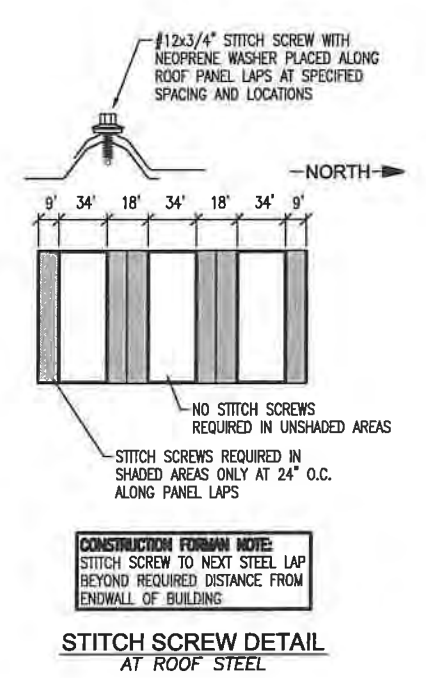
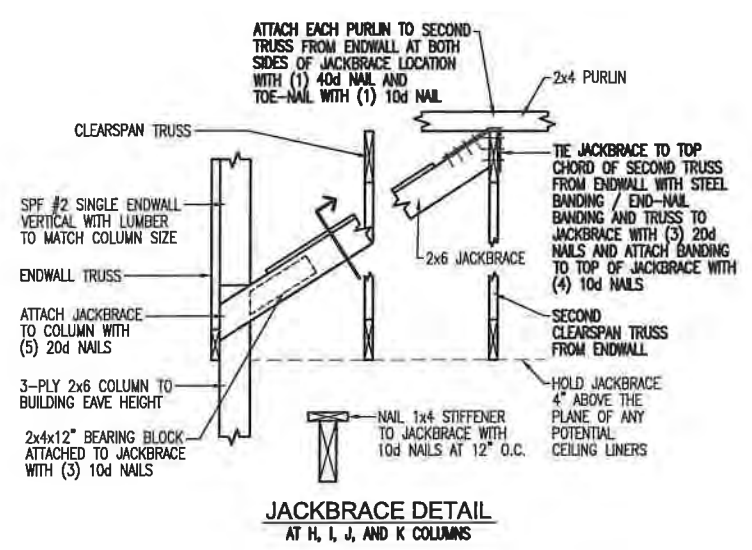
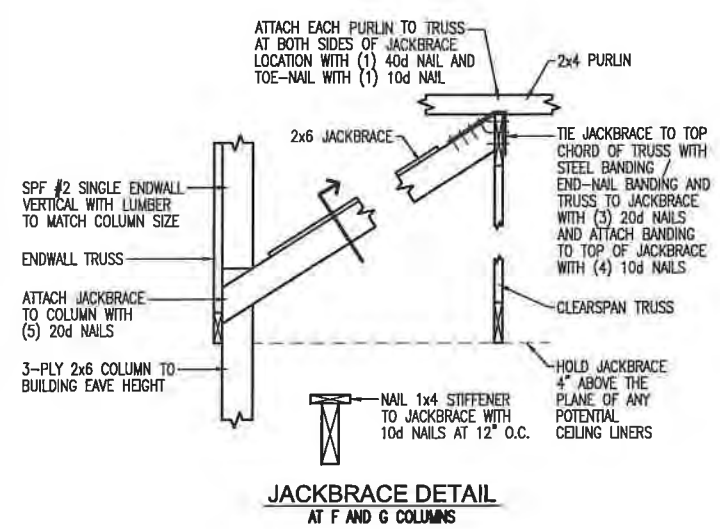
PROJECT NUMBER: 2020106500

SHEET NUMBER: 151

SHEET/SCALE: NONE



NUMBER	DATE	BY
1		
2		
3		
4		



PROJECT NAME:
JUG MOUNTAIN RANCH

PROJECT SITE ADDRESS:
13834 FARM TO MARKET RD
MCCALL, ID - VALLEY COUNTY

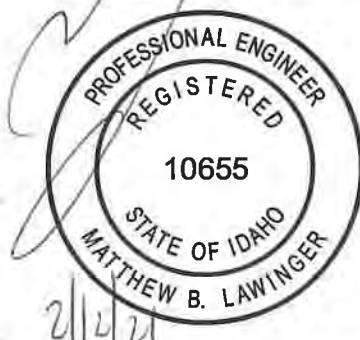
BUILDING SIZE:
36' x 156' x 15' 8"

SHEET NAME:
DIAPHRAGM ACTION and MISC. DETAILS

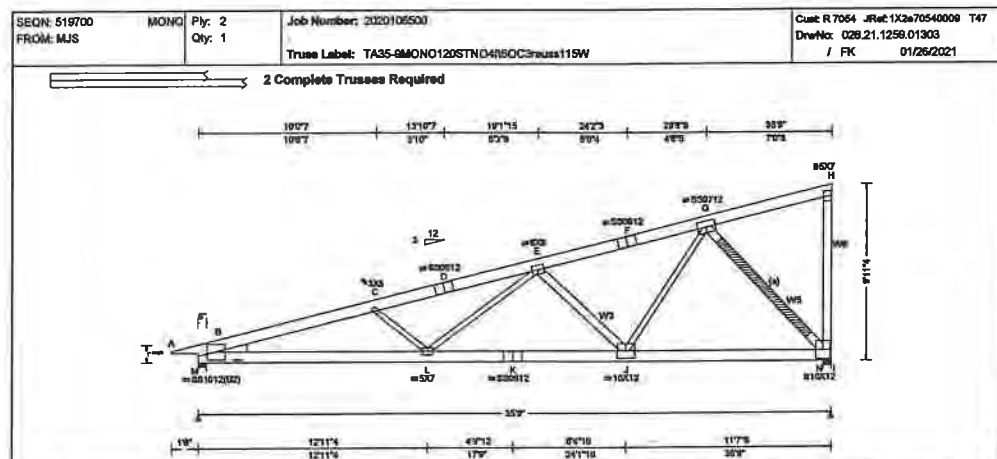
PROJECT NUMBER:
2020106500

SHEET NUMBER:
160

SHEET SCALE: NONE



2-PLY MONO TRUSS



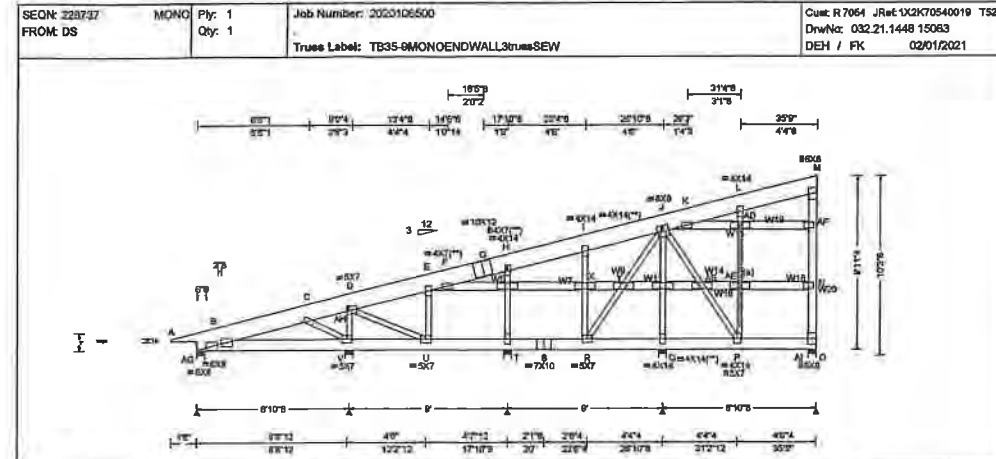
SEQN: 519700 FROM: MJS	MONO Ply: 2 Qty: 1	Job Number: 2020106500	Case: R 7064 JRet: 1X2x70540009 T47 Drawn: 02/21/2021 Truss Label: TA35-MONO12DSTND4160C3truss115W FK: 01/26/2021
---	---------------------------------	-------------------------------	--

Loading Criteria (psf) TCLL: 120.00 TCCL: 4.00 BCLL: 0.00 BCDL: 1.00 Des Ld: 125.00 NCBCLL: 0.00 Soffit: 2.00 Lead Duration: 1.15 Spacing: 54.0"	Wind Criteria Wind Std: ASCE 7-16 Speed: 115 mph Enclosure: Part. Enc. Risk Category: II EXP: C Kzt: NA Mean Height: 18.65 ft TCDL: 2.4 psf BCDL: 0.6 psf MWFRS Parallel Dist: 0 to h/2 C&C Dist: 3.58 ft Loc. from endwall: Any GCP: 0.55 Wind Duration: 1.50	Snow Criteria (P_s, P_f in PSF) Pg: 91.0 Ct: 1.2 CAT: II Pf: 76.4 Lu: 18.0 Ca: 1.00 Snow Duration: 1.15 Building Code: IBC 2018 TPI Std: 2014 Rep Fac: No FTR/PT: 20(20)/10(10)/4(4) Plate Type(s): 18SS WAVE VIEW Ver: 18.02.01A.0205.19	Deflection Criteria PP Deflection in loc L/Defl L/# VERT(LL): 0.718 L 564 240 VERT(CL): 0.747 L 571 180 HORZ(LL): 0.181 I - - HORZ(TL): 0.187 I - - Wind reactions based on MWFRS Creep Factor: 2.0 Max TC CSI: 0.902 Max BC CSI: 0.752 Max Web CSI: 0.975 Members not listed have forces less than 375# Maximum Top Chord Forces Per Ply (lbs) Chords Tens. Comp. Chords Tens. Comp. B - C 1802 -13470 E - F 767 -6866 C - D 1408 -11758 F - G 773 -6548 D - E 1416 -11483
--	--	--	---

WARNING READ AND FOLLOW ALL NOTES ON THIS DRAWING!**
IMPORTANT FURNISH THIS DRAWING TO ALL CONTRACTORS INCLUDING THE INSTALLERS**
Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to and follow the latest edition of BCSI (Building Component Safety) information, by TPI and SBCA for safety practices prior to performing these functions. Installers shall provide temporary bracing per BCSI. Unless noted otherwise, top chord shall have properly attached structural sheathing and bottom chord shall have a properly attached rigid ceiling. Locations shown for permanent lateral restraint of webs shall have bracing installed per BCSI sections B3, B4, or B10 as applicable. Apply plates to each face of truss and position as shown above and on the Joint Details, unless noted otherwise. Refer to drawings 160A-2 for standard plate positions. Refer to job's General Notes page for additional information.
Alpine, a division of ITW Building Components Group Inc. shall not be responsible for any deviation from this drawing, any failure to build the truss in conformance with ANS/PT 1, or for handling, shipping, installation and bracing of trusses. A seal on this drawing or cover page listing this drawing, indicates acceptance of professional engineering responsibility solely for the design shown. The suitability and use of this drawing for any structure is the responsibility of the Building Designer per ANS/PT 1 Sec. 2.
For more information see these web sites: Alpine: alpineitw.com; TPI: tpinet.org; SBCA: sbcindustry.com; ICC: iccsafe.org; AWC: awc.org



STRUCTURAL ENDWALL TRUSS TO BE USED AT ALL ENDWALLS



SEQN: 228737 FROM: DS	MONO Ply: 1 Qty: 1	Job Number: 2020106500	Case: R 7064 JRet: 1X2K70540019 T32 Drawn: 03/21/2021 Truss Label: TB35-MONOENDWALL3trussSEW DEH / FK: 02/01/2021
--	---------------------------------	-------------------------------	--

Loading Criteria (psf) TCLL: 120.00 TCCL: 4.00 BCLL: 0.00 BCDL: 1.00 Des Ld: 125.00 NCBCLL: 0.00 Soffit: 2.00 Lead Duration: 1.15 Spacing: 48.0"	Wind Criteria Wind Std: ASCE 7-16 Speed: 115 mph Enclosure: Part. Enc. Risk Category: II EXP: C Kzt: NA Mean Height: 18.65 ft TCDL: 2.4 psf BCDL: 0.6 psf MWFRS Parallel Dist: 0 to h/2 C&C Dist: 3.58 ft Loc. from endwall: Any GCP: 0.55 Wind Duration: 1.50	Snow Criteria (P_s, P_f in PSF) Pg: 91.0 Ct: 1.2 CAT: II Pf: 76.4 Lu: - Ca: 1.00 Snow Duration: 1.15 Building Code: IBC 2018 TPI Std: 2014 Rep Fac: No FTR/PT: 20(20)/10(10)/4(4) Plate Type(s): WAVE VIEW Ver: 18.02.01A.0205.19	Deflection Criteria PP Deflection in loc L/Defl L/# VERT(LL): 0.052 L 999 240 VERT(CL): 0.054 L 999 180 HORZ(LL): 0.017 L - - HORZ(TL): 0.018 L - - Wind reactions based on MWFRS Creep Factor: 2.0 Max TC CSI: 0.310 Max BC CSI: 0.328 Max Web CSI: 0.479 Members not listed have forces less than 375# Maximum Top Chord Forces Per Ply (lbs) Chords Tens. Comp. Chords Tens. Comp. AG 2412 - / - / 158 / 122 / 821 V 2036 - / - / 198 / 250 / - AH 3253 - / - / 725 / 382 / - T 324 - / - / 147 / 31 / - H 3280 - / - / 425 / 396 / - Q 291 - / - / 142 / 27 / - J 5774 - / - / 1468 / 894 / - AI 1259 - / - / 112 / 166 / - Bearing: AG, V, T, Q, & AI are a rigid surface.
--	--	--	---

WARNING READ AND FOLLOW ALL NOTES ON THIS DRAWING!**
IMPORTANT FURNISH THIS DRAWING TO ALL CONTRACTORS INCLUDING THE INSTALLERS**
Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to and follow the latest edition of BCSI (Building Component Safety) information, by TPI and SBCA for safety practices prior to performing these functions. Installers shall provide temporary bracing per BCSI. Unless noted otherwise, top chord shall have properly attached structural sheathing and bottom chord shall have a properly attached rigid ceiling. Locations shown for permanent lateral restraint of webs shall have bracing installed per BCSI sections B3, B4, or B10 as applicable. Apply plates to each face of truss and position as shown above and on the Joint Details, unless noted otherwise. Refer to drawings 160A-2 for standard plate positions. Refer to job's General Notes page for additional information.
Alpine, a division of ITW Building Components Group Inc. shall not be responsible for any deviation from this drawing, any failure to build the truss in conformance with ANS/PT 1, or for handling, shipping, installation and bracing of trusses. A seal on this drawing or cover page listing this drawing, indicates acceptance of professional engineering responsibility solely for the design shown. The suitability and use of this drawing for any structure is the responsibility of the Building Designer per ANS/PT 1 Sec. 2.
For more information see these web sites: Alpine: alpineitw.com; TPI: tpinet.org; SBCA: sbcindustry.com; ICC: iccsafe.org; AWC: awc.org



TRUSS CHECK (CHECK BOX AND INITIAL)	
<input checked="" type="checkbox"/> TRUSS SIZE	JC
<input checked="" type="checkbox"/> ROOF PITCH	JC
<input checked="" type="checkbox"/> BAY SPACING	JC
<input checked="" type="checkbox"/> SLC / RLC	JC
<input checked="" type="checkbox"/> DESIGN LOADS	JC
<input checked="" type="checkbox"/> OVERHANGS	JC

CLEARY BUILDING CORP.
190 PAOLI STREET / P.O. BOX 930220
VERONA, WI 53593 / (800) 373-5550

DRAWN BY: CAVIL
DATE DRAWN: 12/22/2020

PLAN REVISIONS:

NUMBER	DATE	BY
1	1/28/2021	CAVIL
2		
3		
4		

PROJECT NAME: JUG MOUNTAIN RANCH
PROJECT SITE ADDRESS: 13834 FARM TO MARKET RD
MCCALL, ID - VALLEY COUNTY
BUILDING SIZE: 36' x 156' x 15' 8"
SHEET NAME: TRUSS DIAGRAMS

PROJECT NUMBER: 2020106500
SHEET NUMBER: 170
SHEET SCALE: NONE



ParcelId	OwnerNameLabelFormat	SiteAddr	OwnerAddr	OwnerCityNm	OwnerState	OwnerZIP
MH17N03E015406	Robert & Vivian Bigelow	13884 Farm To Market Rd	PO Box [REDACTED]	McCall	ID	83638
RP004990020490	Jug Mountain Ranch LLC		PO Box 2332	McCall	ID	83638
RP004990030010	Samuel & Kelly Worley	201 Cold Creek Ct	PO Box [REDACTED]	McCall	ID	83638
RP004990030020	Kenneth & Audrey Smith	205 Cold Creek Ct	2600 S Swallowtail Ln	Boise	ID	83706
RP004990030200	Bert & Carol Brown	202 West Jug Rd	1663 N Iron Bello Place	Eagle	ID	83616
RP004990030460	Jug Mountain Ranch Golf Course LLC		PO Box 2332	McCall	ID	83638
RP004990030470	Jug Mountain Ranch LLC		PO Box 2332	McCall	ID	83638
RP004990040540	Jug Mountain Ranch Golf Course LLC	360 Jug Mtn Ranch Rd	PO Box 2332	McCall	ID	83638
RP004990050480	Jug Mountain Ranch LLC		PO Box 2332	McCall	ID	83638
RP005590010030	Warren & Connie Kline	206 Cold Creek Ct	206 Cold Creek Ct	McCall	ID	83638
RP005590010040	Johnson 2021 Trust	202 Cold Creek Ct	1235 Bitterroot Dr #4173	McCall	ID	83638
RP0055900100A0	Jug Mountain Ranch LLC		PO Box 2332	McCall	ID	83638
RP17N03E010626	Drc Trust	13895 Lang Ct	PO Box [REDACTED]	McCall	ID	83638
RP17N03E015406	Bigelow 2006 Rev	13884 Farm To Market Rd	PO Box [REDACTED]	McCall	ID	83638
RP17N03E015475	Gremis Family Rev Trust	13878 Farm To Market Rd	13878 Farm To Market Rd	McCall	ID	83638
RP17N03E015865	Drc Trust		PO Box [REDACTED]	McCall	ID	83638